

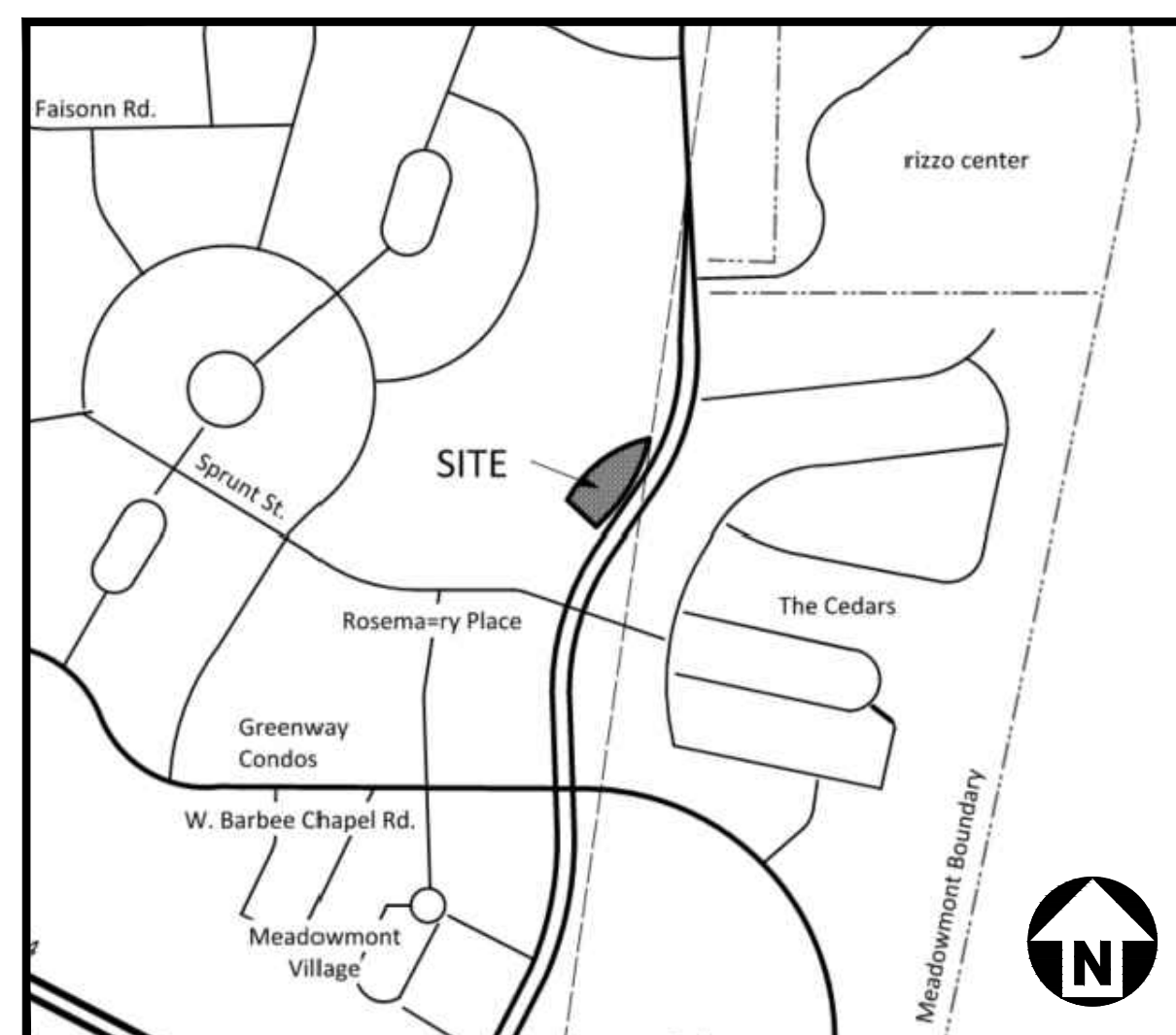
# OVERLOOK AT THE CEDARS

207 & 209 MEADOWMONT LANE  
CHAPEL HILL, NC 27514

## SPECIAL USE PERMIT PROJECT NUMBER: SPEC23533 DATE: MAY 22, 2024

### SITE DATA

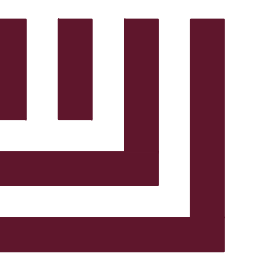
PIN	9798-75-3478, 9798-75-4547	
SITE AREA	26,504 SF / 0.6 AC	
GROSS LAND AREA	26,504 SF + 10%(26,504 SF) = 29,154 SF / 0.66 AC	
ZONING	EXISTING	R-5-CZD
	PROPOSED	R-5-CZD
RIVER BASIN	CAPE FEAR	
WATERSHED	JORDAN LAKE	
WATERSHED PROTECTION	JORDAN LAKE WATERSHED, F/J-B	
EXISTING USE	VACANT	
PROPOSED USE	MULTIFAMILY RESIDENTIAL	
UNITS	PROPOSED	10 UNITS
DENSITY	PROPOSED	15.15 UNITS/ACRE
IMPERVIOUS	EXISTING	0 SF
	MAX ALLOWED	16,966 SF AC (PREVIOUS PLAN APPROVAL)
BUILDING HEIGHT	ALLOWED	39' SETBACK; 60' CORE
	PROPOSED	39' SETBACK; 60' CORE
VEHICULAR PARKING	REQUIRED	
	STUDIO	MIN 1 PER UNIT, MAX 1.25 PER UNIT
	1-BED	MIN 1 PER UNIT, MAX 1.25 PER UNIT
	2-BED	MIN 1.4 PER UNIT, MAX 1.75 PER UNIT
	3-BED	MIN 1.75 PER UNIT, MAX 2.25 PER UNIT
	PROPOSED	21 SPACES
BIKE PARKING	REQUIRED	1 PER 4 UNITS = 2.5
	PROPOSED	4
SETBACKS	REQUIRED	STREET = 0' INTERIOR = 0' SOLAR = 8'
	PROPOSED	STREET = 0' INTERIOR = 0' SOLAR = 8'
BUFFERS	REQUIRED	NO BUFFERS APPLY TO THIS PARCEL SINCE IT IS AN INTERNAL PARCEL TO MEADOWMONT PLANNED DEVELOPMENT.
DISTURBED AREA	25,462 SF (0.58 AC)	



**VICINITY MAP**  
N.T.S.

### SHEET INDEX

C1.0	AREA MAP (BY SMLP)
C1.01	EXISTING CONDITIONS
C2.00	SITE PLAN
C3.00	GRADING AND EROSION PLAN
C3.01	STORMWATER MANAGEMENT PLAN
L4.00	LANDSCAPE PROTECTION PLAN
LA1.0	PLANTING PLAN (BY SMLP)
LA1.1	PLANTING DETAILS (BY SMLP)
LA2.0	TREE CANOPY COVERAGE
SWM1.0	SOLID WASTE MGT. PLAN (BY SMLP)
FSP1.0	FIRE SAFETY PLAN
L4.01	STREETSCAPE PLAN
A1.00	BUILDING ELEVATIONS (BY CJMW)



**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 361. 5000  
fax 919. 361. 2269  
license number: C-0293, C-187

www.mcadamsco.com

### CONTACT

JESSIE HARDESTY  
hardesty@mcadamsco.com  
PHONE: 919. 361. 5000

### CLIENT

THE CEDARS OF CHAPEL HILL  
116 CEDAR BREEZE LANE  
CHAPEL HILL, NC 27517  
CONTACT: PERRY AYCOCK  
PHONE: 919. 608. 0252  
EMAIL: perry.aycock@longevitymarkets.com



### PROJECT DIRECTORY

LANDSCAPE ARCHITECT  
SCOTT MURRAY LAND PLANNING INC.  
274 BOTETOURT CT.  
BOYDTON, VA 23917  
PHONE: 252. 213. 9501  
EMAIL: smurray@stmlandplan.com

### ARCHITECT

CJMW  
1838 WAKE FOREST ROAD  
RALEIGH, NC 27608  
PETER EPERMANIS  
PHONE: 336. 972. 0776  
EMAIL: peter.epermanis@cjmw.com

### OWNER

MURRAY HILL LLC  
1450 ENVIRON WAY  
CHAPEL HILL, NC 27517

### PROPERTY ADDRESS

207 & 209 MEADOWMONT LANE  
CHAPEL HILL, NC 27517



### REVISIONS

NO. DATE

NOTE: THIS PROJECT WAS PREVIOUSLY APPROVED AS MURRAY HILL CONDOMINIUMS SUP APRIL 26, 2010. A ZCP WAS GRANTED AUGUST 31, 2015 AND PHASES 1 & 2 OF 4 HAVE BEEN CONSTRUCTED TO DATE. THE SITE HAS BEEN PREPARED FOR PHASES 3 & 4. THIS APPLICATION PROPOSES A CHANGE TO THE BUILDING DESIGN WITH A REDUCTION IN THE OVERALL BUILDING FOOTPRINT.

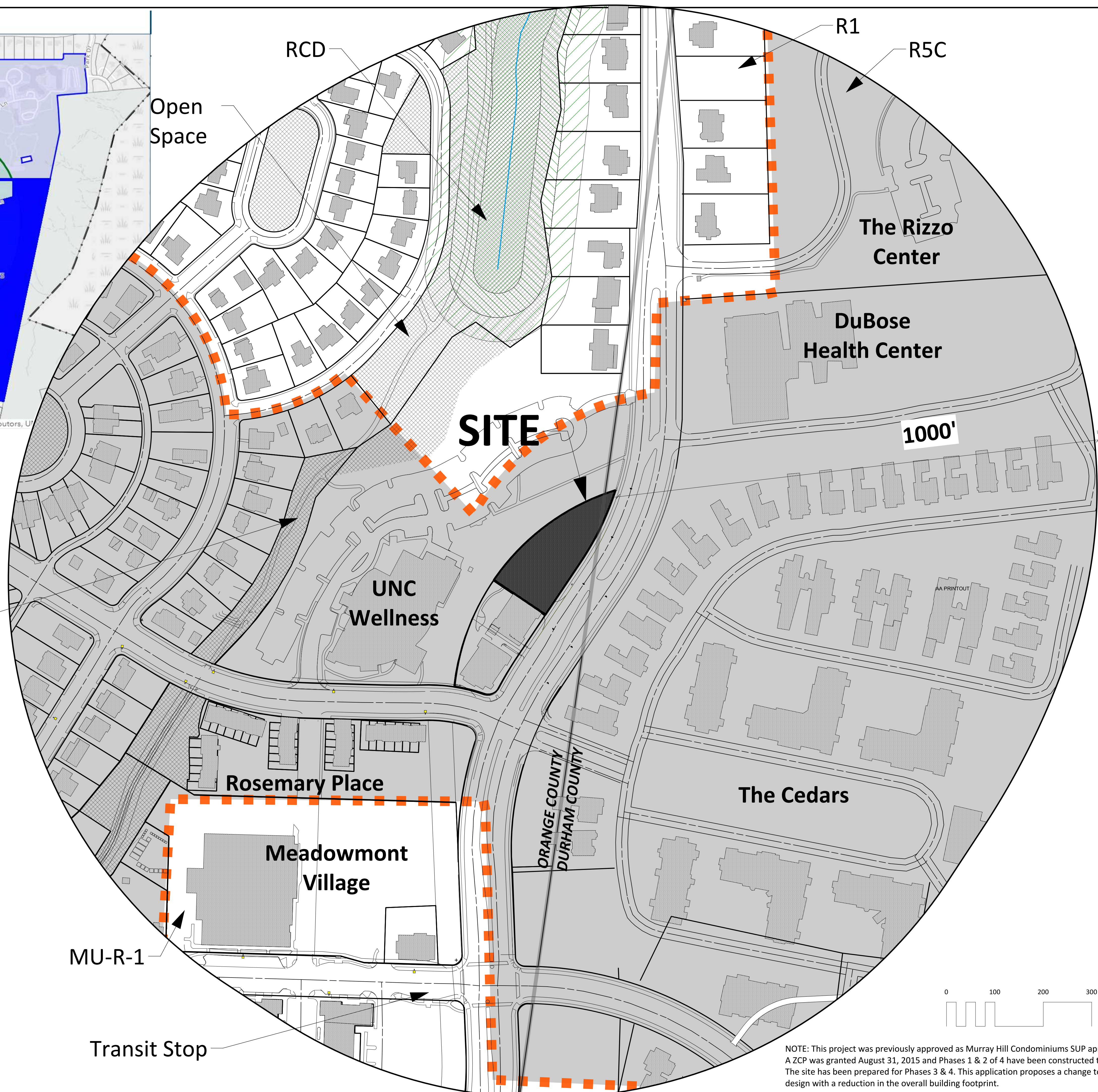
### SPECIAL USE PERMIT:

OVERLOOK AT THE CEDARS  
207 & 209 MEADOWMONT LANE  
CHAPEL HILL, NC 27514  
PROJECT NUMBER: SPEC23533

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



1,000 FT NOTIFICATION MAP N.T.S.

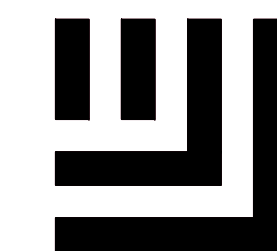


**Legend**  
 R-5-C Zoning District

NOTE: STHIS SITE IS NOT WITHIN THE JORDAN BUFFER OR CRITICAL WATERSHED AREA.

NOTE: This project was previously approved as Murray Hill Condominiums SUP april 26, 2010. A ZCP was granted August 31, 2015 and Phases 1 & 2 of 4 have been constructed to date. The site has been prepared for Phases 3 & 4. This application proposes a change to the building design with a reduction in the overall building footprint.

<p>SCOTT MURRAY LAND PLANNING, INC. Landscape Architecture   Environmental Design   Project Management</p>	
<p>Project: <b>Overlook At The Cedars</b></p>	
<p>Applicant/Developer/Contract Purchaser: <b>The Cedars of Chapel Hill</b> 116 Cedar Breeze Lane Chapel Hill, NC 27517 Located in Meadowmont</p>	
<p>Property Owner: <b>Murray Hill LLC</b> 1450 Environ Way Chapel Hill, NC 27517</p>	
<p>Property Address: 207 &amp; 209 Meadowmont Ln. Chapel Hill, NC 27517</p>	
<p>PIN'S: 97987544547 &amp; 9798753478</p>	
<p>Sheet Title: <b>Area Map</b></p>	
No.	Date: Issue Notes:
<p>Design Firm: <b>Scott Murray Land Planning, Inc.</b> 274 Botetourt Ct. Boynton, VA 23917 252-213-9501 434-689-2925 (fax) www.stmlandplan.com smurray@stmlandplan.com</p>	
<p><small>Limitations of Use and Liability Disclaimer - This document and all associated documents are provided for a specific site and the named Project only. In no event shall the Client or any third party copy or use any of the concepts, plans, drawings, specifications, designs, or other documents or data, document produced by the Consultant in connection with the Project (the "Instruments of Service") for any purpose other than those noted above or in relation to any project other than the named Project without the prior written permission of the Consultant. Liability arising from the use of these documents is limited to the scope of services fee agreed to in the Project Proposal Scope of Services.</small></p>	
Scale: 1" = 100'-0"	<p><b>C1.0</b> of</p>
Date: 5-21-2024	
Drawn & Checked By: STM	
Surveyed:	



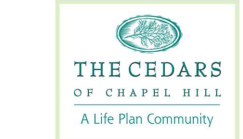
# McADAMS

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 361. 5000  
fax 919. 361. 2269  
license number: C-0293, C-187

www.mcadamsco.com

## CLIENT

THE CEDARS OF CHAPEL HILL  
116 CEDAR BREEZE LANE  
CHAPEL HILL, NC 27517  
CONTACT: PERRY AYCOCK  
PHONE: 919. 608. 0252  
EMAIL: perry.aycock@longevitymarkets.com



# OVERLOOK AT THE CEDARS SPECIAL USE PERMIT 207 & 209 MEADOWMONT LANE CHAPEL HILL, NC 27514



## REVISIONS

NO. DATE

## PLAN INFORMATION

PROJECT NO. SPEC23533  
FILENAME SPEC23533-XC1  
CHECKED BY TEP  
DRAWN BY CJ  
SCALE 1"=20'  
DATE 05.22.2024

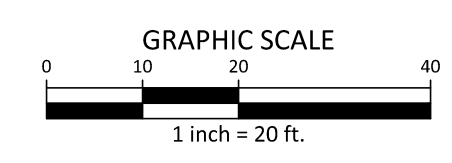
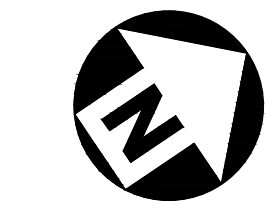
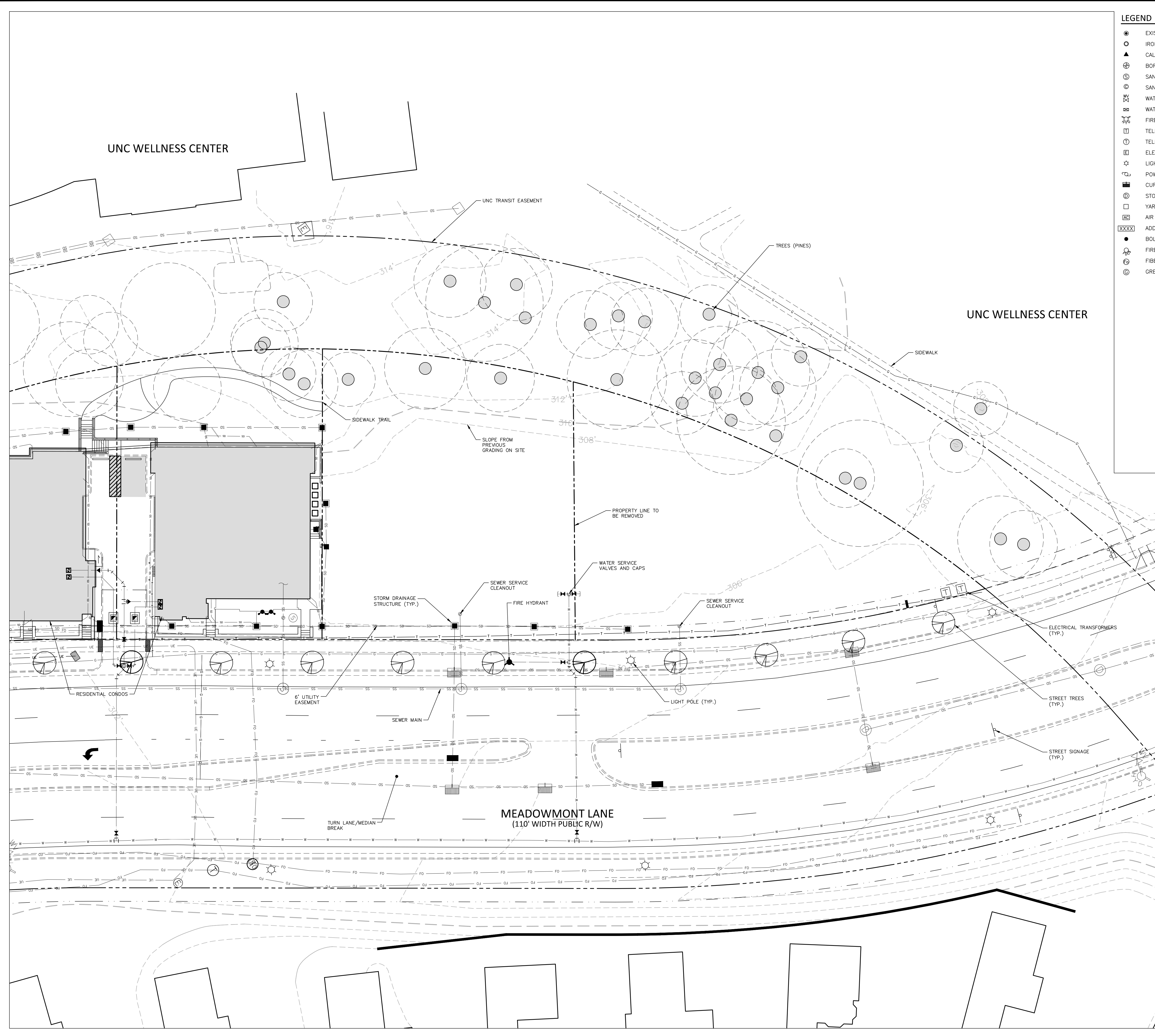
## SHEET

