



HDC-24-23

Historic District

Certificate of

Appropriateness

Status: Active

Submitted On: 6/25/2024

Primary Location

3 MINT SPRINGS LN
CHAPEL HILL, NC 27514

Owner

WILLIAMS ROBIN AND
CATHERINE
MINT SPRINGS LANE 3 CHAPEL
HILL, NC 27514

Applicant

Catherine Williams
 678-350-1310 ext. 00000
 catrobwill@gmail.com
 3 Mint Springs Lane
Chapel Hill, NC 27514

Certificate of Appropriateness Form

Historic District

Franklin-Rosemary

Application Type Check all that apply

Minor Work is exterior work that does not involve any substantial alterations, and do not involve additions or removals that could impair the integrity of the property and/or the district as a whole. See Chapel Hill Historic Districts Design Principles & Standards ("Principles & Standards") (p. 9-11) for a list of minor works. Please contact Town Staff to confirm if you believe the project is classified as "minor work."

Historic District Commission Review includes all exterior changes to structures and features other than minor works

Maintenance or Repair Work

Minor Work (Defined by Design Standards)

Historic District Commission Review

COA Amendment

Written Description

Describe clearly and in detail the physical changes you are proposing to make. Identify the materials to be used (siding, windows, trim, roofing, pavements, decking, fencing, light fixtures, etc.), specify their dimensions, and provide names of manufacturers, model numbers, and specifications where applicable. Consider including additional materials to illustrate your project, such as: - Photos and specifications for proposed exterior materials such as siding, trim, roof, foundation materials, windows, etc. - Renderings of the proposed work - Spec sheets

Enclosure of a pre-existing covered open back porch with the addition of windows and doors for climate control. This back porch was a new addition in 2018 and was approved by the HDC in 2017. The foundation of the back porch was new in 2018 but shares an 8 foot wall with the original 1949 house. All finishes will match current house and are compatible with the architectural style and surrounding neighborhood homes in the Historic District.

Is this application for after-the-fact work?*

No

Is this applicaiton a request for review after a previous denial?*

No

Applicable HDC Design Standards

Page / Standard #	Topic
98/3.6.6.	3. Exterior Changes
Brief Description of the Applicable Aspects of Your Proposal	
Porch is located in the rear of the house and it is not visible from any street. Not visible from any surrounding neighbors to the side or behind either because of tall landscaping bordering properties.	

Page / Standard #

Topic

98/3.6.8.

3. Exterior Changes

Brief Description of the Applicable Aspects of Your Proposal

Porch is located on the rear elevation.

Page / Standard #

Topic

127/4.6.4.

2. Building Materials

Brief Description of the Applicable Aspects of Your Proposal

Although porch is not new, the addition of windows and doors will match the pre-existing windows and doors currently on the house. Custom clear glass panels will be installed in the arches of the gable roof.

Page / Standard #

Topic

127/4.6.5.

2. Building Materials

Brief Description of the Applicable Aspects of Your Proposal

All materials and finishes will match the pre-existing materials and finishes currently on the house which are compatible with the architectural style of the house.

Page / Standard #

Topic

127/4.6.6.

2. Building Materials

Brief Description of the Applicable Aspects of Your Proposal


Exterior siding to be fiber cement siding to match pre-existing siding currently on the house.