EXISTING  
CONDITIONS

# C1.01

## LEGEND

- |      |                         |       |                          |
|------|-------------------------|-------|--------------------------|
| ●    | EXISTING IRON PIPE      | ♿     | ACCESSIBLE PARKING       |
| ○    | IRON PIPE SET           | ⊗     | IRRIGATION CONTROL VALVE |
| ▲    | CALCULATED POINT        | ◀     | FLOOD LIGHT              |
| ⊕    | BORE HOLE               | ⊞     | MAIL BOX                 |
| ⊙    | SANITARY SEWER MANHOLE  | ⊞     | MONITORING WELL          |
| ⊙    | SANITARY SEWER CLEANOUT | ⊞     | SIAMESE CONNECTION       |
| ⊞    | WATER VALVE             | ⊞     | SIGN                     |
| ⊞    | WATER METER             | ⊞     | WELL                     |
| ⊞    | FIRE HYDRANT            | ⊞     | WATER MANHOLE            |
| ⊞    | TELEPHONE PEDESTAL      | ⊞     | LIGHT SINGLE             |
| ⊞    | TELEPHONE MANHOLE       | ⊞     | LIGHT DOUBLE             |
| ⊞    | ELECTRIC BOX            | ⊞     | CABLE BOX                |
| ☆    | LIGHT POLE              | ⊞     | FIBER OPTIC VAULT        |
| ⊞    | POWER POLE              | ⊞     | SPRINKLER HEAD           |
| ⊞    | CURB INLET              | —SD—  | STORM DRAIN PIPE         |
| ⊞    | STORM DRAINAGE MANHOLE  | —OU—  | OVERHEAD UTILITY LINES   |
| ⊞    | YARD INLET              | —W—   | WATER LINE               |
| ⊞    | AIR CONDITIONER         | —SS—  | SANITARY SEWER LINE      |
| XXXX | ADDRESS BOX             | —T—   | TELEPHONE LINE           |
| ●    | BOLLARD                 | —G—   | GAS LINE                 |
| ⊞    | FIRE CONNECTION         | —UE—  | UNDERGROUND ELECTRIC     |
| ⊞    | FIBER OPTIC MARKER      | —UT—  | UNDERGROUND TELEPHONE    |
| ⊞    | GREASE PIT              | —X—X— | FENCE LINE               |



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

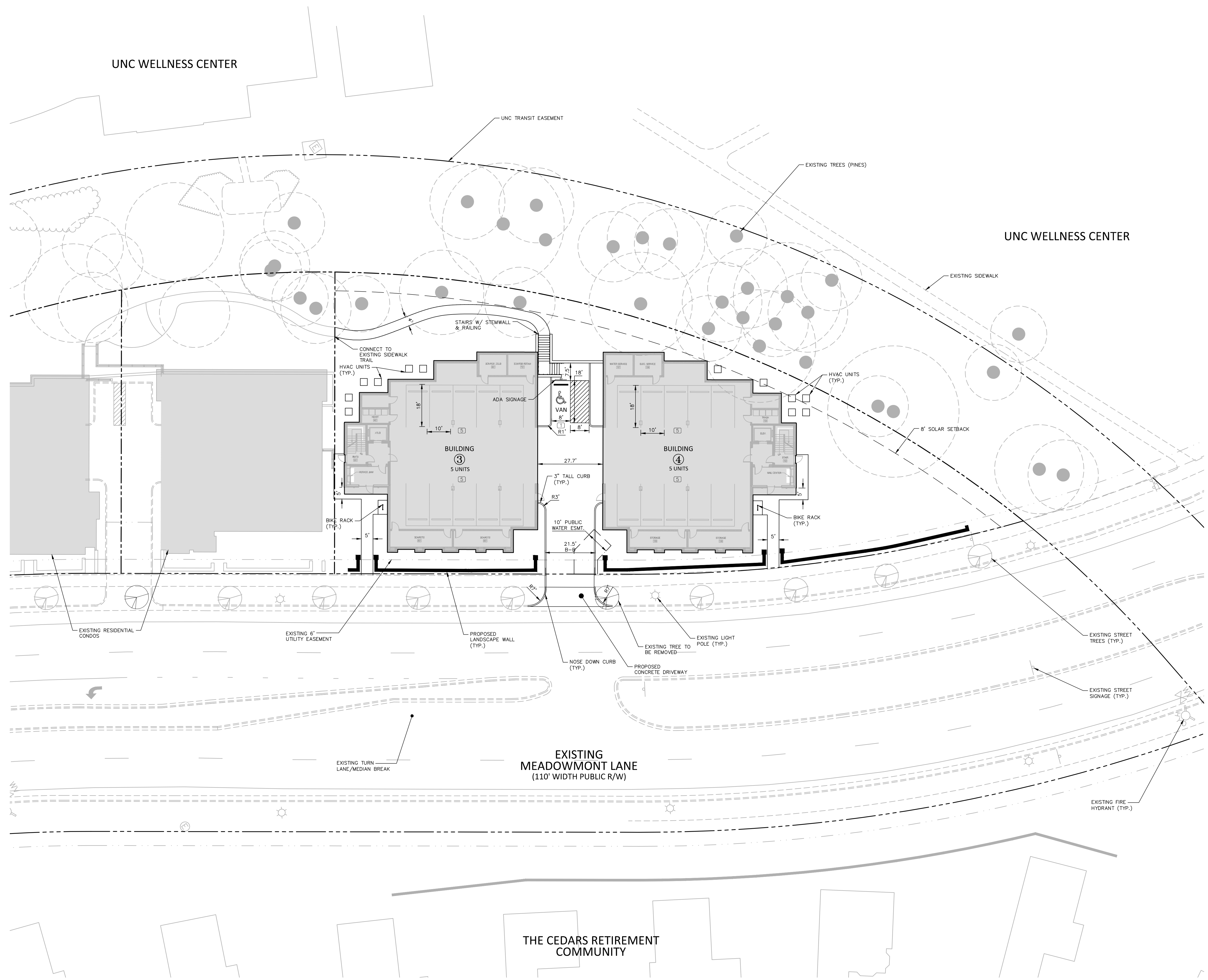
M:\Projects\SPEC\SPEC 2023\SPEC23533 Murray Hill\04-Production\Drawings\Production Drawings\Engineering\Current Drawings\Special Use Permits\SPEC23533-XC1.dwg, 5/21/2024 9:39:56 AM, Tyler Probst

NO BUFFERS APPLY TO THIS PARCEL SINCE IT IS AN INTERNAL PARCEL TO MEADOWMONT PLANNED DEVELOPMENT.

**SITE LEGEND**

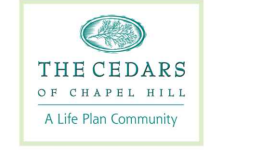
	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT

**NOTE:**  
RECYCLING WILL BE PUBLIC VIA ROLLOUTS,  
WASTE WILL BE PRIVATE VIA ROLLOUTS.



**McADAMS**  
The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 361. 5000  
fax 919. 361. 2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**  
THE CEDARS OF CHAPEL HILL  
116 CEDAR BREEZE LANE  
CHAPEL HILL, NC 27517  
CONTACT: PERRY AYCOCK  
PHONE: 919. 608. 0252  
EMAIL: perry.aycock@longevitymarkets.com



**OVERLOOK AT THE CEDARS**  
SPECIAL USE PERMIT  
207 & 209 MEADOWMONT LANE  
CHAPEL HILL, NC 27514



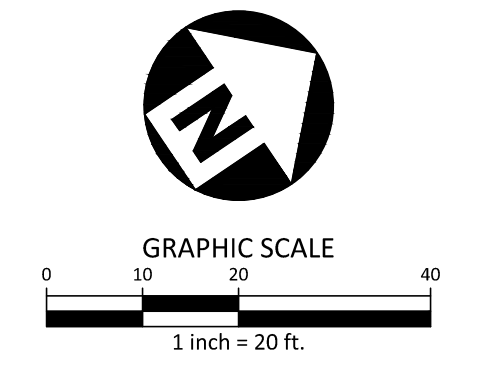
**REVISIONS**

NO.	DATE

**PLAN INFORMATION**

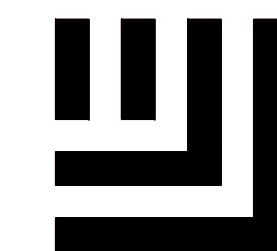
PROJECT NO.	SPEC23533
FILENAME	SPEC23533-S1
CHECKED BY	TEP
DRAWN BY	CJ
SCALE	1"=20'
DATE	05. 22. 2024

**SHEET**  
**SITE PLAN**  
**C2.00**



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\SPEC\SPEC 2023\SPEC23533-S1.dwg, 5/21/2024, 10:41:33 AM, Tyler Probst



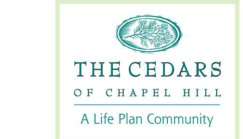
# McADAMS

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 361. 5000  
fax 919. 361. 2269  
license number: C-0293, C-187

www.mcadamsco.com

## CLIENT

THE CEDARS OF CHAPEL HILL  
116 CEDAR BREEZE LANE  
CHAPEL HILL, NC 27517  
CONTACT: PERRY AYCOCK  
PHONE: 919. 608. 0252  
EMAIL: perry.aycock@longevitymarkets.com



# OVERLOOK AT THE CEDARS SPECIAL USE PERMIT 207 & 209 MEADOWMONT LANE CHAPEL HILL, NC 27514



## REVISIONS

NO. DATE

## PLAN INFORMATION

PROJECT NO. SPEC23533  
FILENAME SPEC23533-G1  
CHECKED BY TEP  
DRAWN BY CJ  
SCALE 1"=20'  
DATE 05.22.2024

## SHEET

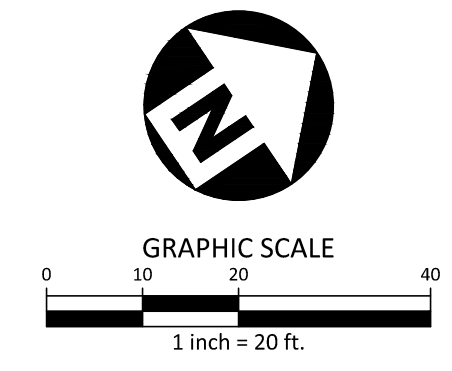
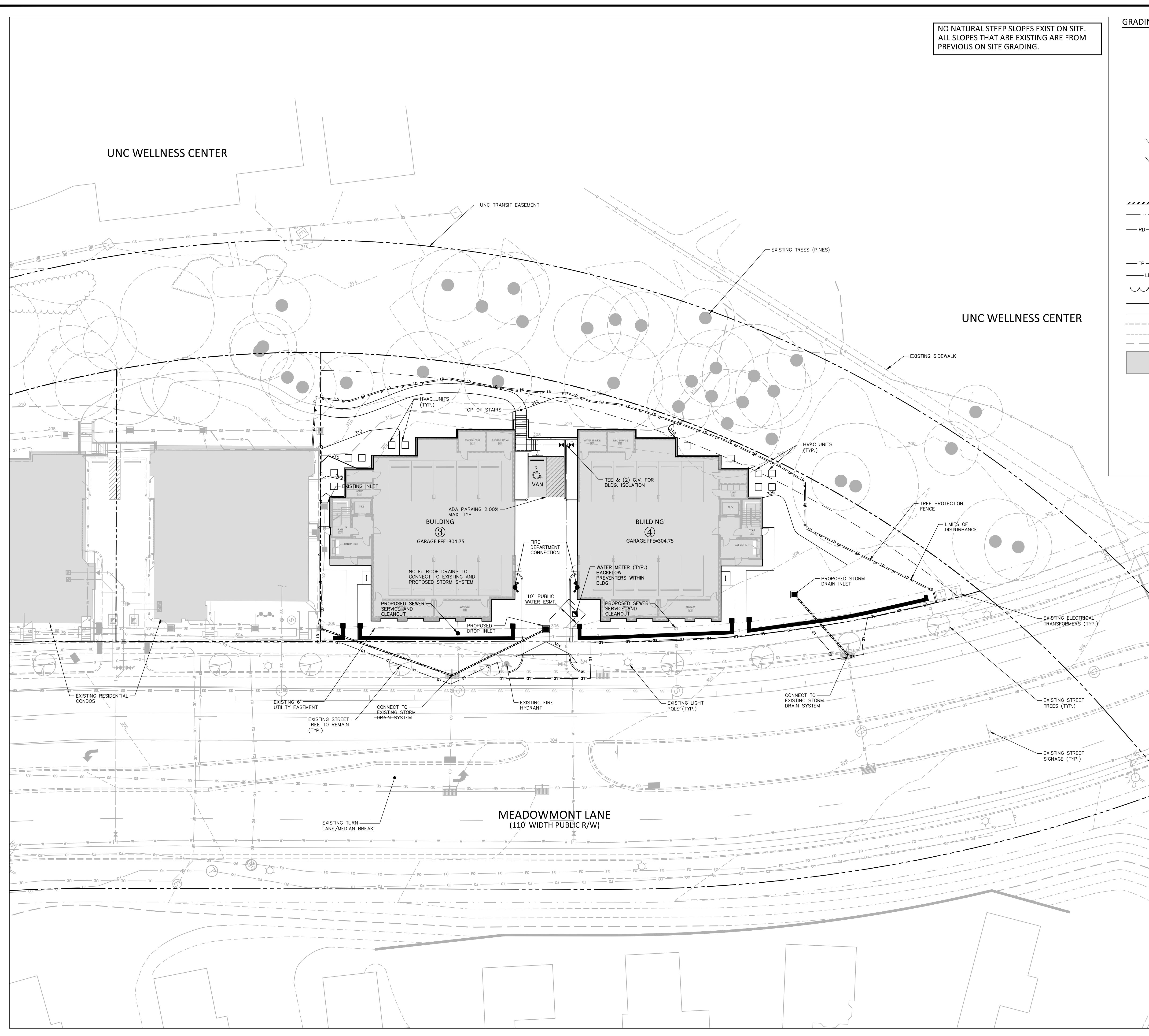
## GRADING & EROSION PLAN

# C3.00

NO NATURAL STEEP SLOPES EXIST ON SITE.  
ALL SLOPES THAT ARE EXISTING ARE FROM  
PREVIOUS ON SITE GRADING.