Property Owner Information

Property Owner Name

Catherine L Williams

Property Owner Signature

 Catherine L Williams
Jun 6, 2024



ORANGE COUNTY NORTH CAROLINA



Search **Results** Layers

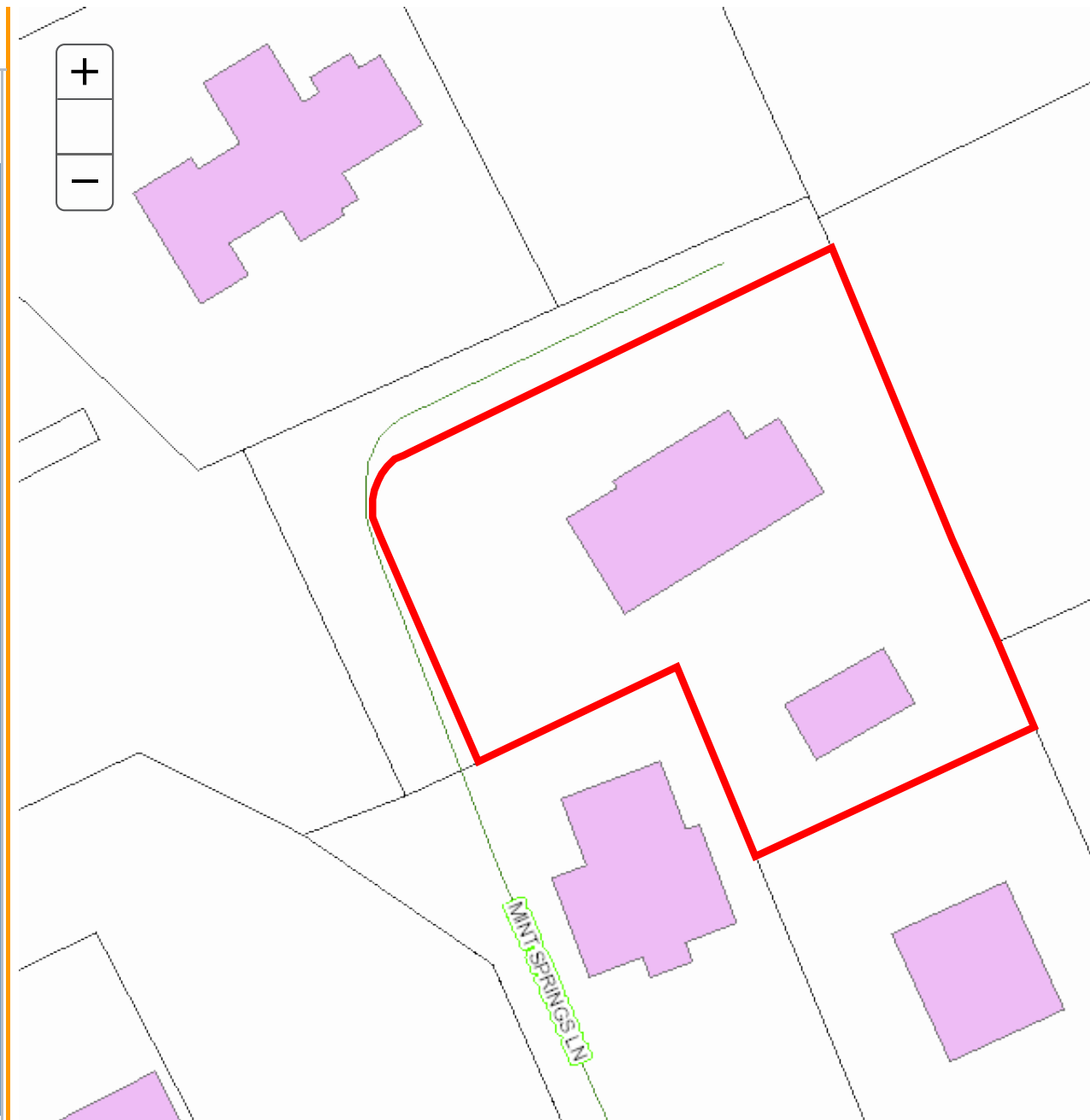
Results List

Details

2 Features Found (Showing 1 of 2)

Prev Next

PIN	9788594441
PINSTATUS	ACTIVE
OWNER_TYPE	
INTEREST OWNERS	https://web.co.orange.nc.us/PINManagement/PIN=9788594441
PHYSICAL ADDRESS	3 MINT SPRINGS LN UNIT A 3 MINT SPRINGS LN
OWNER	WILLIAMS ROBIN WILLIAMS CATHERINE L
MAILING ADDRESS	3 MINT SPRINGS LANE
CITY	CHAPEL HILL
STATE	NC
ZIPCODE	27514
TOWNSHIP	CHAPEL HILL (7)
SIZE	0.43 A
CALCULATED ACRES	0.42
SUBCODE	
LEGAL_DESC	S/S MINT SPRINGS P3/56 & 3A RECOMB ROB WILLIAMS & ELIZABETH H DEBREE P121/143
RATECODE	22 (https://www.orangecountync.gov/897/Tax-Ra)
LANDVALUE	361000
BLDGVALUE	508300
BLDGCNT	2
VALUATION	869300
TAXSTATUS	A
FARMUSE	



United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 125

Chapel Hill Historic District Boundary Increase and
Additional Documentation
Orange County, North Carolina

roofed porch on the left (south) elevation of the rear ell has been enclosed. There is an exterior brick chimney in the rear gable end of the ell. Side-gabled, frame wings projecting from the right elevation of the rear ell were constructed between 1974 and 1992. A separate log structure was moved to the site from Chatham County and adjoined to the right end of the façade about 1995. At this time, the house was significantly altered with the installation of a new roof, the replacement of windows with four-over-four windows, which, while appropriate to the era of the house, are smaller than the previous openings, and the construction of a shed-roofed porch that spans the entire width of the enlarged façade.

Local tradition reports that the left side of this log house was once a coaching inn or tavern on the early road from Raleigh to Hillsborough. Its small size indicates that it could have been little more than a wayside stop, providing food and drink downstairs and bedding in the loft. From its construction, it appears the house may date back to the early 1800s. In 1812, the university sold 19 acres of land to Andrew Rhea, professor of Ancient Languages from 1806 to 1814. In 1814, the land was sold to a Captain Samuel Hogg for a sum of \$1,000, indicating that a house existed on the lot. The house on the right end was been moved to this lot from Chatham County.

421 Hillsborough – House – c. 1922

C – Building

Located on a slight hill above Hillsborough Street, this one-and-a-half-story, side-gabled, Craftsman-style bungalow is three bays wide and double-pile. It has plain weatherboards, replacement windows throughout, exposed sawn rafter tails, and two interior corbelled brick chimneys. The replacement front door, centered on the façade is sheltered by a full-width, inset porch supported by slender wood columns on brick piers. A shed-roofed dormer on the façade has exposed sawn rafter tails and four windows have replaced the original three windows. A one-story, hip-roofed wing at the right rear (northwest) has small vinyl windows and a replacement door on the left (south) elevation and an uncovered wood deck on the right (north) elevation. County tax records date the building to 1922. The house appears on the 1925 Sanborn map.

NC-Building – Auxiliary House, c. 1960 – Two-story, hip-roofed house features a concrete-block first floor with stone veneer on the façade, weatherboards at the second floor, and vinyl windows throughout with the exception of a paired metal casement window on the first-floor north elevation.

Mint Springs Lane

3 Mint Springs – House – c. 1949

C – Building

Constructed on a narrow lane that extends north of North Street, this one-story, side-gabled Ranch house is four bays wide with the right (west) bay under a slightly lower roofline. The house has asbestos siding, eight-over-eight wood-sash windows, and an interior brick chimney. The entrance bay is inset slightly and sheathed with German-profile weatherboards. It has a six-panel door with four-light-over-one-panel sidelights. There is a one-story, side-gabled wing on the left (east) elevation and an uncovered wood deck in front of that wing. The house sits on a slight rise and there is a stone wall along the street and at the driveway on the right side of the building that leads to a basement-level garage

United States Department of the Interior
National Park ServiceNational Register of Historic Places
Continuation SheetSection number 7 Page 126Chapel Hill Historic District Boundary Increase and
Additional Documentation
Orange County, North Carolina

on the right elevation. County tax records date the building to 1949 and it appears on the 1949 Sanborn map.

North Street**117 North – House – c. 1937****C – Building**

Set back from the street, this one-story, side-gabled Minimal Traditional-style house is largely obscured by trees. It is three bays wide and double-pile with a stone foundation, German-profile weatherboards, six-over-six wood-sash windows, and an exterior stone chimney in the right (east) gable end. A solid wood door with four lights is centered on the façade and sheltered by a small front-gabled roof supported by brackets. A side-gabled porch on the right elevation that is supported by square posts, has been enclosed with screens, and is accessed by a fifteen-light French door on the right elevation. There is a gabled ell at the left rear (northwest) and an enclosed porch along the right side of the ell has asbestos siding and a six-light-over-three-panel door on its right elevation. County tax records date the house to 1937 and the house appears on the 1949 Sanborn map.

119 North – House – c. 1937**C – Building**

This one-and-a-half-story, side-gabled, Minimal Traditional-style house is three bays wide and double-pile with two gabled dormers on the façade. The house has asbestos siding, replacement vinyl windows, and an interior brick chimney. The six-panel door, centered on the façade, has a classical surround and is sheltered by an aluminum awning. There is a single window in each gable and a shed-roofed dormer across the rear elevation. There is a gabled ell at the right rear (northeast) and a small, hip-roofed wing to the left (west) of the ell, both of which have six-over-six wood-sash windows. A low stone wall extends along the driveway on the left side of the house. County tax records date the house to 1937 and the house and garage both appear on the 1949 Sanborn map.

C-Building – Garage, c. 1940 – Front-gabled, frame garage with concrete-block foundation, German-profile weatherboards, a vinyl overhead door on the south elevation, and a single window on the east and west elevations.

121 North – House – c. 1910**C – Building**

This one-story, triple-A-roofed house is three bays wide and single-pile with a gabled ell at the right rear (northeast). The house has asbestos siding, four-over-four wood-sash windows, partial cornice returns, and diamond-shaped louvered vents in the gables. The one-light-over-three-panel door is sheltered by a near-full-width, hip-roofed porch supported by square columns with a replacement lattice railing. The rear ell has a nine-light-over-two-panel door on the right (east) elevation and a combination of four-over-four and six-over-six windows. There is a gabled wing projecting from the left (west) elevation of the rear ell with a small, shed-roofed bay between the wing and main house that has an entrance and six-over-six window that open to an uncovered wood deck. Two shed-roofed additions extend from the rear (north). The house, typical of early twentieth-century architecture, appears on the 1915 Sanborn map.

3 Mint Springs Lane

HOUSE

c. 1949

Constructed on a narrow lane that extends north of North Street, this one-story, side-gabled Ranch house is four bays wide with the right (west) bay under a slightly lower roofline. The house has asbestos siding, eight-over-eight wood-sash windows, and an interior brick chimney. The entrance bay is inset slightly and sheathed with German-profile weatherboards. It has a six-panel door with four-light-over-one-panel sidelights. There is a one-story, side-gabled wing on the left (east) elevation and an uncovered wood deck in front of that wing. The house sits on a slight rise and there is a stone wall along the street and at the driveway on the right side of the building that leads to a basement-level garage on the right elevation. County tax records date the building to 1949 and it appears on the 1949 Sanborn map.

In the 2015 survey, this was deemed a Contributing Building.

SOURCE: Heather Wagner Slane, National Register of Historic Places
Nomination: Chapel Hill Historic District Boundary Increase and Additional Documentation, Orange County, OR1750 (Raleigh, NC: North Carolina State Historic Preservation Office, 2015), courtesy of the North Carolina State Historic Preservation Office.

According to Orange County property data as of 2021:

Plot size: 0.43 acres

Building size: 3,173 sq. ft.

Ratio: Building/Plot: 0.169

For link to this information:

<https://property.spatalest.com/nc/orange/#!/property/9788594441>

For link to 1925-1959 Sanborn maps and map data for this property:

<https://unc.maps.arcgis.com/apps/webappviewer/index.html?id=711a3b4017eb48c0acffc90cf2472f57&level=8¢er=-79.0492,35.91900>

Cite this Page:

“3 Mint Springs Lane,” *Historic Chapel Hill*, accessed June 26, 2024,
<https://www.historicchapelhill.org/items/show/1750>.

Published on Sep 14, 2020. Last updated on Jun 29, 2021.









Back Views



Side Views

2017 Zoning Compliance Permit Plans

Note:
 1) This survey was performed without the benefit of a title report. This survey is subject to any facts and easements which may be disclosed by a full and accurate title search.
 2) This property is subject to all easements, buffers and restrictions shown hereon and all others of record not shown hereon.
 3) This property is zoned R-2 per TOCH UDD.
 4) Zone R-2 Minimum Setbacks:
 street = 26'
 interior = 11'
 solar = 13'
 5) The private right-of-ways are less than 30', therefore are considered "substandard", thus the interior 11' setback applies (per TOCH Planning.)
 6) This property is not in a flood hazard zone.
 7) This property is not in an RCD (Resource Conservation District) as defined by TOCH Lume.

EXISTING IMPERVIOUS SURFACE:

HOUSE (INCL. PORCH)	= 1,829 S.F.
GRAVEL	= 1,140
CONCRETE	= 831
SLATE WALKS & PATIO	= 421
BRICK WALKS	= 374
STONE WALLS & STEPS	= 295
HVAC	= 6
TOTAL	= 4,896 S.F.

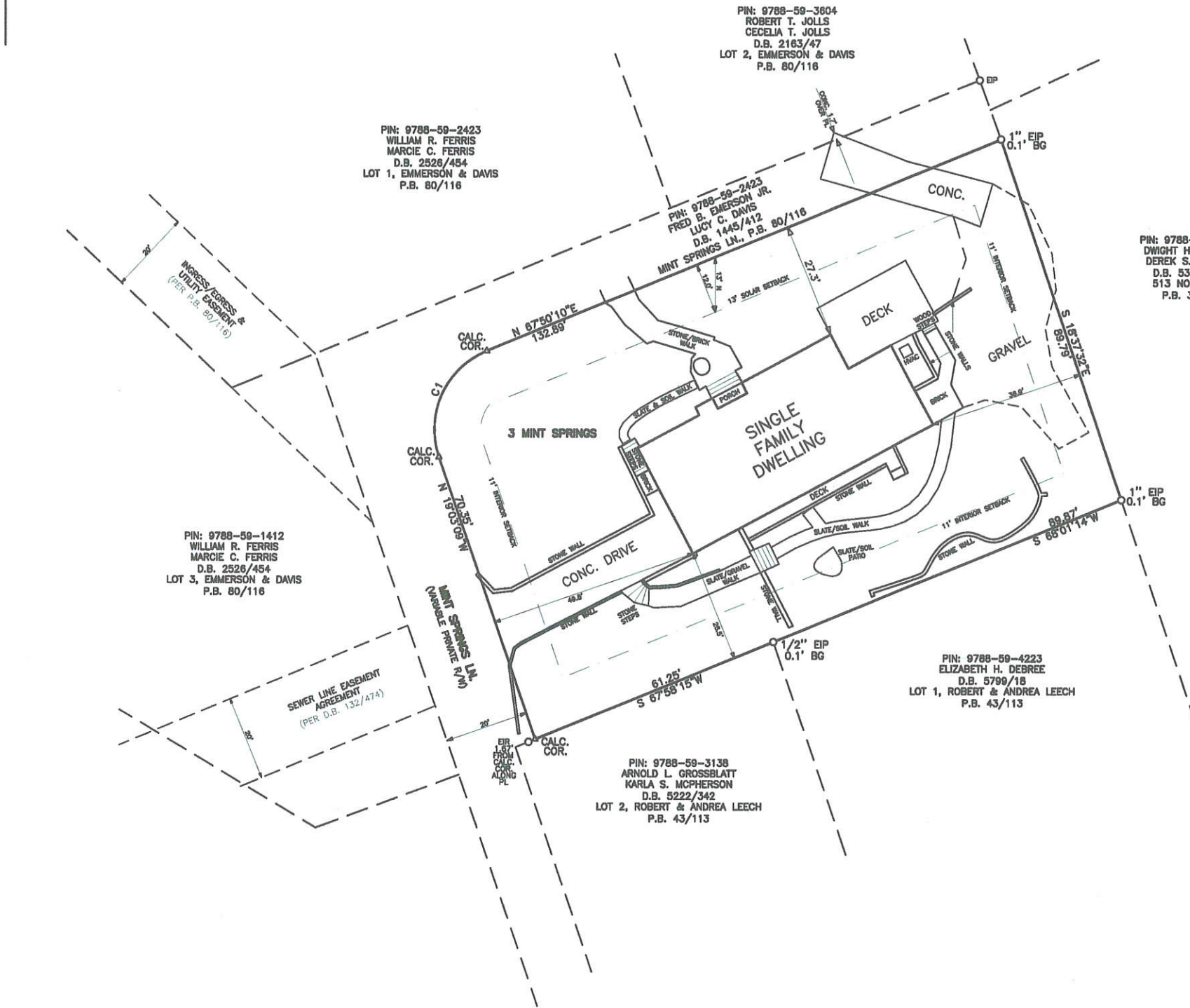
N.L.A. = 13,465.3 S.F. (0.309 AC.)
 G.L.A. = 14,811.8 S.F. (0.340 AC.)