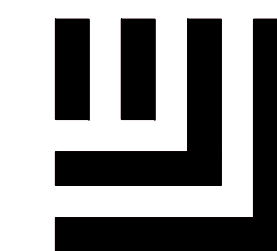
## GRADING LEGEND

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-RAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION  
(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS  
NON-PERFORATED TUBING OR  
EQUAL 1.0% MIN. SLOPE 3' MIN.  
COVER PVC SCHEDULE 40 IN  
TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA  
(2% MAX. SLOPE IN ALL DIRECTIONS)



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\SPEC\SPEC 2023\SPEC23533-Murray Hill\04-Production\Engineering\Production Drawings\Special Use Permits\SPEC23533-G1.dwg, 5/23/2024 10:37:38 AM, Tyler Probst



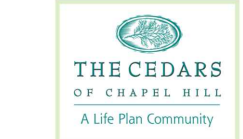
# McADAMS

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 361. 5000  
fax 919. 361. 2269  
license number: C-0293, C-187

www.mcadamsco.com

## CLIENT

THE CEDARS OF CHAPEL HILL  
116 CEDAR BREEZE LANE  
CHAPEL HILL, NC 27517  
CONTACT: PERRY AYCOCK  
PHONE: 919. 608. 0252  
EMAIL: perry.aycock@longevitymarkets.com



# OVERLOOK AT THE CEDARS SPECIAL USE PERMIT 207 & 209 MEADOWMONT LANE CHAPEL HILL, NC 27514



## REVISIONS

NO. DATE

## PLAN INFORMATION

PROJECT NO. SPEC23533  
FILENAME SPEC23533-G1  
CHECKED BY TEP  
DRAWN BY CJ  
SCALE 1"=20'  
DATE 05.22.2024

## SHEET

## STORMWATER MANAGEMENT PLAN

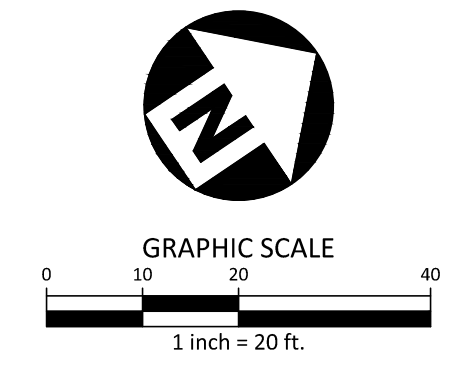
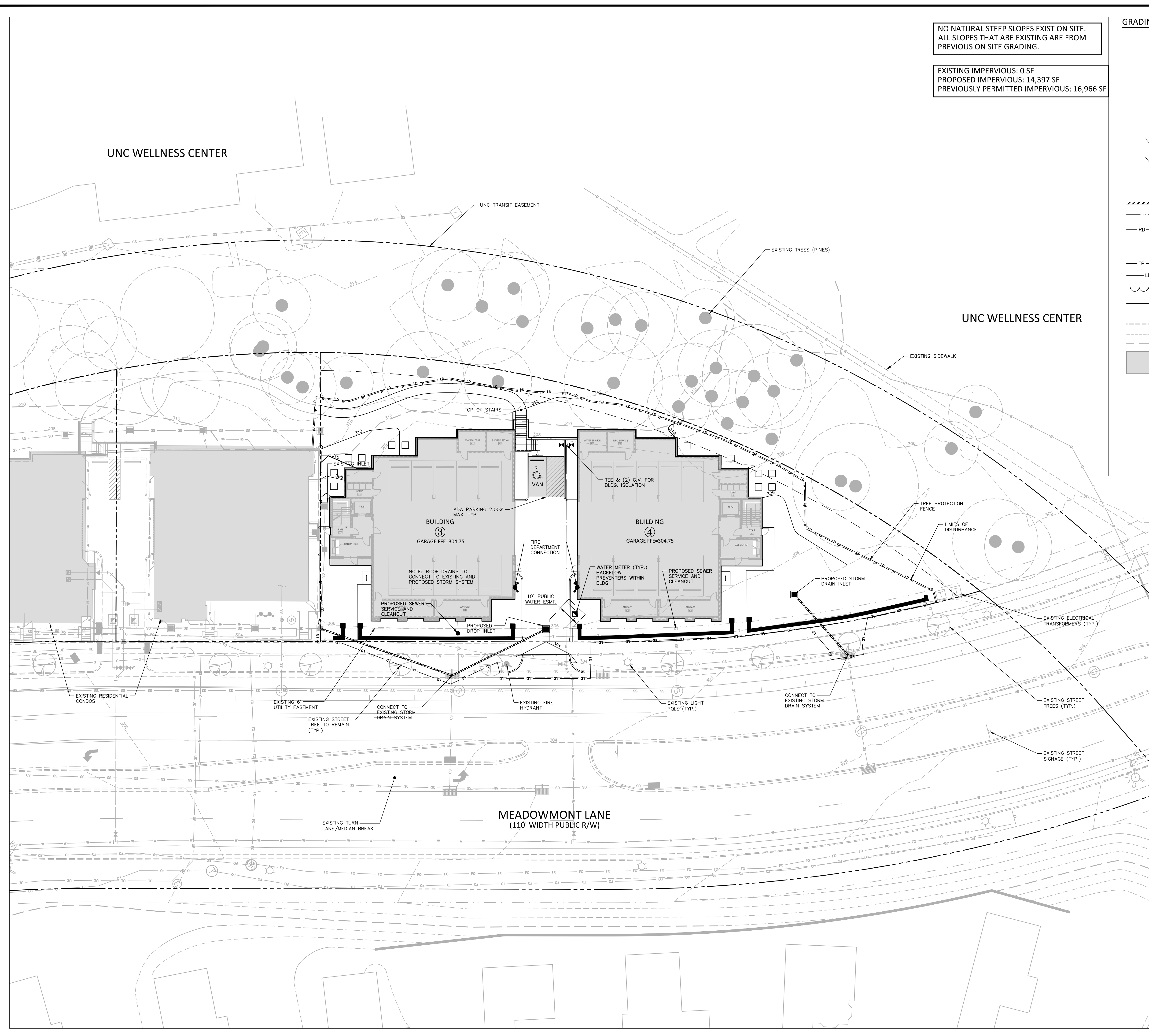
# C3.01

NO NATURAL STEEP SLOPES EXIST ON SITE.  
ALL SLOPES THAT ARE EXISTING ARE FROM  
PREVIOUS ON SITE GRADING.

EXISTING IMPERVIOUS: 0 SF  
PROPOSED IMPERVIOUS: 14,397 SF  
PREVIOUSLY PERMITTED IMPERVIOUS: 16,966 SF

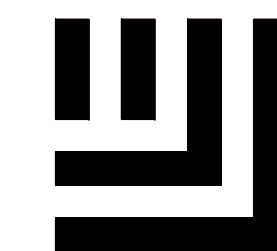
## GRADING LEGEND

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-RAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION  
(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS  
NON-PERFORATED TUBING OR  
EQUAL 1.0% MIN. SLOPE 3' MIN.  
COVER PVC SCHEDULE 40 IN  
TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA  
(2% MAX. SLOPE IN ALL DIRECTIONS)



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\SPEC\SPEC 2023\SPEC23533-G1.dwg, 5/23/2024 10:38:11 AM, Tyler Probst



**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 361. 5000  
fax 919. 361. 2269  
license number: C-0293, C-187

www.mcadamsco.com

**CLIENT**

THE CEDARS OF CHAPEL HILL  
116 CEDAR BREEZE LANE  
CHAPEL HILL, NC 27517  
CONTACT: PERRY AYCOCK  
PHONE: 919. 608. 0252  
EMAIL: perry.aycock@longevitymarkets.com



**OVERLOOK AT THE CEDARS**  
SPECIAL USE PERMIT  
207 & 209 MEADOWMONT LANE  
CHAPEL HILL, NC 27514

**REVISIONS**

NO. DATE

**PLAN INFORMATION**

PROJECT NO. SPEC23533  
FILENAME SPEC23533-LS1  
CHECKED BY TEP  
DRAWN BY CJ  
SCALE 1"=20'  
DATE 05.22.2024

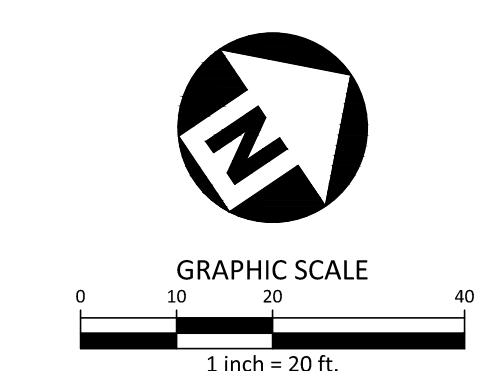
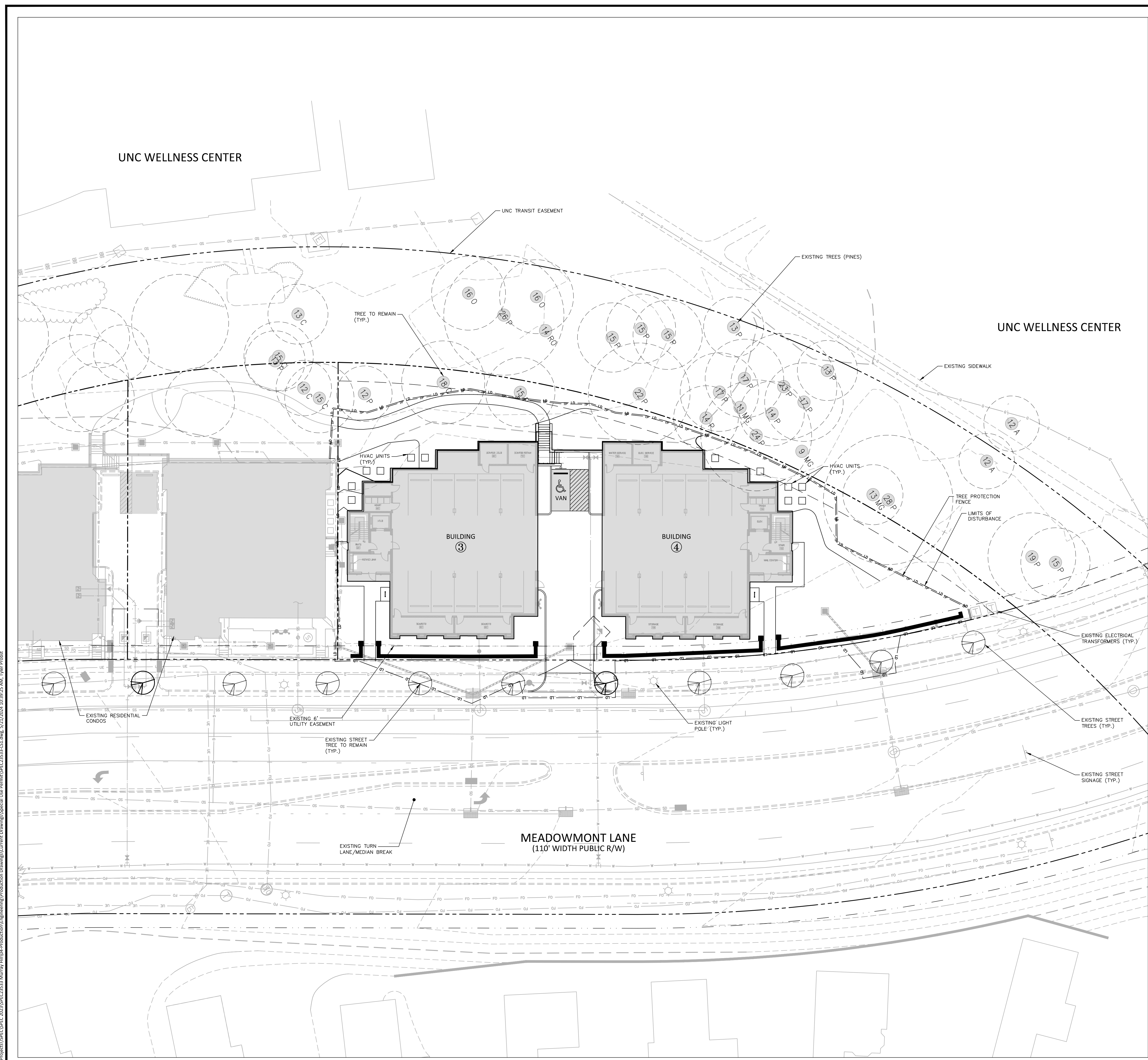
**SHEET**

**LANDSCAPE  
PROTECTION PLAN**

**L4.00**

**SITE LEGEND**

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\SPEC\SPEC 2023\SPEC23533 Murray Hill\04-Production\Engineering\Production Drawings\Special Use Permits\SPEC23533-LS1.dwg, 5/21/2024 10:39:25 AM, Tyler Probst

NOTE: NO PERIMETER BUFFERS ARE REQUIRED FOR THIS SITE.

Project:

# Overlook At The Cedars

Applicant/Developer/Contract Purchaser:

## The Cedars of Chapel Hill

211 Cedar Breeze Lane  
Chapel Hill, NC 27517  
Located in Meadowmont

Property Owner:

**Murray Hill LLC**  
1450 Environ Way  
Chapel Hill, NC 27517

Property Address:

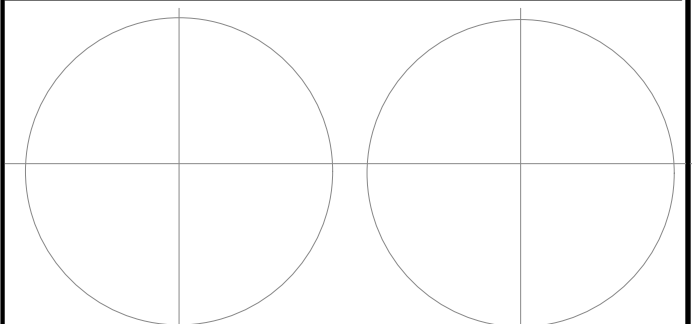
207 & 209 Meadowmont Ln.  
Chapel Hill, NC 27517

PIN'S: 97987544547 & 9798753478

Sheet Title:

# Planting Plan

No. Date: Issue Notes:



Design Firm:

**Scott Murray Land Planning, Inc.**  
274 Botetourt Ct. Boynton, VA 23917  
252-213-9501 434-689-2925 (fax)  
www.stmlandplan.com  
smurray@stmlandplan.com

*Limitations of Use and Liability Disclaimer - This document and all associated documents are provided for a specific site and the named Project only. In no event shall the Client or any third party copy or use any of the concepts, plans, drawings, specifications, designs, or other documents or data, document produced by the Consultant in connection with the Project (the "Instruments of Service") for any purpose other than those noted above or in relation to any project other than the named Project without the prior written permission of the Consultant. Liability arising from the use of these documents is limited to the scope of services fee agreed to in the Project Proposal Scope of Services.*

Scale:

1" = 10'-0"

Date:

5-21-2024

Drawn & Checked By:

STM

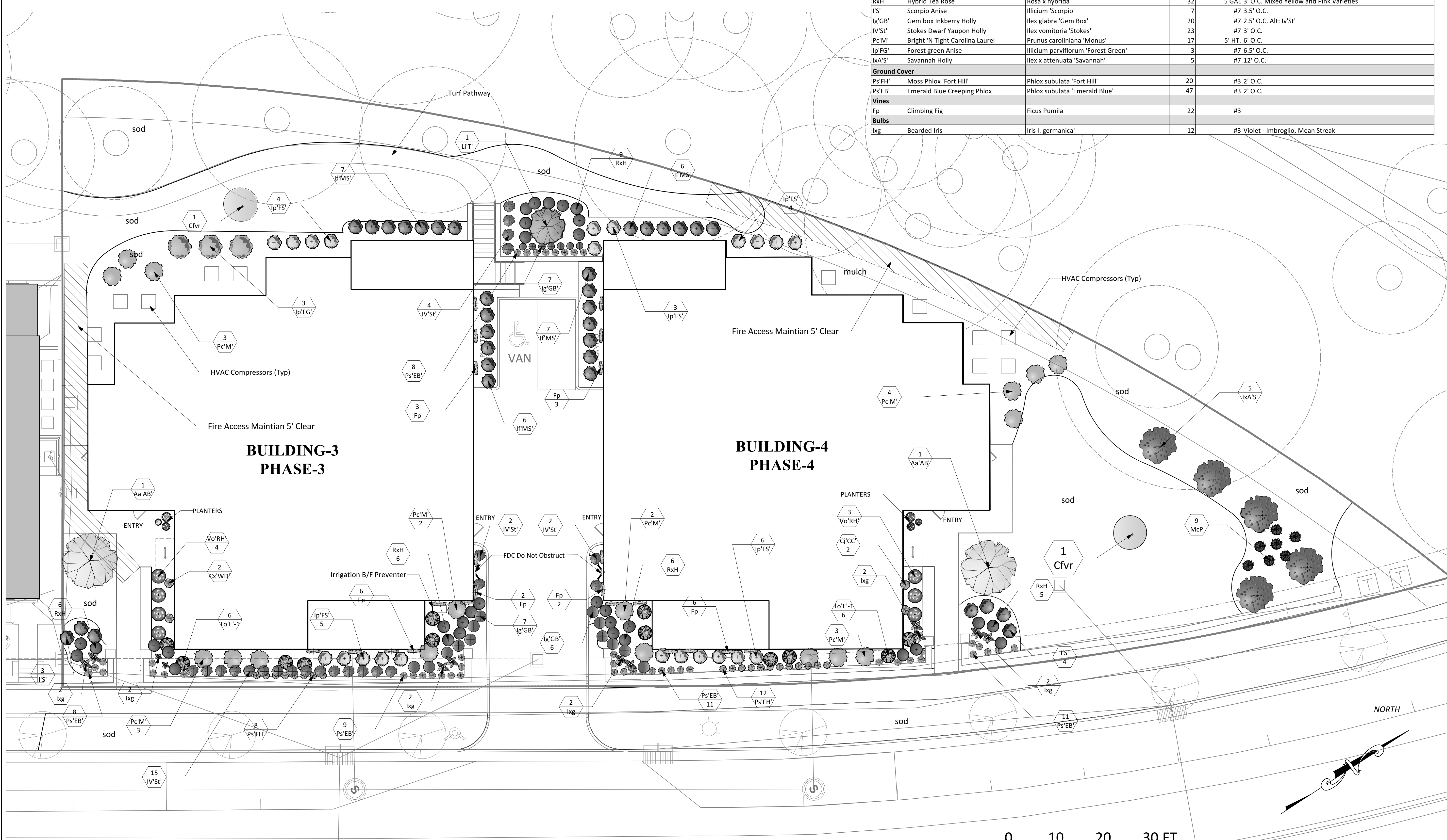
Surveyed:

McAdams

LA1.0

of

ID	Common Name	Botanical Name	Qty	Scheduled Size	Remarks & Spacing
<b>Trees</b>					
Aa'AB'	Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	2	3" CAL	Single Stem
Li'T'	Tuscarora Crape Myrtle	Lagerstroemia indica x 'Tuscarora'	1	10'-12' Ht.	3-Stem
Cfvr	Pink Flowering Dogwood	Cornus florida var. rubra	2	2.5" CAL	
<b>Shrubs</b>					
To'E'-1	Emerald Green Arborvitae	Thuja occidentalis 'Emerald'	12	6' HT.	
Cx'WD'	Winter's Dream Camellia - Espalier	Camellia x 'Winter's Dream'	2	10 GAL	Espalier - Approved Alt. Variety: Winters Charm
Cj'CC'	Charles Cobb Camellia - Espalier	Camellia japonica 'Charles Cobb'	2	10 GAL	Espalier - Charles Cobb, Spellbound or similar Ht and color
Ip'FS'	'Florida Sunshine' Anise	Illicium parviflorum 'Florida Sunshine'	22	#10 4' O.C.	
Vo'RH'	'Raulston Hardy' Viburnum	Viburnum obovatum 'Raulston Hardy'	7	#7 4' O.C. Alt: Iv'S'	
If'MS'	'Miss Scarlet' Anise	Illicium floridanum 'Miss Scarlet'	26	#7 3.5' O.C.	
RxH	Hybrid Tea Rose	Rosa x hybrida	32	5 GAL 3' O.C.	Mixed Yellow and Pink Varieties
I'S'	Scorpio Anise	Illicium 'Scorpio'	7	#7 3.5' O.C.	
Ig'GB'	Gem box Inkberry Holly	Ilex glabra 'Gem Box'	20	#7 2.5' O.C. Alt: Iv'St'	
Iv'St'	Stokes Dwarf Yaupon Holly	Ilex vomitoria 'Stokes'	23	#7 3' O.C.	
Pc'M'	Bright 'N Tight Carolina Laurel	Prunus caroliniana 'Monus'	17	5' HT. 6' O.C.	
Ip'FG'	Forest green Anise	Illicium parviflorum 'Forest Green'	3	#7 6.5' O.C.	
IxA'S'	Savannah Holly	Ilex x attenuata 'Savannah'	5	#7 12' O.C.	
<b>Ground Cover</b>					
Ps'FH'	Moss Phlox 'Fort Hill'	Phlox subulata 'Fort Hill'	20	#3 2' O.C.	
Ps'EB'	Emerald Blue Creeping Phlox	Phlox subulata 'Emerald Blue'	47	#3 2' O.C.	
<b>Vines</b>					
Fp	Climbing Fig	Ficus Pumila	22	#3	
<b>Bulbs</b>					
Ixg	Bearded Iris	Iris I. germanica'	12	#3 Violet - Imbroglio, Mean Streak	



MEADOWMONT LANE - DIVIDED

1 Planting Plan  
Scale: 1" = 10'-0"

0 10 20 30 FT



**NOTES:** See also Project Specifications referenced below.

**1. UNDERGROUND UTILITY VERIFICATION**

Landscape contractor to verify location of underground utilities before beginning work.