Curve	Radius	Length	Delta	Chord	Chord Bear.
C1	20.00'	30.35'	86°56'04"	27.52'	N 24°20'08" E

PRELIMINARY PLAT - NOT FOR RECORDATION, CONVEYANCES OR SALES



Zoning - Approved Plans Set, with notes on sheets "2" and "T-1" 9 sheets total 11/7/17 Mike Klein, AICP, CZO

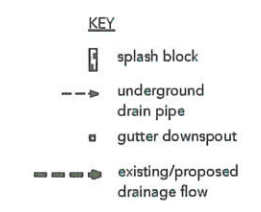


LEGEND
 EP ○ EXISTING IRON PIPE
 CALC. COR. △ CALCULATED CORNER
 BG ▭ BELOW GRADE
 PL — PROPERTY LINE



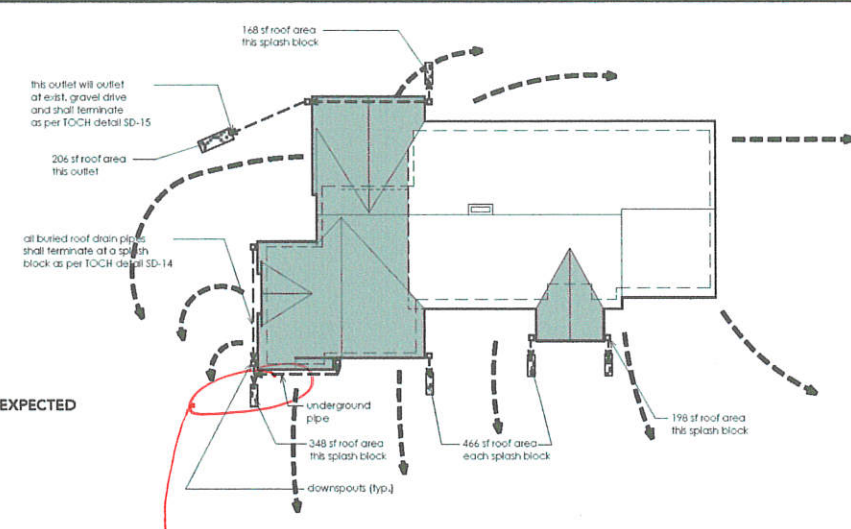
SHEET 1 OF 2
 EXISTING CONDITIONS
 PROPERTY OF
ROBIN WILLIAMS
CATHERINE L. WILLIAMS
 PROPERTY ADDRESS: 3 MINT SPRINGS RD.
 PIN REFERENCE: 9788-59-3344
 DEED REFERENCE: D.B. 5705-548
 CHAPEL HILL TOWNSHIP
 ORANGE COUNTY
 NORTH CAROLINA

REV: AUGUST 29, 2017
 REV: AUGUST 16, 2017
 REV: AUGUST 8, 2017
 REV: NOVEMBER 1, 2016
 OCTOBER 7, 2016
 SCALE: 1" = 20'



NO CHANGE IN SITE DRAINAGE EXPECTED

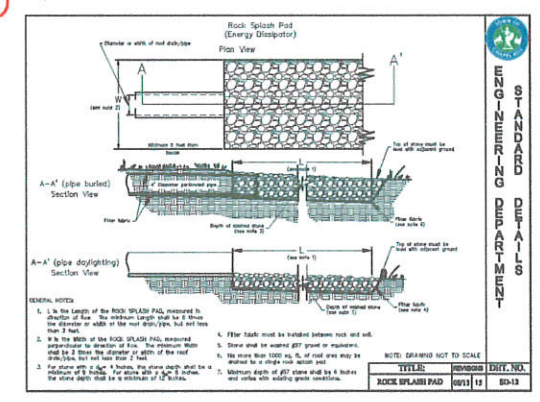
1 Proposed Drainage Plan
T-1 N.T.S.



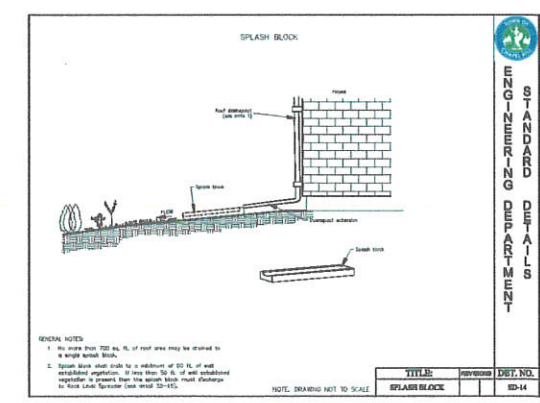
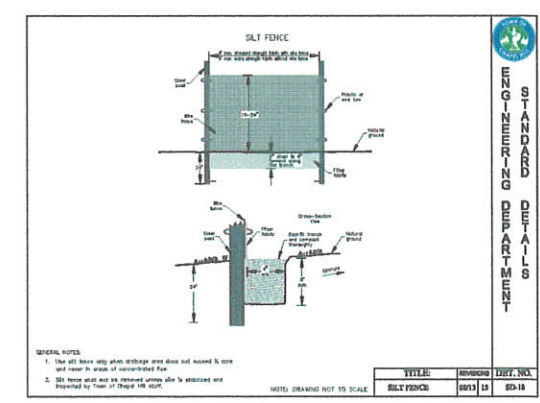
Relocate in field per Zoning Permit Condition # 5

- NOTES**
1. General contractor shall be responsible for obtaining all required structural engineering.
 2. General contractor shall be responsible for obtaining all required permits, inspections and fees for construction.
 3. All construction shall conform to N. C. State Building Codes and supercede any notes in these drawings.
 4. All dimensions are to be verified in field and may be modified in field as required to achieve proper clearances.
 5. Plumbing fixtures shown are for graphical purposes only. All plumbing specifications shall be approved by the homeowner.
 6. General Contractor shall verify all lighting and electrical device specifications and locations with the homeowner prior to beginning wiring.
 7. All window and door specifications and locations shall be verified with the homeowner and shall supercede any dimensions on these drawings. Window and door sizes listed on these plans are for reference only.
 8. All grades shall be verified. Final grades shall be determined in the field. Grades shown on these drawings are for graphical purposes only.
 9. Required steps have been omitted from these drawings and shall be coordinated with the homeowner.

NOT FOR CONSTRUCTION



Additional standard details attached, as well as more legible copies.



stevenjoseph
RESIDENTIAL DESIGN

81 Dogwood Acres Drive
Chapel Hill, North Carolina 27516
mobile: 919.261.3215 email: stevenjoseph@design.com www.stevenjosephdesign.com

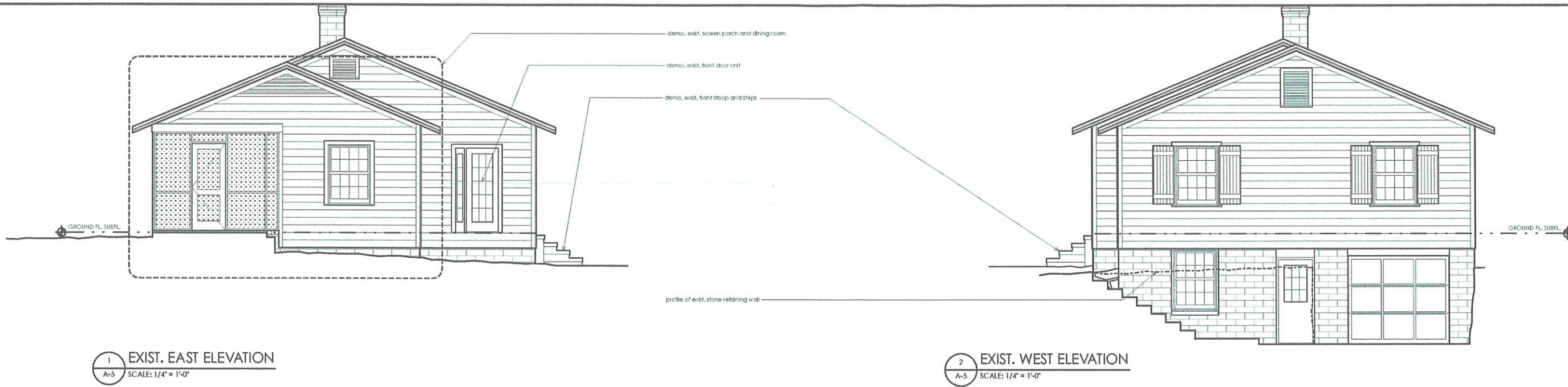
Williams Residence
Addition and Renovation
3 Mint Springs Road
Chapel Hill, North Carolina

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Title Sheet

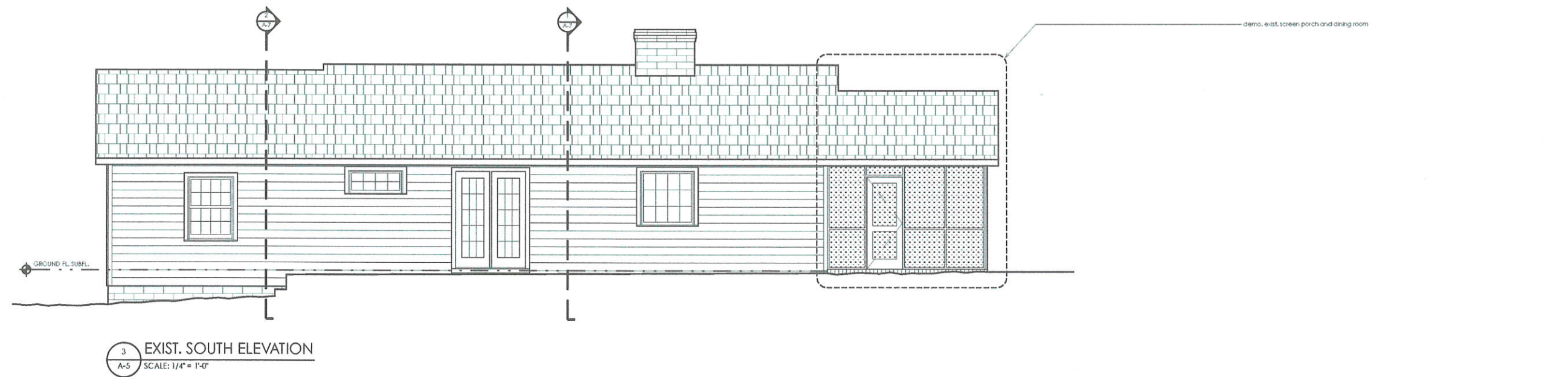
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PRICING SET	2.27.17
REVISION 1	7.20.17

T-1

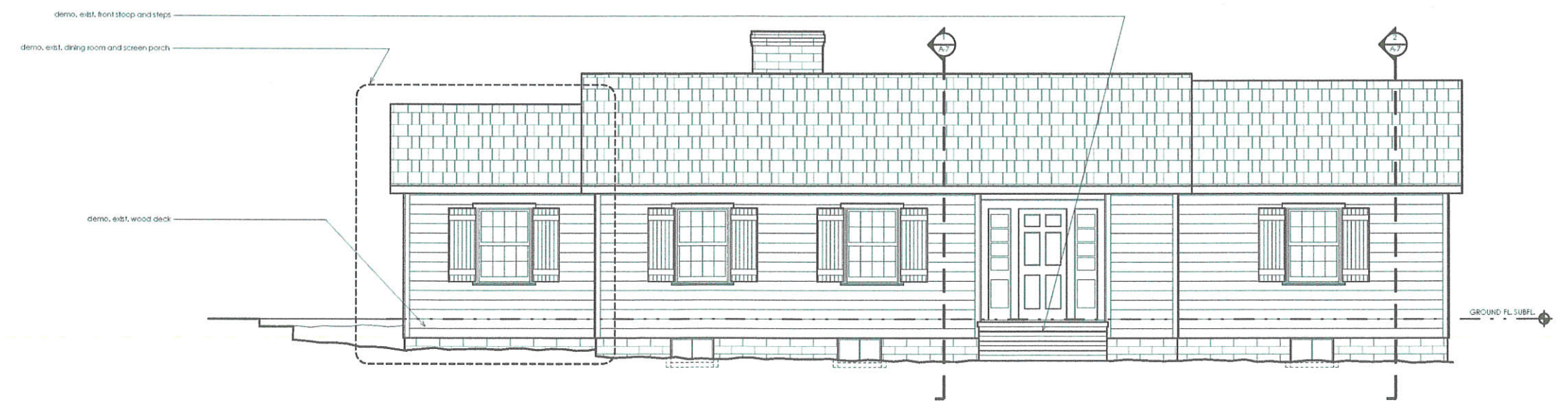


1 EXIST. EAST ELEVATION
A-5 SCALE: 1/4" = 1'-0"

2 EXIST. WEST ELEVATION
A-5 SCALE: 1/4" = 1'-0"



3 EXIST. SOUTH ELEVATION
A-5 SCALE: 1/4" = 1'-0"



4 EXIST. NORTH ELEVATION
A-5 SCALE: 1/4" = 1'-0"

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stevenjoseph
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Williams Residence
Addition and Renovation
3 Mint Springs Road
Chapel Hill, North Carolina