**2. SOIL PREPARATION**

Where existing vegetation remains in areas to be seeded, eradicate existing vegetation by having a licensed spray technician apply an approved herbicide or tilling the weeds into the soil. Good pre-seeding weed control may require spraying two applications of herbicide (at least two weeks apart). Close mowing two weeks prior to spraying is recommended to stimulate weed growth. Herbicide must be applied to vegetative growth in order to kill undesirable plants and their roots. The second application is needed only if the first application is insufficient.

Test soil qualified laboratory tests and amend with lime and fertilizer as needed. Achieve a pH of at least 6.0. Amend soils pursuant to the soils test report and till into the top 18" for all compacted soil areas to be vegetated..

For heavy compacted clay soils - Organic matter must be added in order to prevent the clay from hardening after rain events, to the point where emergent seedlings will be unable to push through the soil surface. Organic matter, such as straw, compost, mulch, leaf litter, etc., must be added in order to increase soil organics to at least 1%. The organics must be worked into the top-most soil prior to planting using a tiller, harrow, disk, or similar implement. Cultivating the top 6" of soil will aid in root development of emergent seedlings, and will allow some percolation of rain water that would otherwise run off the surface with little to no infiltration, likely carrying the seed away with it. Tilling of the top 18" of soil is required for all areas of compacted soil.

If heavy soil conditions are encountered where percolation is not adequate to prevent ponding after a normal rainfall event then the following procedures supersede those illustrated in the accompanying details. Where subgrade does not allow for natural drainage through amendments or subsurface drainage, rootballs shall be set at a depth not to exceed 1/2 of the total rootball depth. Provide additional amendments or drainage as needed to ensure survival of the plant after consulting with landscape architect.

Tracking slopes with mechanized equipment should be done perpendicular to fall line to minimize runoff and erosion.

See Tree Pit Detail for structural soil backfill, tree aeration and stabilization and deep root watering.

**3. IRRIGATION**

All new plant areas of site as shown on the plans are to be irrigated as noted. Design-Build system design to be submitted to the landscape architect for review and approval prior to installation. Irrigation design shall provide high efficiency drip or spray irrigation to all tree and shrub areas and rotary or spray irrigation to all turf areas. Irrigation design shall incorporate a Root Watering System (RWS) capable of complete deep root watering of root balls. Irrigation Contractor shall be licensed as required by the State in which the work is to be conducted.

**4. PLANT MATERIAL STANDARDS**

All plant material and planting standards specified shall meet the minimum standards for nursery stock- ANSIZ60.1-2004 or the County whichever is stricter. Any material with evidence of disease or pest infestations will be rejected. All rework will be at the expense of the Contractor. Substitutions will be permitted only upon prior approval by the Landscape Architect or Owner's Representative. Contractor shall be responsible for furnishing all seed tags and plant tags affirming origin and species. Plant tags shall not be removed prior to final inspection and acceptance. Contractor is responsible for the health of all plant material for a minimum of 30 days following final acceptance. If contractor is awarded a contract for maintenance then he/she shall be responsible for the health and/or replacement of all material as set forth by the maintenance contract.

**5. MISCELLANEOUS NOTES - ANNUALS, MULCH & PLACEMENT OF PLANTS**

- a. Landscape contractor shall submit a schedule of proposed plantings for all annual beds and planters providing for spring and fall plant rotations. Select plants to provide variety and unity. Submittal shall be made to Landscape Architect or Owner's Representative for approval prior to installation.
- b. Tree placement and landscape bed layout to be approved by landscape architect prior to installation.
- c. All disturbed areas are to be stabilized with lawn, plantings, or mulch. Mulch around all plants as specified. trees shall be mulched with pine straw except within 6' of buildings or as prohibited by local ordinances. Double shredded hardwood bark mulch shall be used for all perennials and annual beds. Provide steel or aluminum landscape edging (dark green in color) where liriope spicata is to be installed adjacent to shrub, turf, or other mulch areas.
- d. All turf areas shall be seeded or sodded as noted on plans and as specified below.
- e. See LANDSCAPE MAINTENANCE OUTLINE for additional specifications.
- f. Plant Quantities shown in the Plant List are included for convenience. Contractor shall be responsible for verifying quantities and providing all plants shown on plan.

**6. WARRANTY**

All plant material shall be warranted by the Landscape Contractor installing the material while under his/her care. Alternative arrangements made for the installing contractor to supervise the ongoing maintenance and prescribe corrective actions that are then carried out may extend this warranty period subject to the approval by all parties. Additional warranty details are include in Specifications referenced below.

**Note: These plans, details and specifications do not comprise the complete project specifications. See Complete Project Specifications which accompany these plans. The Seeding Specifications noted below are superseded by complete project specifications. Reference Specification Sections noted below:**

- 1. Final Grading & Soil Preparation 32 9113
- 2. Planting Soils Section 32 9115
- 3. Planting - Section 32 9300
- 4. Turf & Grasses (Sod) Section 32 9200
- 5. Seeding 32 9219

**SEEDING SPECIFICATIONS AND SCHEDULES**

**Temporary Seeding:**

All areas disturbed by construction will be stabilized with temporary seeding immediately following grading. Seeding will comply with the standards and specifications of the latest edition of the Erosion and Sediment Control Regulations for the State or jurisdiction in which the project is located. Seeded areas will be maintained in keeping with accepted practices and care.

**Permanent Seeding: Level-1 TURF AREAS**

- August 15th - April 1st  
Cool Season Turf Grass - Seed with Tri-Mix Carolina Fescue 100 lbs/ac + 75 lbs/ac Creeping Fescue (Rubra rubra) straw and tack all newly seeded areas not hydro seeded.  
Sod - as noted below
- April 1st - May 1st  
Cool Season Turf Grass - Seed with Kentucky 31 Fescue 100 lbs/ac + 75 lbs/ac Creeping Fescue (Rubra rubra) + Kentucky Bluegrass 10 lbs/ac; straw and tack all newly seeded areas not hydro seeded.  
Sod - as noted below
- May 1st - August 15th  
Warm Season Turf Grass - Sunsport Improved Bermuda - 3 lbs/1,000 sf  
Sod - as noted below

**Permanent Seeding Level-2 Areas Low Maintenance Steep (Steep slopes >3:1 H:V) - Seeding Schedule**

Seed	Rate
Kentucky 31 Tall Fescue	150 lbs/ac
Creeping Fescue or Redtop (Festuca rubra)	20 lbs/ac
Bermudagrass**	20 lbs/ac
Eragrostis curvula (Schrad.) Nees	2 lbs/ac
Resolute White Clover	20 lbs/ac
Seasonal Nurse Crop*	20 lbs/ac
Southeastern Annual & Perennial Wildflower Mix (ERNMX-169 Ernst Seed Co.)	10 lbs/ac
	242 lbs/ac Total

**SOD AREAS**

A Premium Hybrid Bermudagrass Sod shall be installed in all areas shown or noted as sod. Contractor shall be responsible for handwatering sod until established where no irrigation is proposed. If planting schedule requires sod placement during dormant periods, the sod shall be overseeded with annual rye. Substitutions due to sod variety availability shall be submitted to Landscape Architect for approval prior to installation.

**LANDSCAPE MAINTENANCE OUTLINE**

The following outline describes the basic elements of work that will be performed throughout the calendar year:

**I. LAWNS - WARM SEASON TURF**

**A. Mowing**

All lawns will be mowed as needed throughout the year in order to maintain a clean, neat appearance. Typically all lawns will be cut at a height of 2" for warm season grasses and 3"- 4" for cool season grasses.

**B. Fertilization and Weed Control**

- February/March: All lawns will be treated with a pre-emergent herbicide for the prevention of annual weed grasses and broadleaf weeds.
- March: All lawns will be treated with a high-density fertilizer to promote Spring plant growth and replace nutrients lost due to leaching during the Winter months.
- May: All lawns will be treated with a post-emergent herbicide for control of broadleaf weeds and weed grasses, plus a slow-release fertilizer to maintain a healthy turf during the Summer months.
- September: All lawns will have a Fall application of fertilizer to replace nutrients lost during the Summer months.
- November: All lawns will be treated with a slow-release fertilizer with Iron-Plus to promote Winter hardiness.

**C. Insects and Disease Control**

All lawn areas will be monitored for infestation of insects or appearance of turf diseases. Due to the unpredictable nature of these problems, treatments will be performed on an "as needed" basis to prevent and control infestations. All insecticides/ fungicides will be applied under the supervision of a Certified Pesticide Applicator. Vertebrate pests such as deer, beaver, voles, and moles shall be monitored and reported to property manager when occurrences are noted.

**II. EDGING**

**A. Lawns**

All curbs and sidewalks will be edged, as needed, throughout the year in order to maintain a clean cut, crisp edge.

**B. Shrub Beds**

All bed lines will be edge cut once a year.

**III. PLANTING**

**A. Weed Control**

March: all bed areas will be treated with a pre-emergent herbicide to control weed seed germination (Ex. Barricade, Snapshot, pendulum)

When needed, all beds will be treated with the selective post-emergent herbicide, (Ex. Finale, Roundup, Reward,) to control weed seeds, which have germinated.

Additional hand weeding and selective spraying of herbicides such as ROUND-UP will be performed as needed

All applications will be applied under the supervision of a licensed Certified Pesticide Applicator.

**B. Fertilization**

All evergreen shrub beds will be fertilized in the early Spring according to soil test results and plant /fertilizer recommendations.

All blooming trees and shrubs (i.e., azalea, rhododendron, dogwoods, redbud) will be fertilized with a complete analysis fertilizer 4 to 5 weeks after blooming.

Deciduous trees and shrubs except blooming species will be fertilized with a complete slow release fertilizer in the early Spring and two additional times during the growing season.

**C. Pruning**

All plantings will be pruned at the appropriate time of the year according to type / species. For example, Spring blooming trees and shrubs will be pruned after flowering while Summer blooming species will be pruned in Winter or early Spring

**D. Insect and Disease Control**

All plantings will be monitored for infestation of insect or appearance of disease. Once identified, chemical treatments will be applied. All applications will be performed under the supervision of a licensed Certified Pesticide Applicator.

**IV. CLEAN-UP**

**A. Grounds**

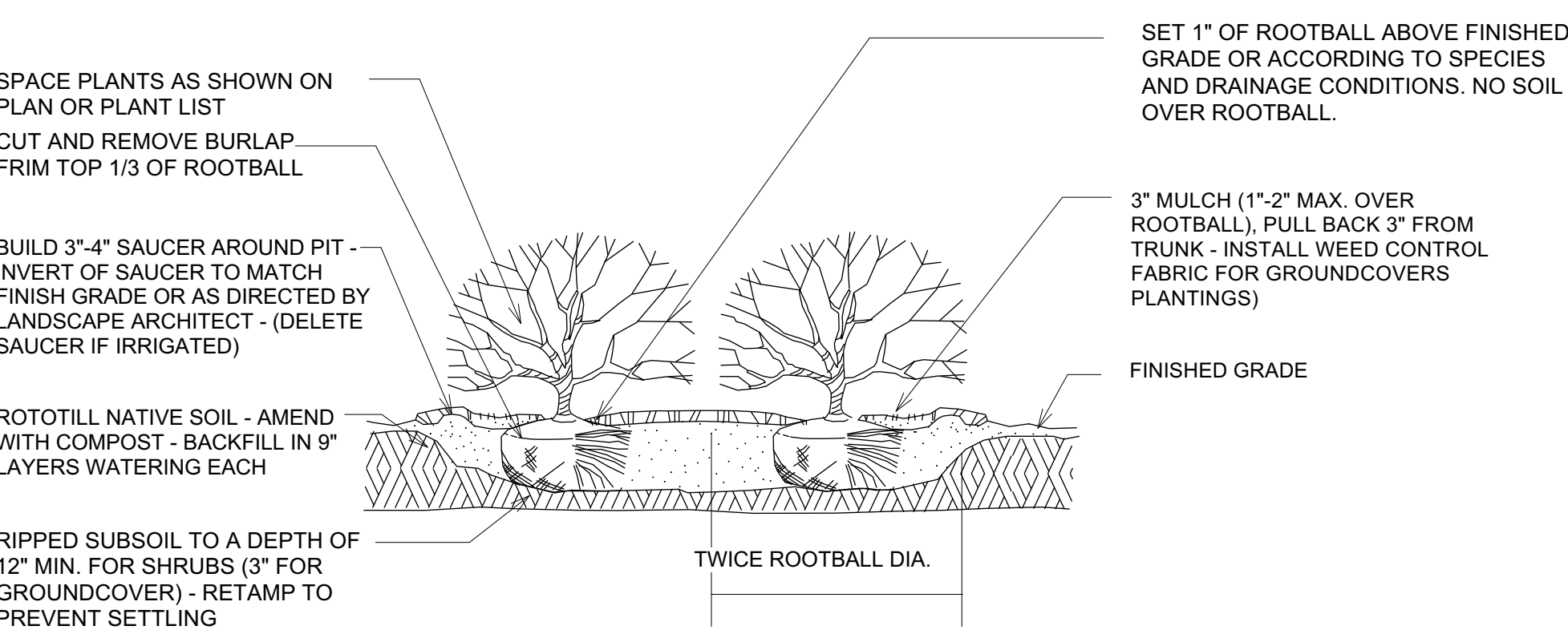
All grounds will be policed on a bi-weekly basis.

Major damage due to high winds, ice, snow, or other unpredictable acts of nature is not included but shall be offered on an hourly basis. Contractor shall provide property manager with hourly rates for labor and equipment at the time of contract acceptance/renewal.

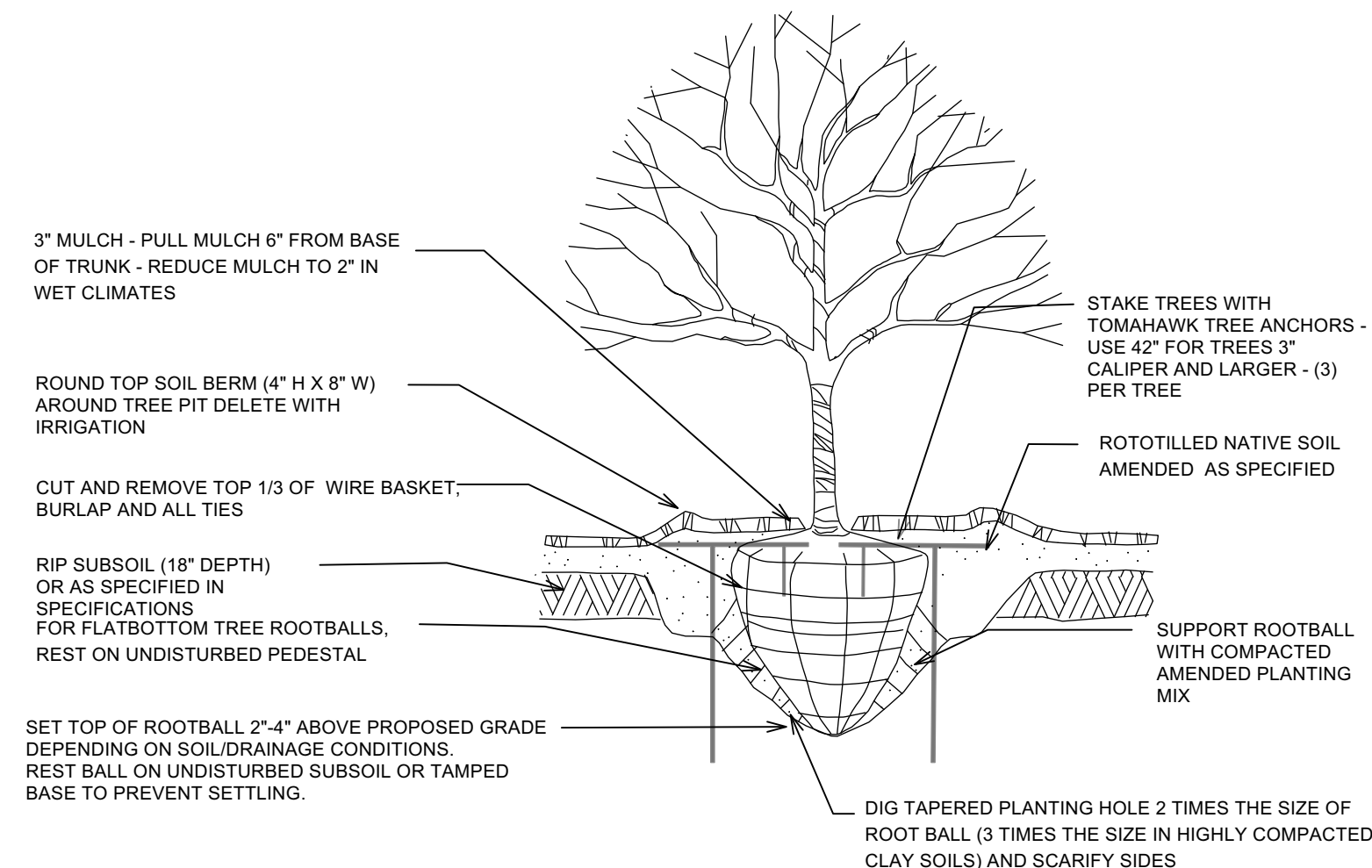
Leaf clean-up of walks, turf areas, shrub beds and other high visibility areas is to be provided weekly. Leaf cleanup in out lying natural areas is to be provided twice per year in the fall.