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Existing Elevations

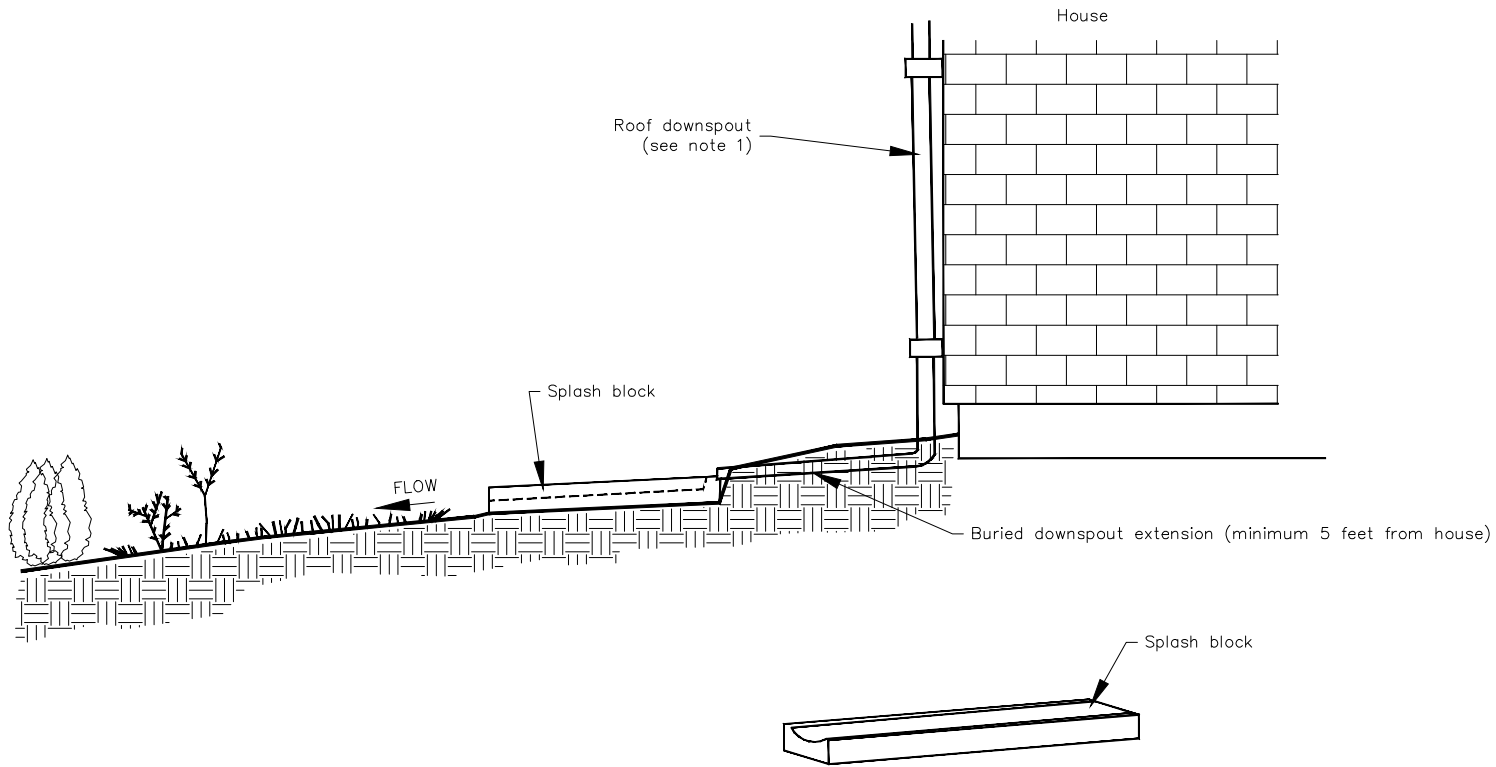
REVIEW SET	2.13.17
PRICING SET	2.27.17
REVISION 1	7.20.17

A-5



ENGINEERING DEPARTMENT
STANDARD DETAILS

SPLASH BLOCK



GENERAL NOTES:

1. No more than 700 sq. ft. of roof area may be drained to a single splash block.
2. Splash block shall drain to a minimum of 50 ft. of well established vegetation. If less than 50 ft. of well established vegetation is present then the splash block must discharge to Rock Level Spreader (see detail SD-15).

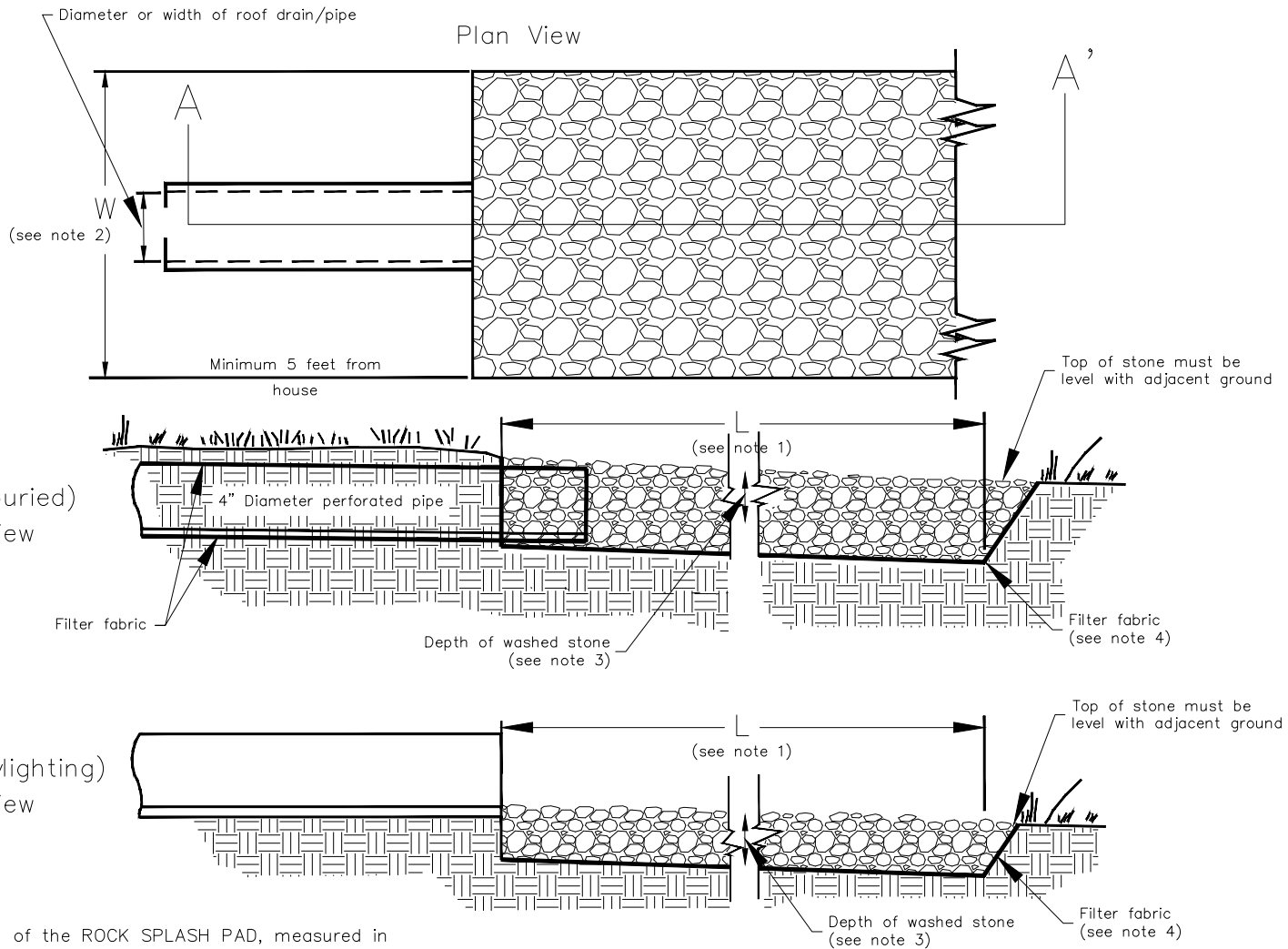
NOTE: DRAWING NOT TO SCALE

TITLE:	REVISIONS	DET. NO.
SPLASH BLOCK	08/13 15	SD-14



ENGINEERING DEPARTMENT
STANDARD DETAILS

Rock Splash Pad
(Energy Dissipator)



GENERAL NOTES:

1. L is the Length of the ROCK SPLASH PAD, measured in direction of flow. The minimum Length shall be 6 times the diameter or width of the roof drain/pipe, but not less than 3 feet.
2. W is the Width of the ROCK SPLASH PAD, measured perpendicular to direction of flow. The minimum Width shall be 3 times the diameter or width of the roof drain/pipe, but not less than 2 feet.
3. For stone with a d_{50} = 4 inches, the stone depth shall be a minimum of 9 inches. For stone with a d_{50} = 6 inches, the stone depth shall be a minimum of 12 inches.
4. Filter fabric must be installed between rock and soil.
5. Stone shall be washed #57 gravel or equivalent.
6. No more than 1000 sq. ft. of roof area may be drained to a single rock splash pad.
7. Minimum depth of #57 stone shall be 6 inches and varies with existing grade conditions.