**V. IRRIGATION (if provided)**

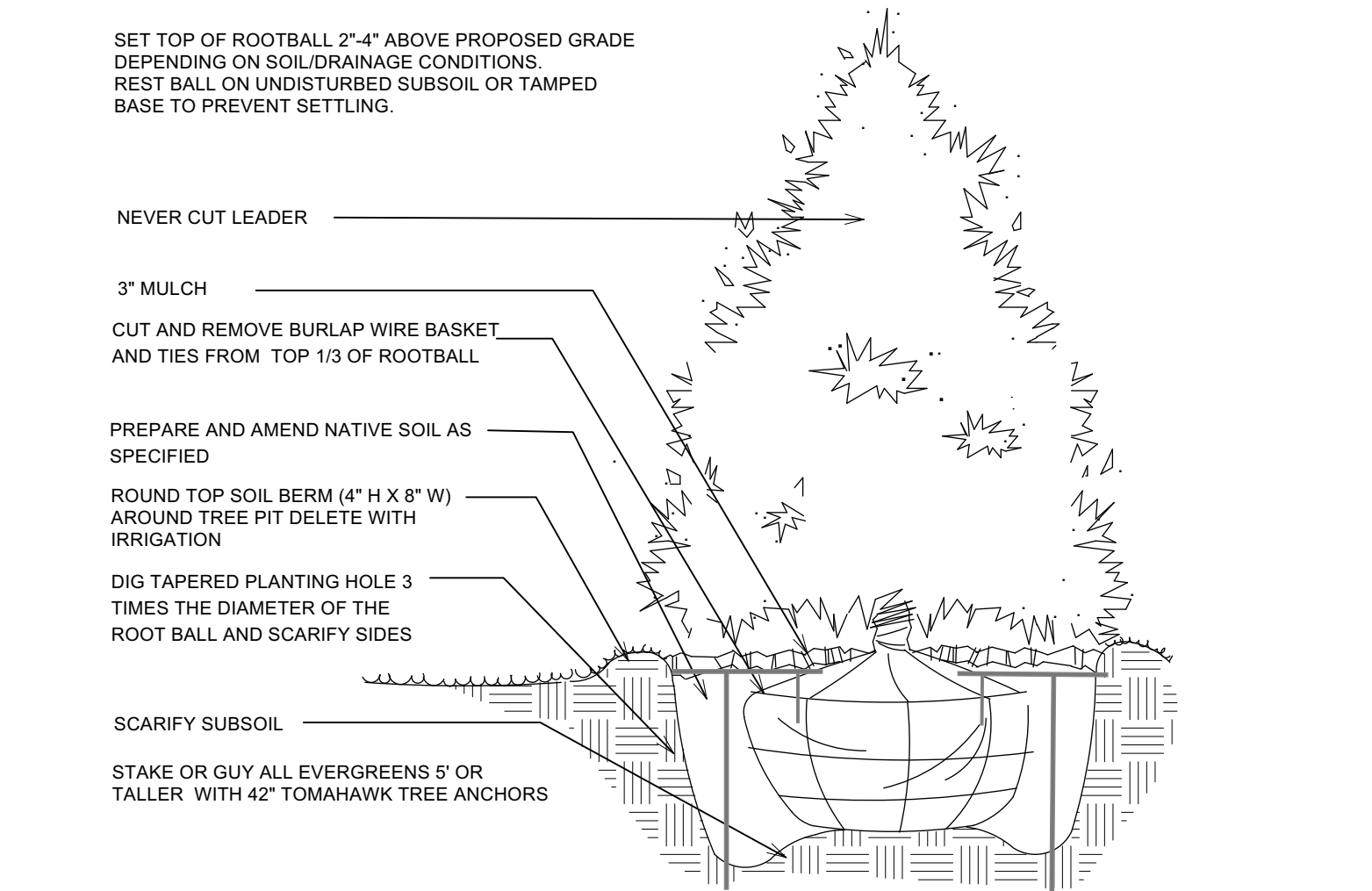
All Irrigation will be monitored on a weekly basis to insure coverage per the irrigation design. Repairs made as needed. Cost for repairs shall be specified in Landscape Contract. Provisions shall be made to draindown in the fall to insure against freezing.



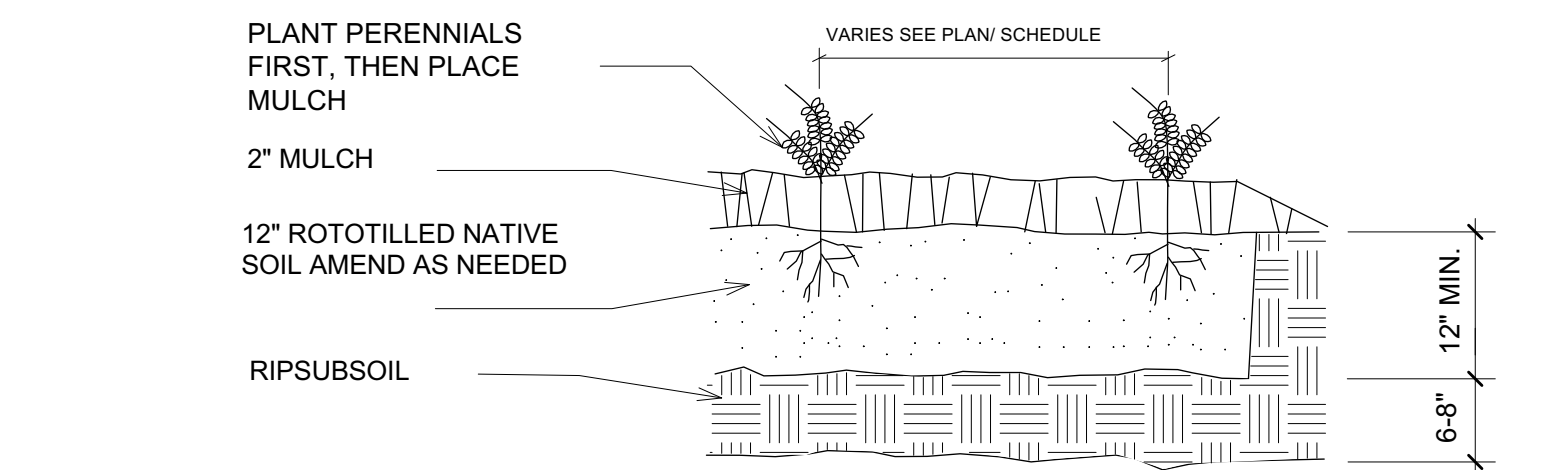
3 SHRUB PLANTING AND GROUNDCOVER PLANTINGS N.T.S.



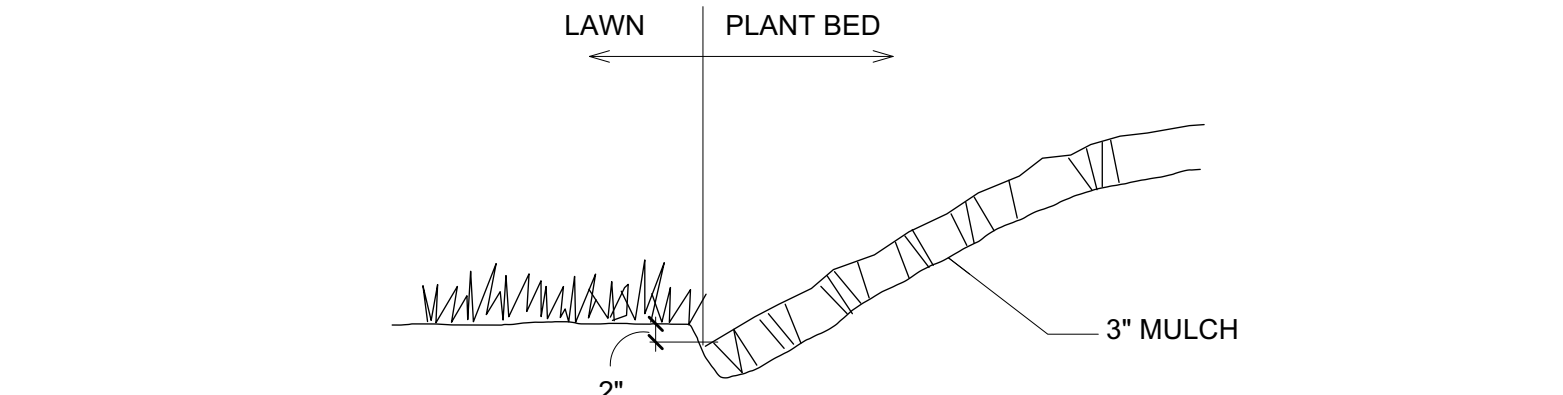
1 TREE PLANTING N.T.S.



2 EVERGREEN TREE PLANTING N.T.S.



4 PERENNIAL PLANTING N.T.S.



5 MULCH EDGE N.T.S.

Project:  
**Overlook At The Cedars**

Applicant/Developer/Contract Purchaser:  
**The Cedars of Chapel Hill**  
211 Cedar Breeze Lane  
Chapel Hill, NC 27517  
Located in Meadowmont

Property Owner:  
**Murray Hill LLC**  
1450 Environ Way  
Chapel Hill, NC 27517

Property Address:  
207 & 209 Meadowmont Ln.  
Chapel Hill, NC 27517  
PIN'S: 97987544547 & 9798753478

Sheet Title:

**Planting Details**

No.	Date:	Issue Notes:

Design Firm:  
**Scott Murray Land Planning, Inc.**  
274 Botetourt Ct. Boynton, VA 23917  
252-213-9501 434-689-2925 (fax)  
www.stmlandplan.com  
smurray@stmlandplan.com

Limitations of Use and Liability Disclaimer - This document and all associated documents are provided for a specific site and the named Project only. In no event shall the Client or any third party copy or use any of the concepts, plans, drawings, specifications, designs, or other documents or data, document produced by the Consultant in connection with the Project (the "Instruments of Service") for any purpose other than those noted above or in relation to any project other than the named Project without the prior written permission of the Consultant. Liability arising from the use of these documents is limited to the scope of services fee agreed to in the Project Proposal Scope of Services.

Scale: As Noted	<b>LA1.1</b> of
Date: 5-21-2024	
Drawn & Checked By: STM	
Surveyed:	

SITE DEVELOPMENT AREA	26,504 SF
TREE CANOPY REQD. FOR MULTI-FAMILY	30%
TOTAL TREE CANOPY REQUIRED	7,951 SF
TOTAL TREE CANOPY PROPOSED	8,000 SF
PERCENTAGE TREE CANOPY PROPOSED	30%

Project:  
**Overlook**  
At The Cedars

Applicant/Developer/Contract Purchaser:  
**The Cedars of Chapel Hill**  
211 Cedar Breeze Lane  
Chapel Hill, NC 27517  
Located in Meadmont

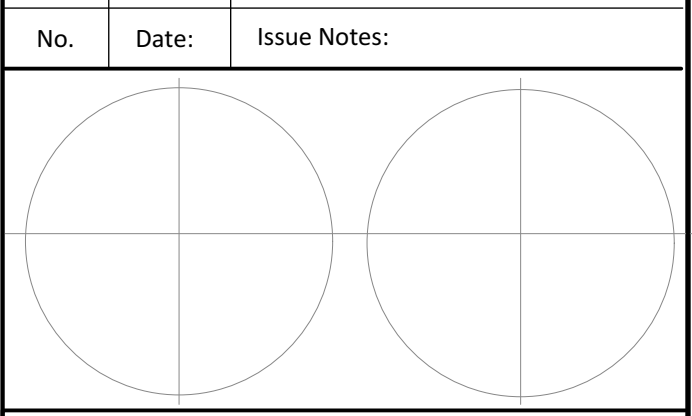
Property Owner:  
**Murray Hill LLC**  
1450 Environ Way  
Chapel Hill, NC 27517

Property Address:  
207 & 209 Meadowmont Ln.  
Chapel Hill, NC 27517

PIN'S: 97987544547 & 9798753478

Sheet Title:  
**Tree Canopy Plan**

No.	Date:	Issue Notes:



Design Firm:  
**Scott Murray Land Planning, Inc.**  
274 Botetourt Ct. Boynton, VA 23917  
252-213-9501 434-689-2925 (fax)  
www.stmlandplan.com  
smurray@stmlandplan.com

*Limitations of Use and Liability Disclaimer - This document and all associated documents are provided for a specific site and the named Project only. In no event shall the Client or any third party copy or use any of the concepts, plans, drawings, specifications, designs, or other documents or data, document produced by the Consultant in connection with the Project (the "Instruments of Service") for any purpose other than those noted above or in relation to any project other than the named Project without the prior written permission of the Consultant. Liability arising from the use of these documents is limited to the scope of services fee agreed to in the Project Proposal Scope of Services.*

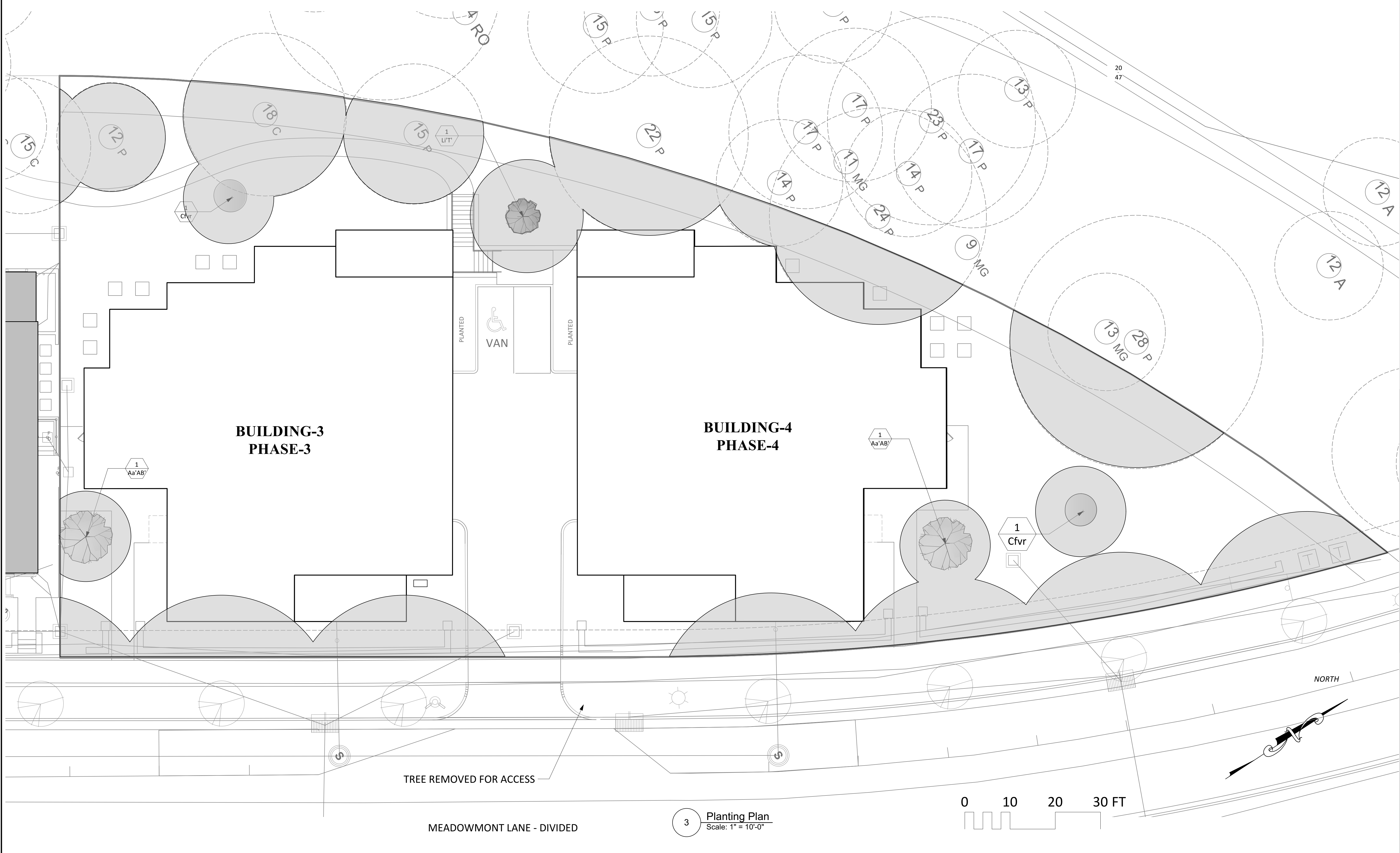
Scale:  
1" = 10'-0"

Date:  
5-21-2024

Drawn & Checked By:  
STM

Surveyed:  
McAdams

**LA2.0**  
of



**3 Planting Plan**  
Scale: 1" = 10'-0"

Project:  
**Overlook**  
At The Cedars

Applicant/Developer/Contract Purchaser:  
**The Cedars of Chapel Hill**  
211 Cedar Breeze Lane  
Chapel Hill, NC 27517  
Located in Meadowmont

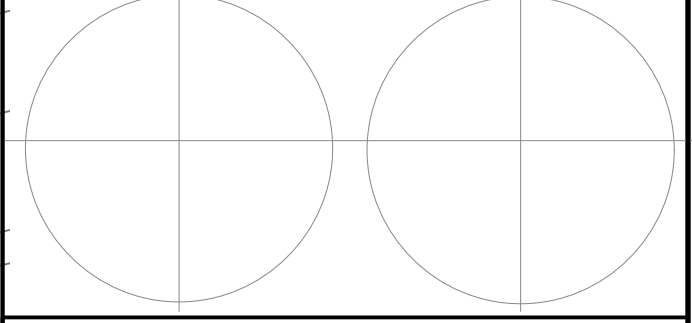
Property Owner:  
**Murray Hill LLC**  
1450 Environ Way  
Chapel Hill, NC 27517

Property Address:  
207 & 209 Meadowmont Ln.  
Chapel Hill, NC 27517

PIN'S: 97987544547 & 9798753478

Sheet Title:  
**Solid Waste Management Plan**

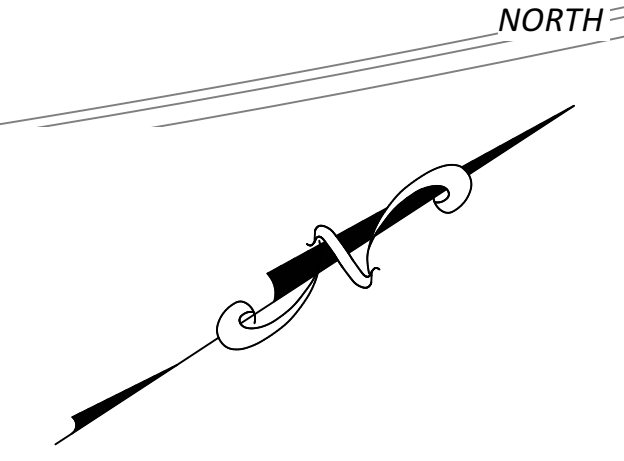
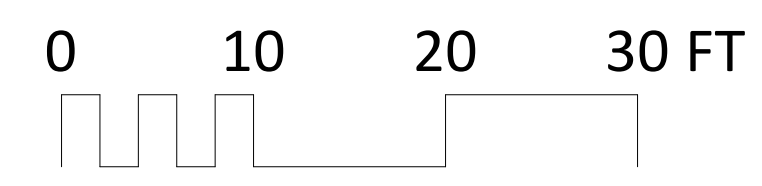
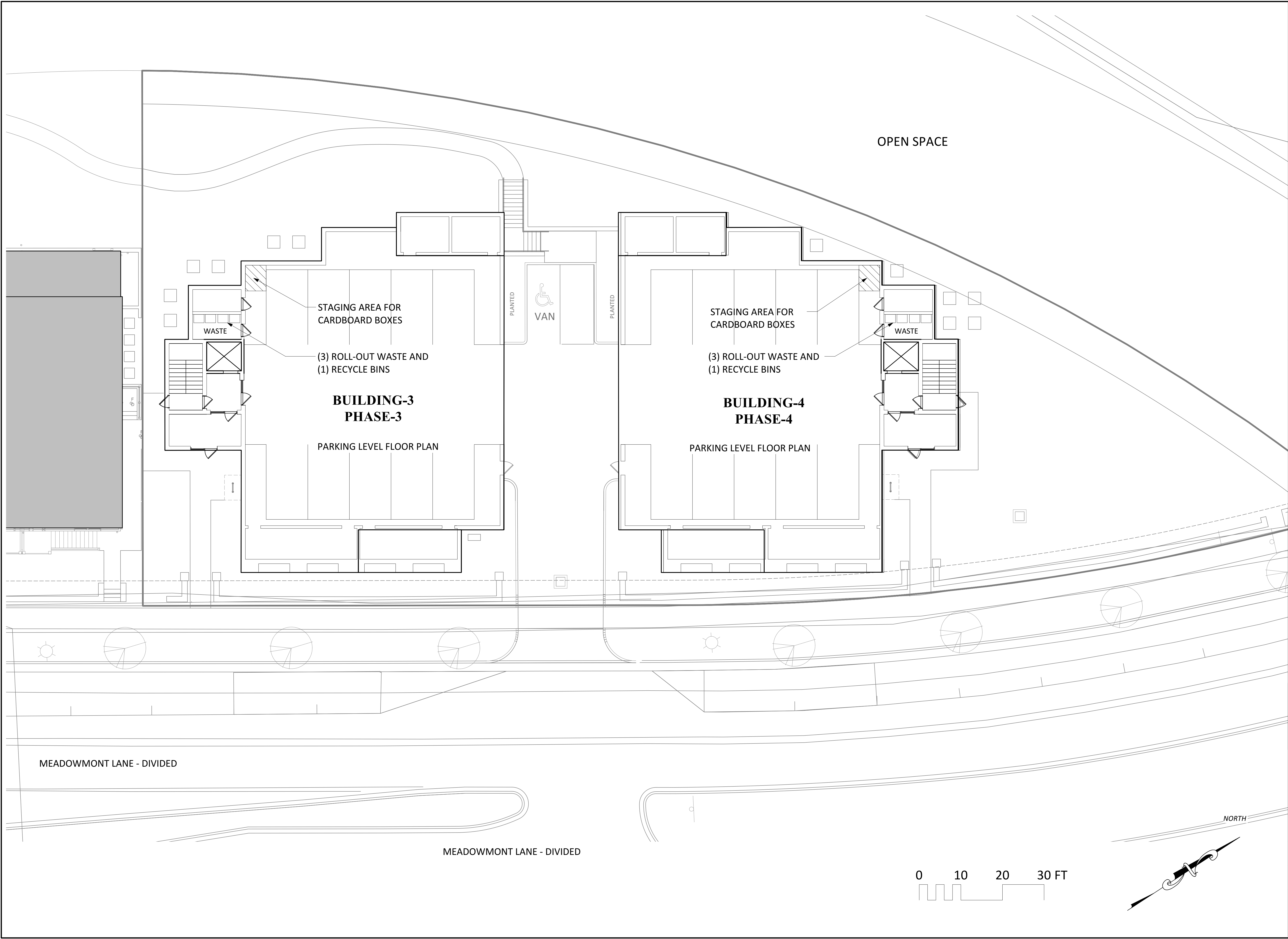
No.	Date:	Issue Notes:



Design Firm:  
**Scott Murray Land Planning, Inc.**  
274 Botetourt Ct. Boynton, VA 23917  
252-213-9501 434-689-2925 (fax)  
www.stmlandplan.com  
smurray@stmlandplan.com

*Limitations of Use and Liability Disclaimer - This document and all associated documents are provided for a specific site and the named Project only. In no event shall the Client or any third party copy or use any of the concepts, plans, drawings, specifications, designs, or other documents or data, document produced by the Consultant in connection with the Project (the "Instruments of Service") for any purpose other than those noted above or in relation to any project other than the named Project without the prior written permission of the Consultant. Liability arising from the use of these documents is limited to the scope of services fee agreed to in the Project Proposal Scope of Services.*

Scale: 1" = 10'-0"	<b>SWM1.0</b>  of
Date: 5-21-2024	
Drawn & Checked By: STM	
Surveyed:	



Project:

# Overlook At The Cedars

Applicant/Developer/Contract Purchaser:

**The Cedars of  
Chapel Hill**  
211 Cedar Breeze Lane  
Chapel Hill, NC 27517  
Located in Meadowmont

Property Owner:

**Murray Hill LLC**  
1450 Environ Way  
Chapel Hill, NC 27517

Property Address:

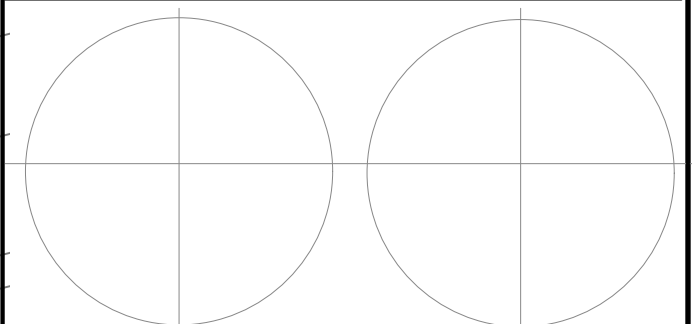
207 & 209 Meadowmont Ln.  
Chapel Hill, NC 27517

PIN'S: 97987544547 & 9798753478

Sheet Title:

## Fire Safety Plan

No. Date: Issue Notes:



Design Firm:

**Scott Murray Land Planning, Inc.**  
274 Botetourt Ct. Boynton, VA 23917  
252-213-9501 434-689-2925 (fax)  
www.stmlandplan.com  
smurray@stmlandplan.com

*Limitations of Use and Liability Disclaimer - This document and all associated documents are provided for a specific site and the named Project only. In no event shall the Client or any third party copy or use any of the concepts, plans, drawings, specifications, designs, or other documents or data, document produced by the Consultant in connection with the Project (the "Instruments of Service") for any purpose other than those noted above or in relation to any project other than the named Project without the prior written permission of the Consultant. Liability arising from the use of these documents is limited to the scope of services fee agreed to in the Project Proposal Scope of Services.*

Scale:

1" = 10'-0"

Date:

5-21-2024

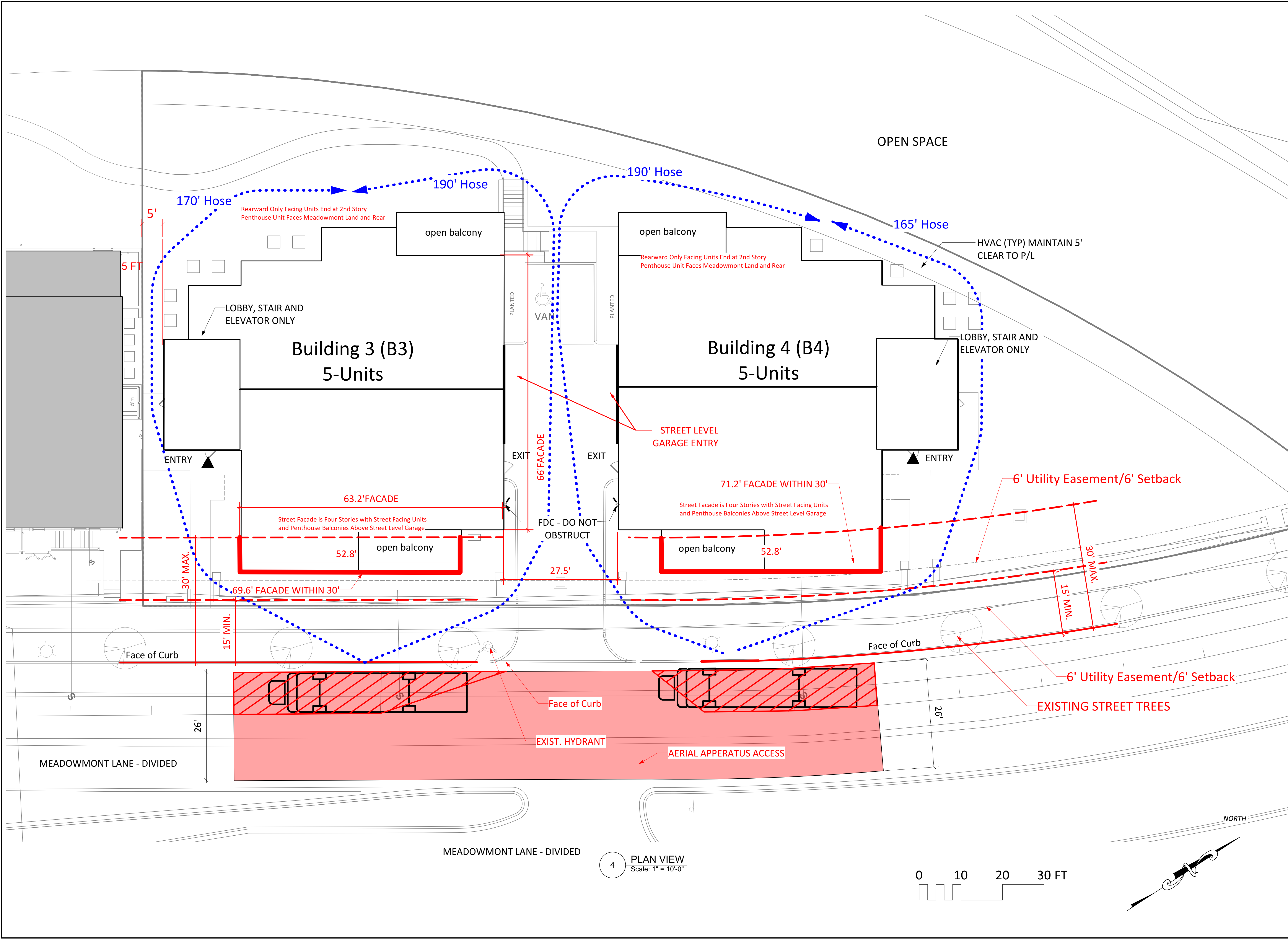
Drawn & Checked By:

STM

Surveyed:

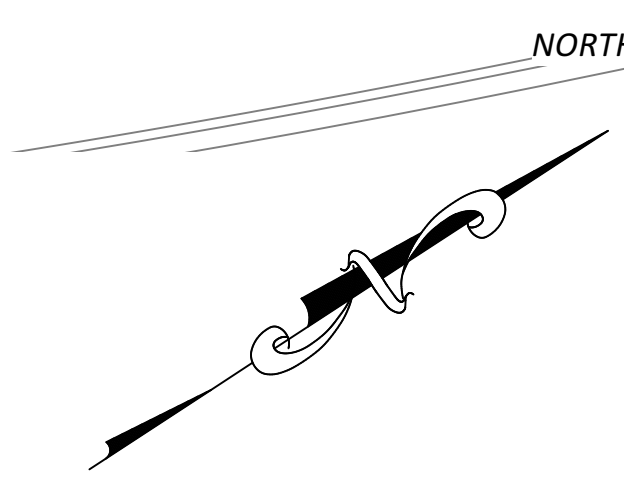
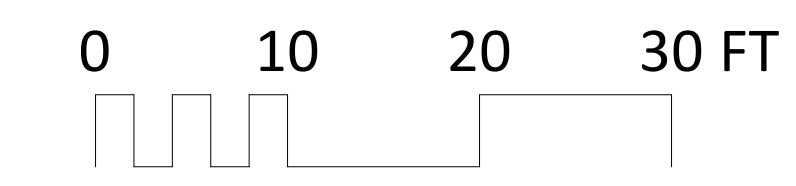
# FSP1.0

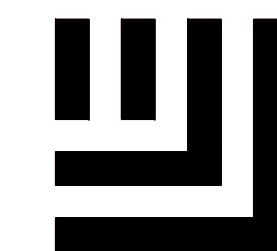
of



MEADOWMONT LANE - DIVIDED

4 PLAN VIEW  
Scale: 1" = 10'-0"





**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 361. 5000  
fax 919. 361. 2269  
license number: C-0293, C-187

www.mcadamsco.com

**CLIENT**

THE CEDARS OF CHAPEL HILL  
116 CEDAR BREEZE LANE  
CHAPEL HILL, NC 27517  
CONTACT: PERRY AYCOCK  
PHONE: 919. 608. 0252  
EMAIL: perry.aycock@longevitymarkets.com



**OVERLOOK AT THE CEDARS**  
SPECIAL USE PERMIT  
207 & 209 MEADOWMONT LANE  
CHAPEL HILL, NC 27514

**REVISIONS**

NO. DATE

**PLAN INFORMATION**

PROJECT NO. SPEC23533  
FILENAME SPEC23533-LS1  
CHECKED BY TEP  
DRAWN BY CJ  
SCALE 1"=20'  
DATE 05.22.2024

**SHEET**

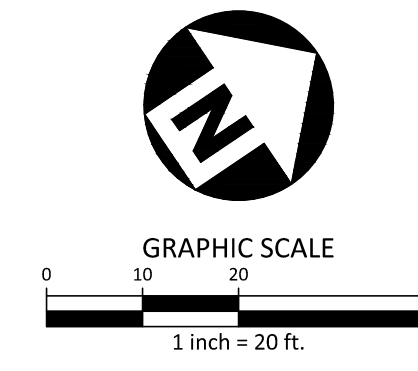
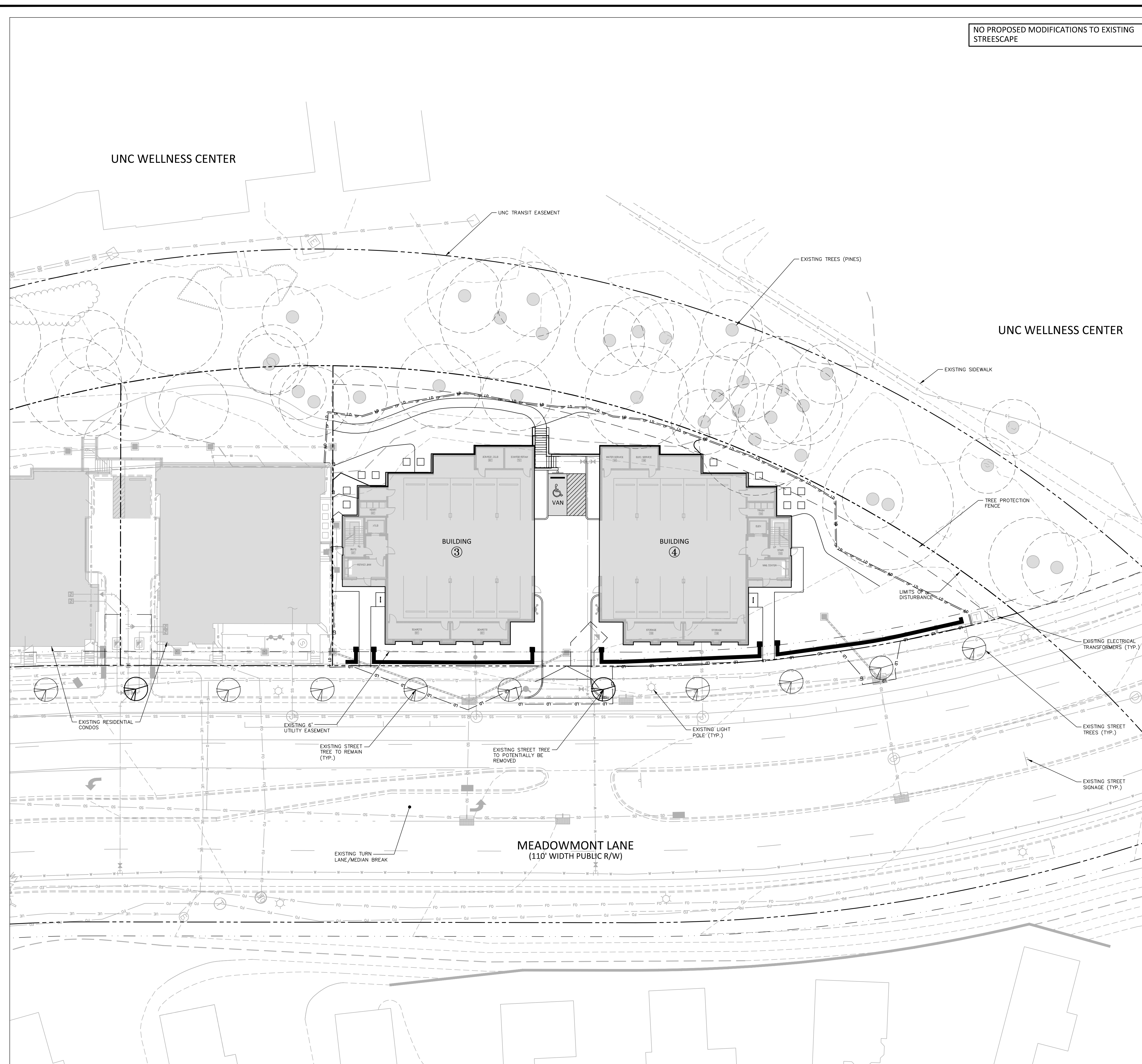
**STREETSCAPE  
PLAN**