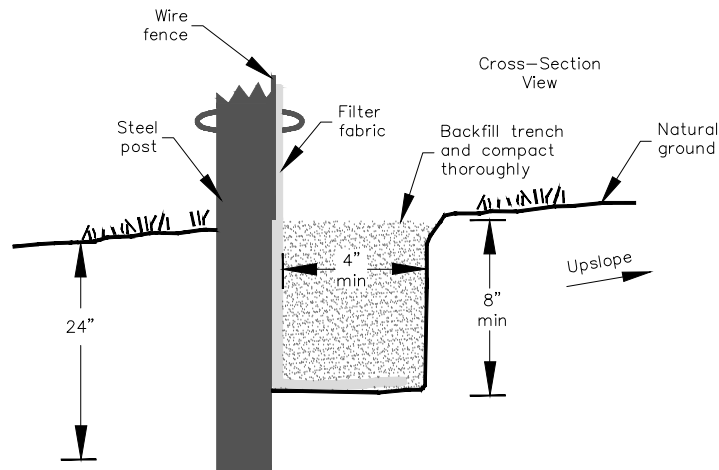
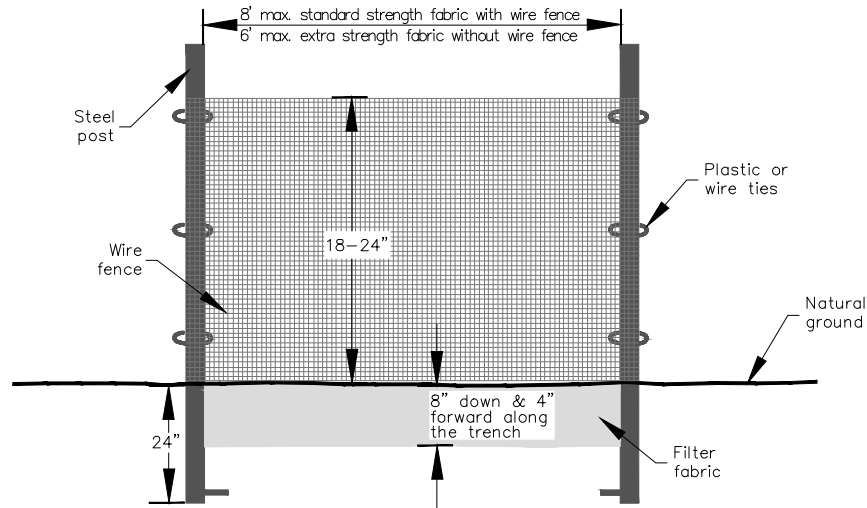
NOTE: DRAWING NOT TO SCALE

TITLE:		REVISIONS		DET. NO.
ROCK SPLASH PAD		08/13	15	SD-12



ENGINEERING DEPARTMENT
STANDARD DETAILS

SILT FENCE



GENERAL NOTES:

1. Use silt fence only when drainage area does not exceed $\frac{1}{4}$ acre and never in areas of concentrated flow.
2. Silt fence shall not be removed unless site is stabilized and inspected by Town of Chapel Hill staff.