**L4.01**

**SITE LEGEND**

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- TYPE A ACCESSIBLE ROUTE
- TYPE B ACCESSIBLE ROUTE
- TYPE C ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT

NO PROPOSED MODIFICATIONS TO EXISTING STREETScape



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\SPEC\SPEC 2023\SPEC23533 Murray Hill\04-Production\Engineering\Production Drawings\Special Use Permits\SPEC23533-LS1.dwg, 5/21/2024 10:39:33 AM, Tyler Probst

Version	Issue Name	Date

**OVERLOOK AT THE CEDARS  
207 & 209 MEADOWMONT LANE  
CHAPEL HILL, NC 27514**

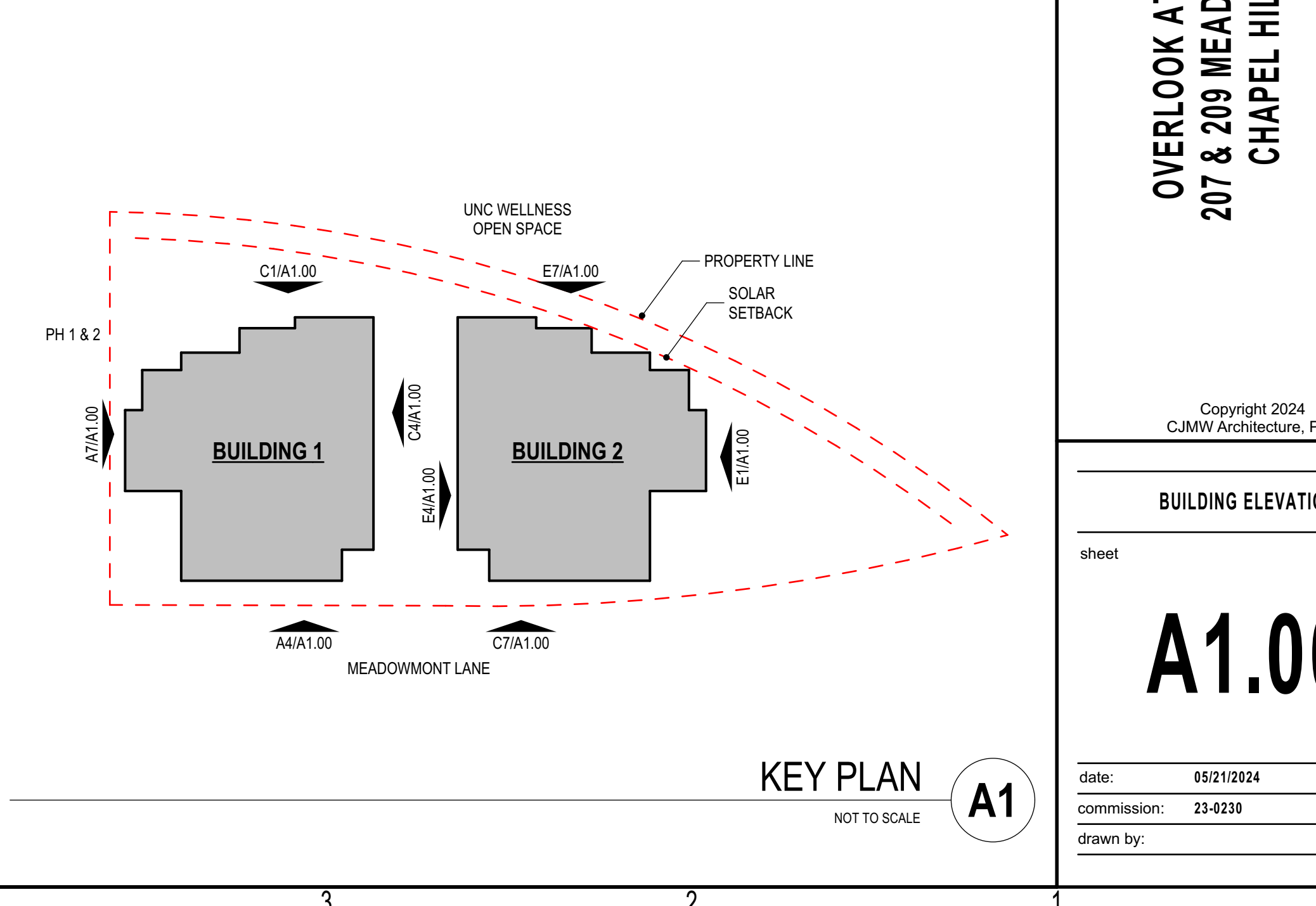
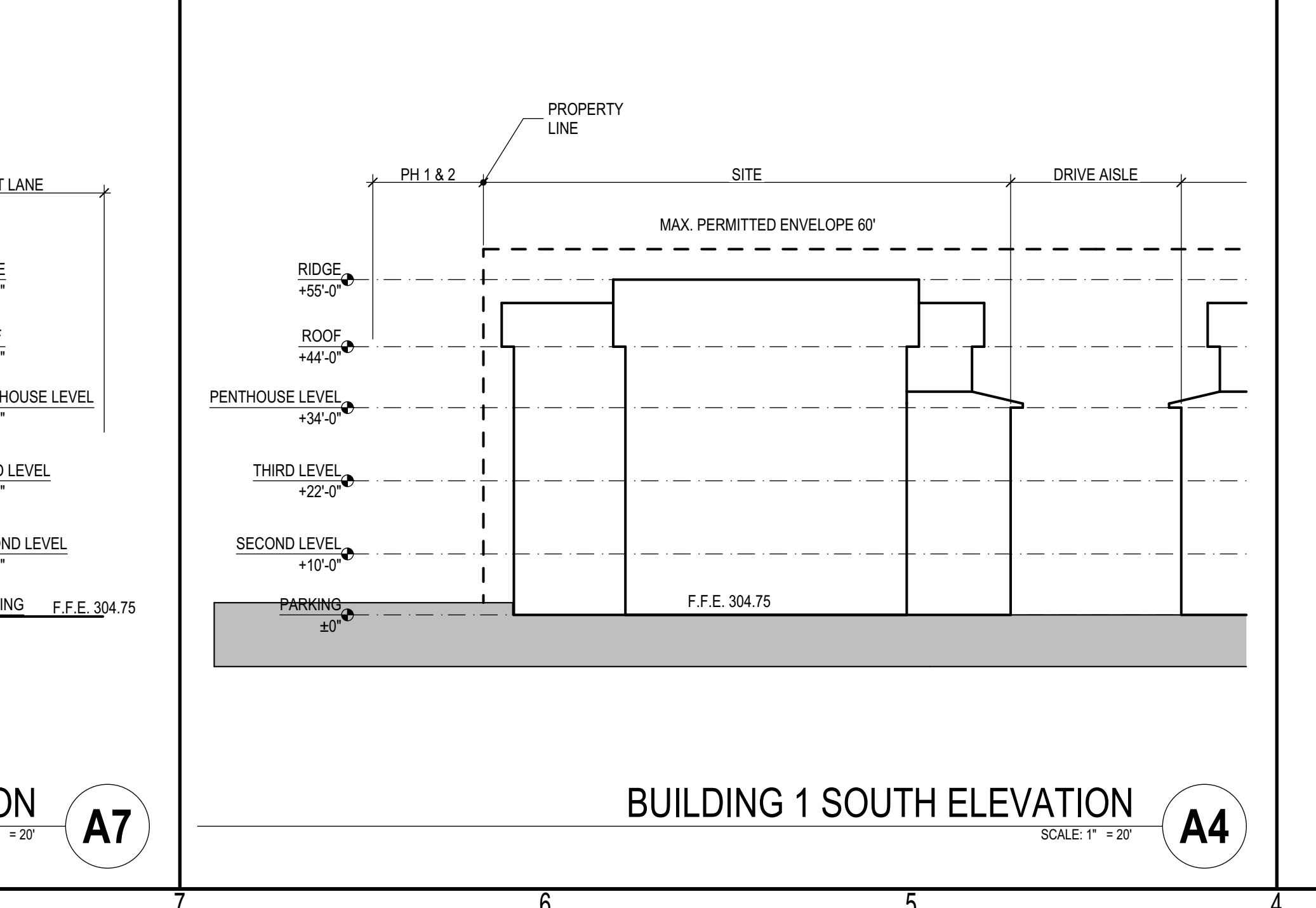
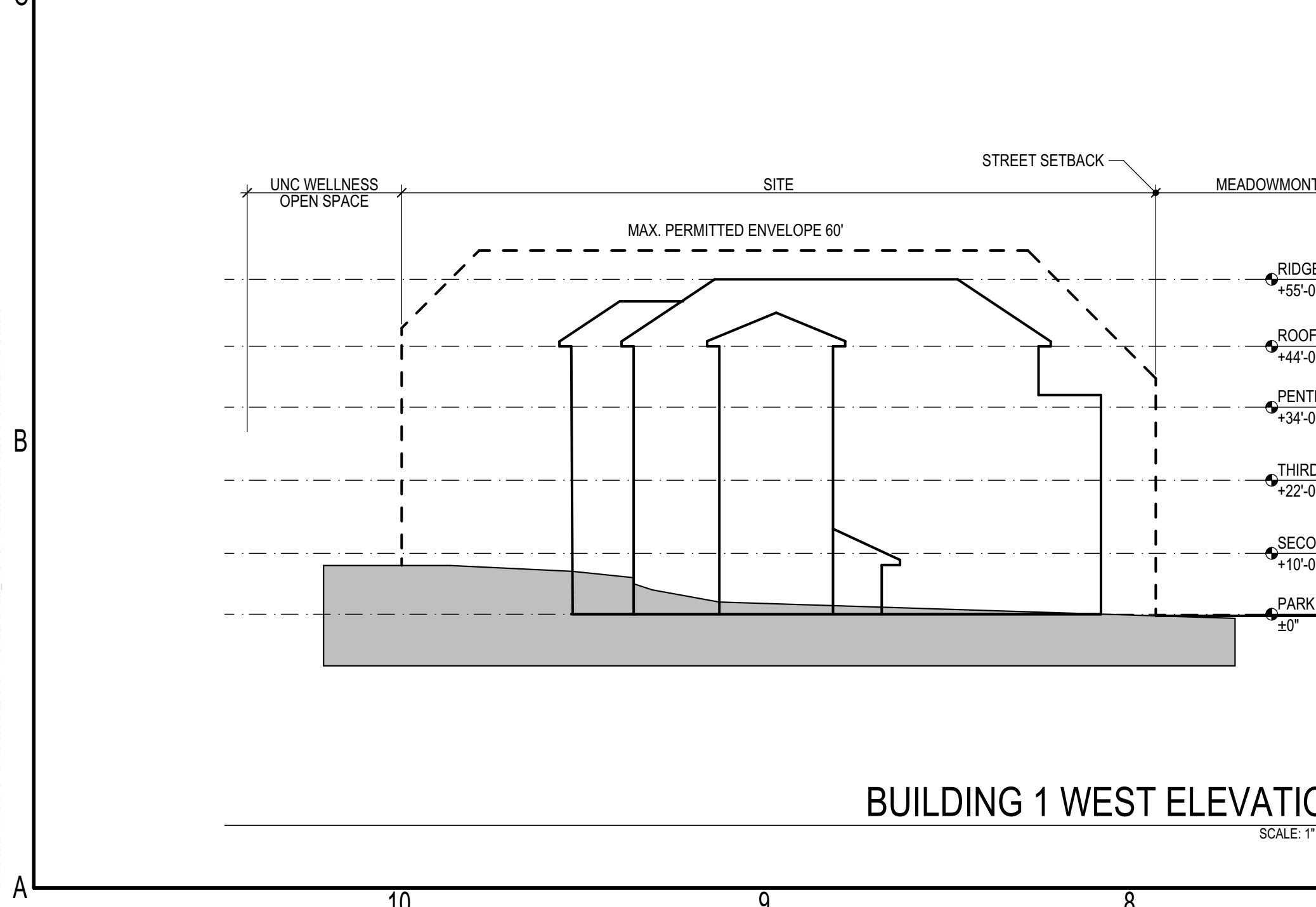
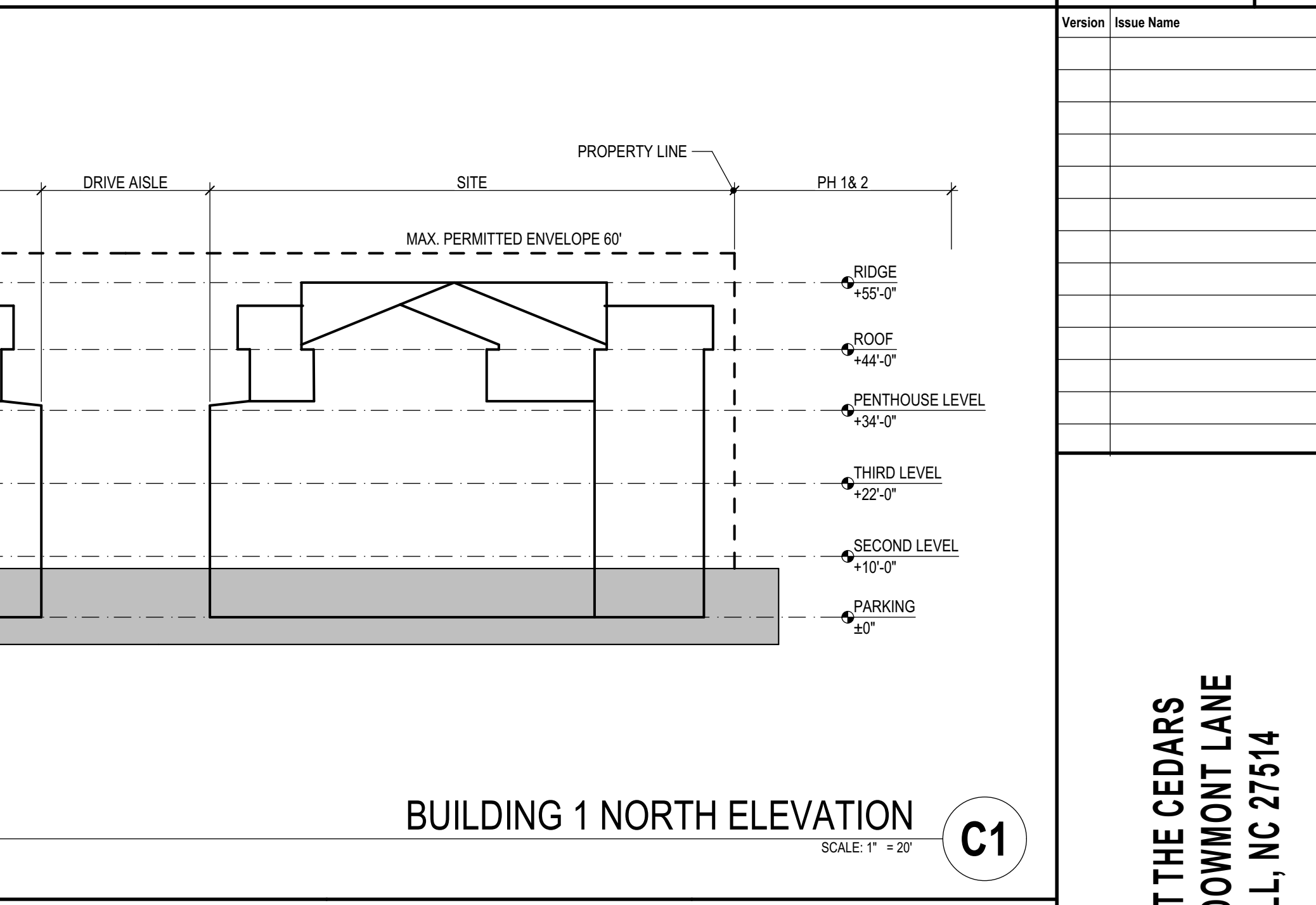
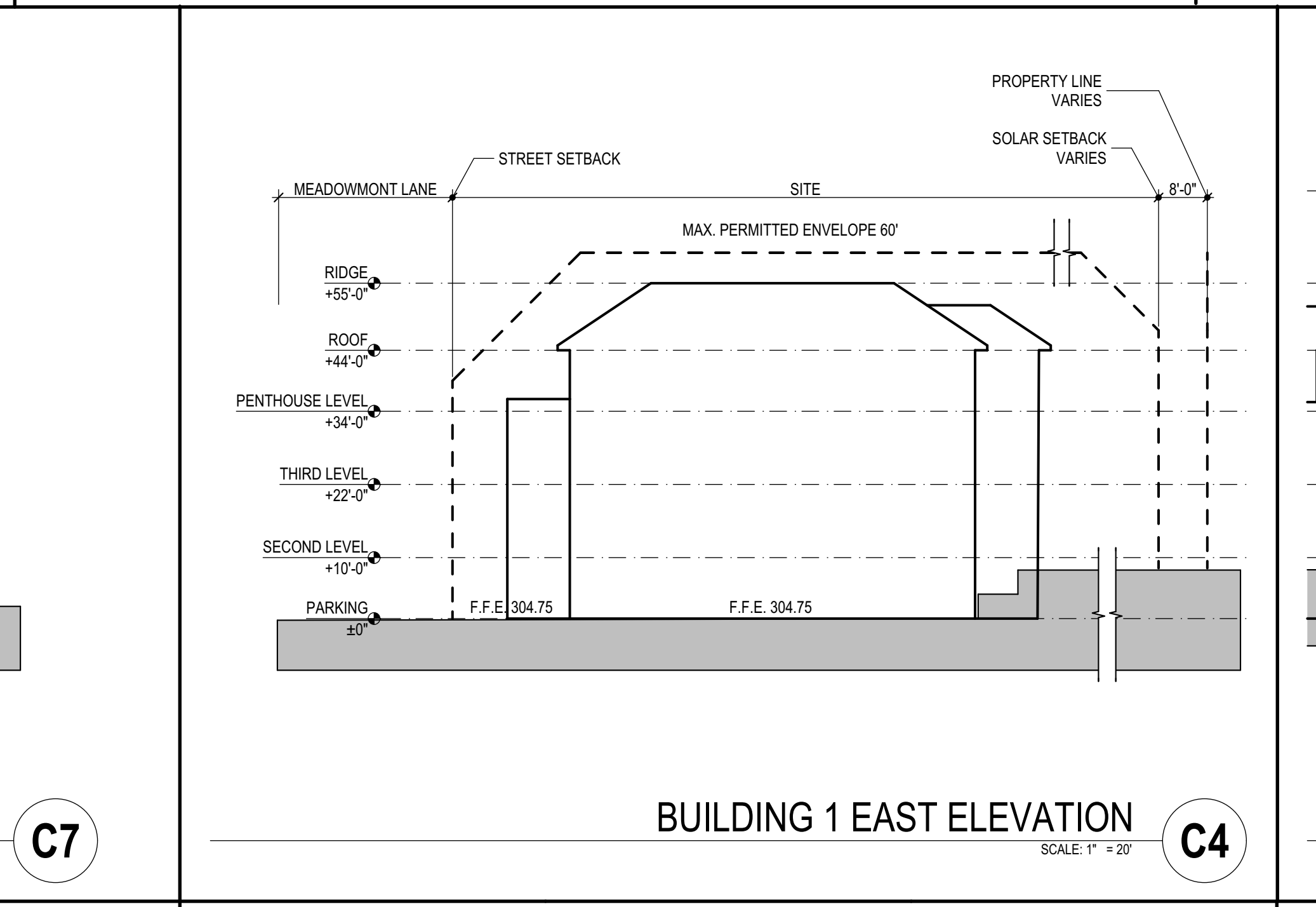
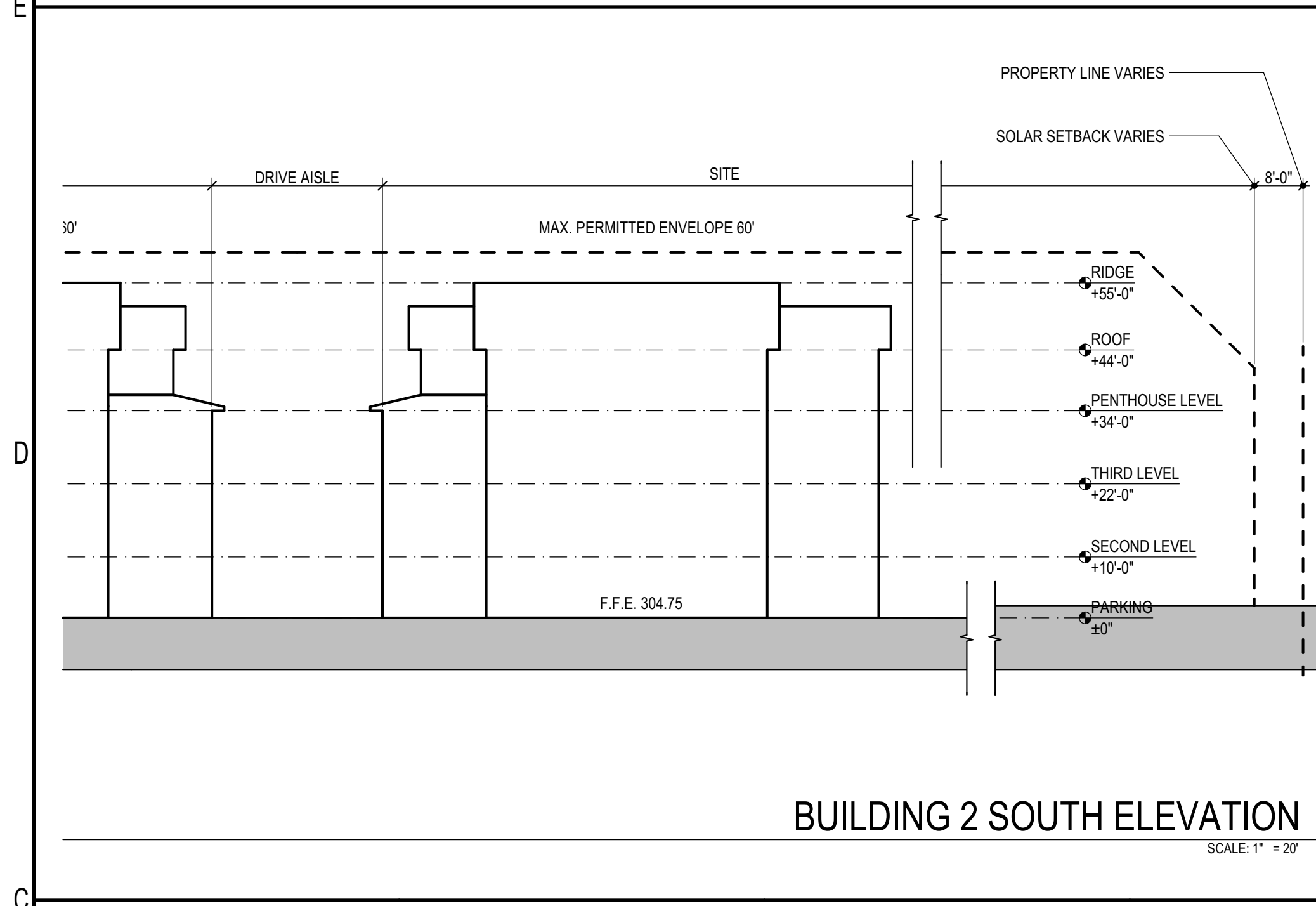
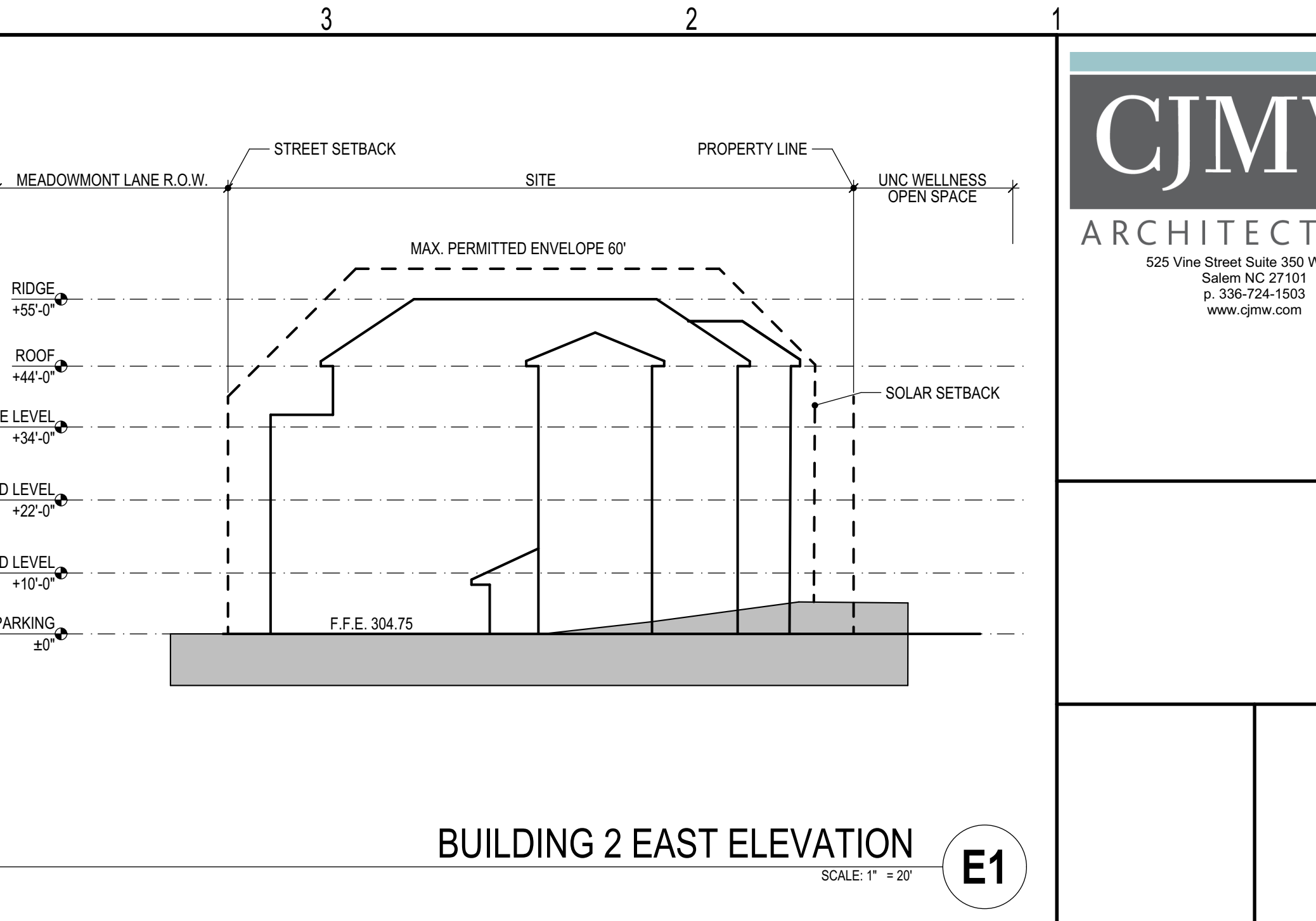
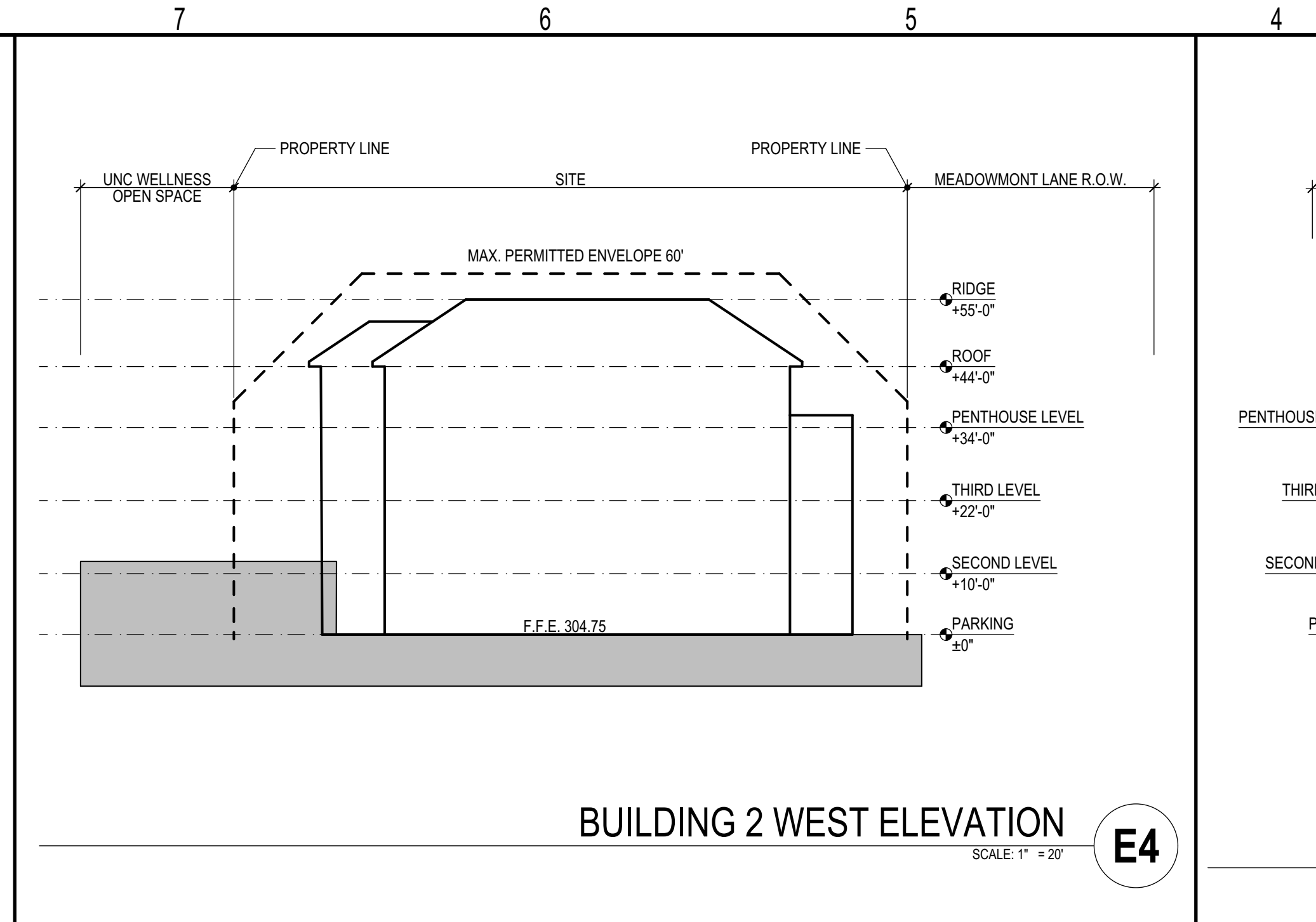
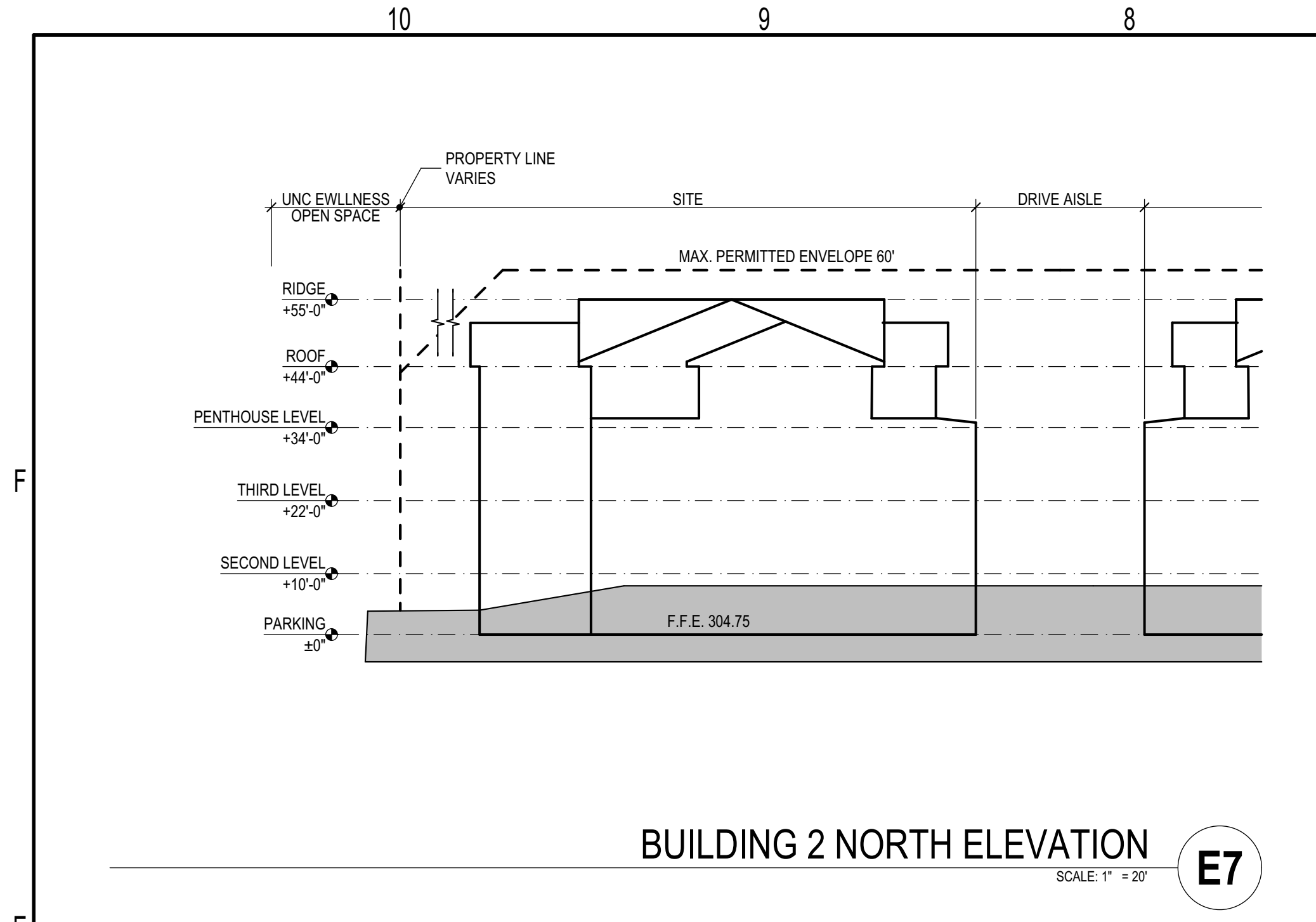
Copyright 2024  
CJMW Architecture, P.A.

**BUILDING ELEVATIONS**

sheet

**A1.00**

date: 05/21/2024  
commission: 23-0230  
drawn by:



5/21/2024, 10:55 AM  
B:\moud\blanc\arctic\CD\_33\_WNSC\Architecture\23-0230\_Overlook at The Cedars