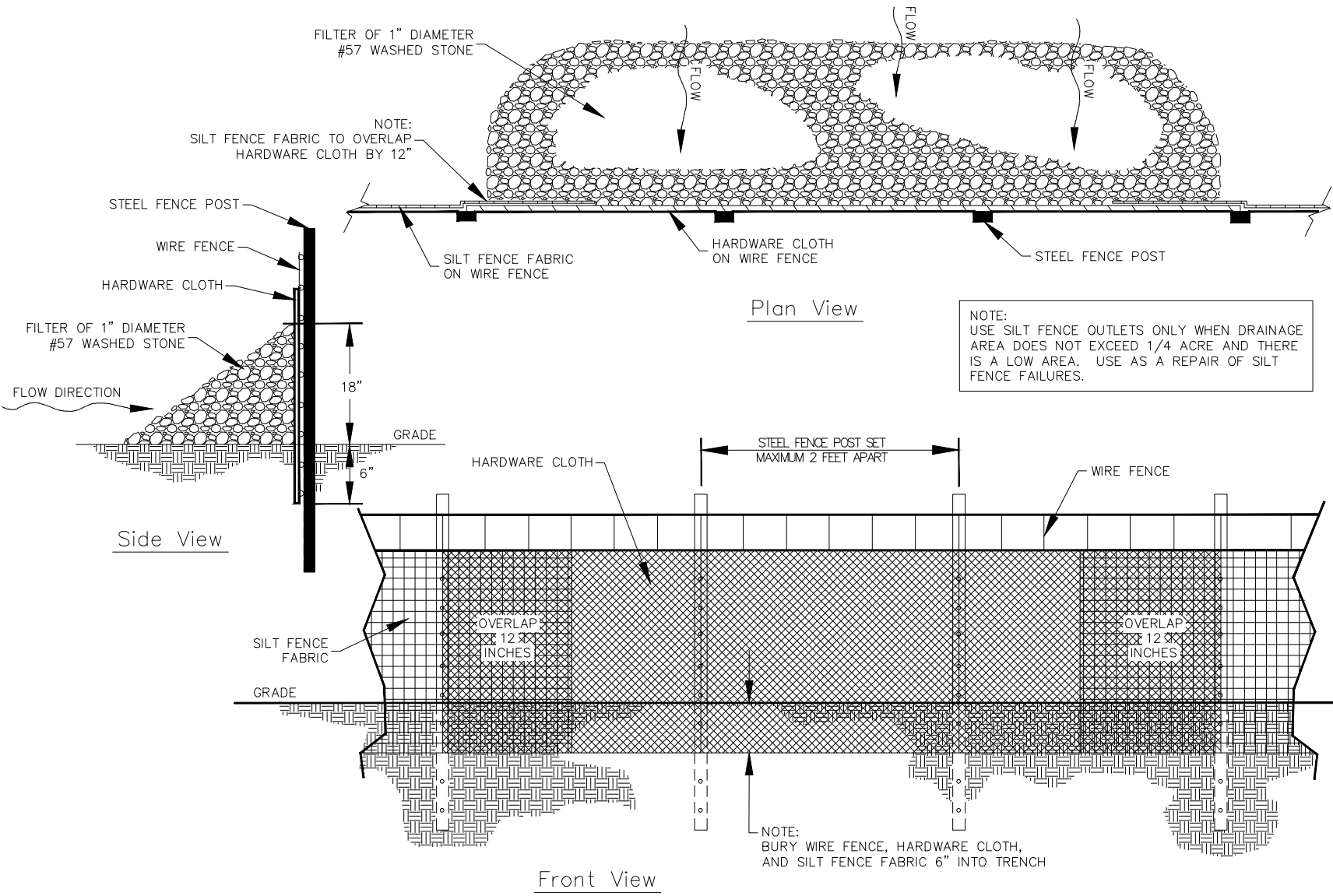
NOTE: DRAWING NOT TO SCALE

TITLE:		REVISIONS		DET. NO.
SILT FENCE		08/13	15	SD-18



ENGINEERING DEPARTMENT
STANDARD DETAILS

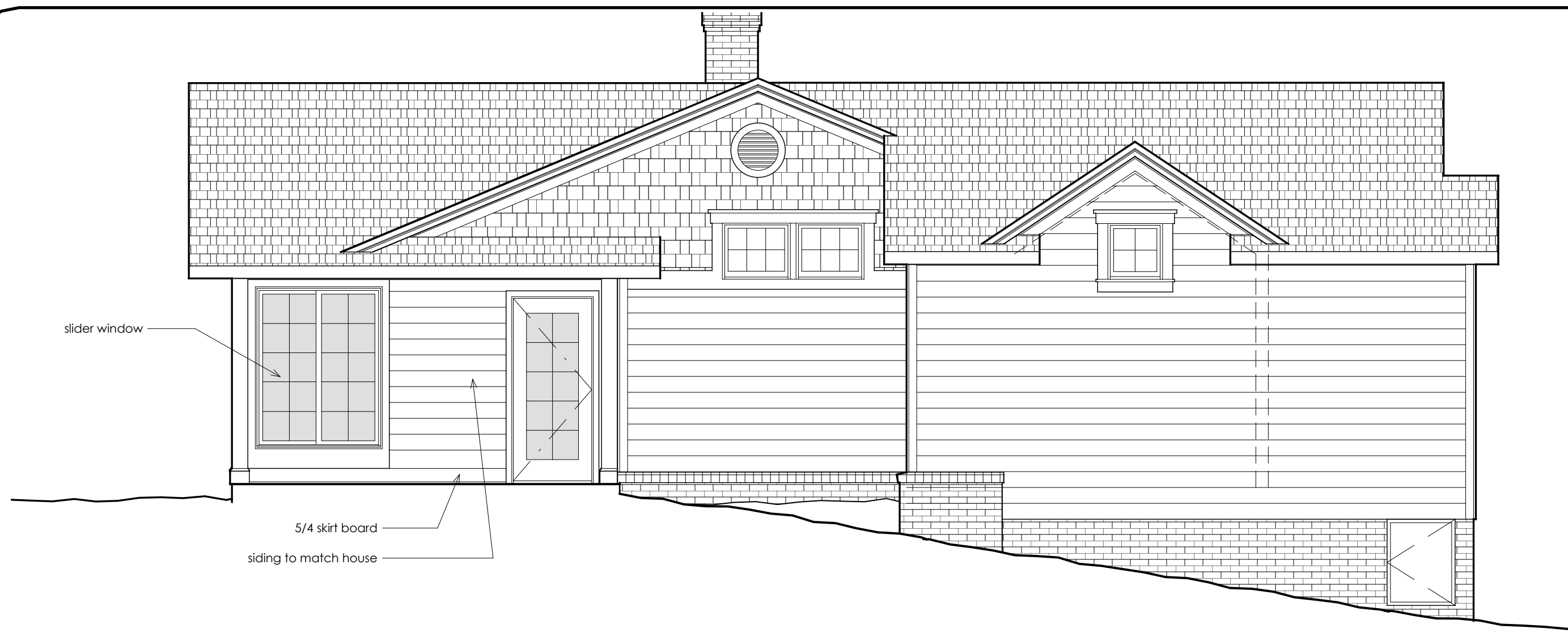
SILT FENCE OUTLET



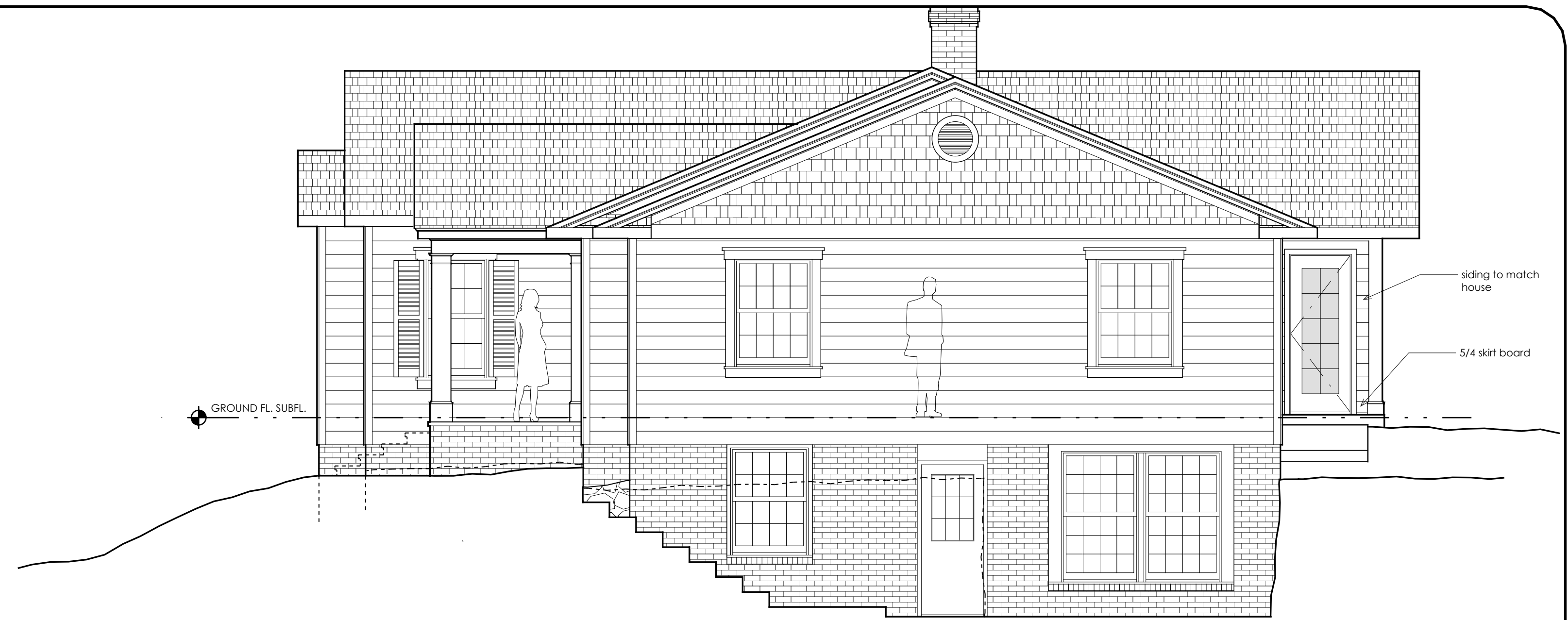
NOTE:
USE SILT FENCE OUTLETS ONLY WHEN DRAINAGE
AREA DOES NOT EXCEED 1/4 ACRE AND THERE
IS A LOW AREA. USE AS A REPAIR OF SILT
FENCE FAILURES.

NOTE: DRAWING NOT TO SCALE

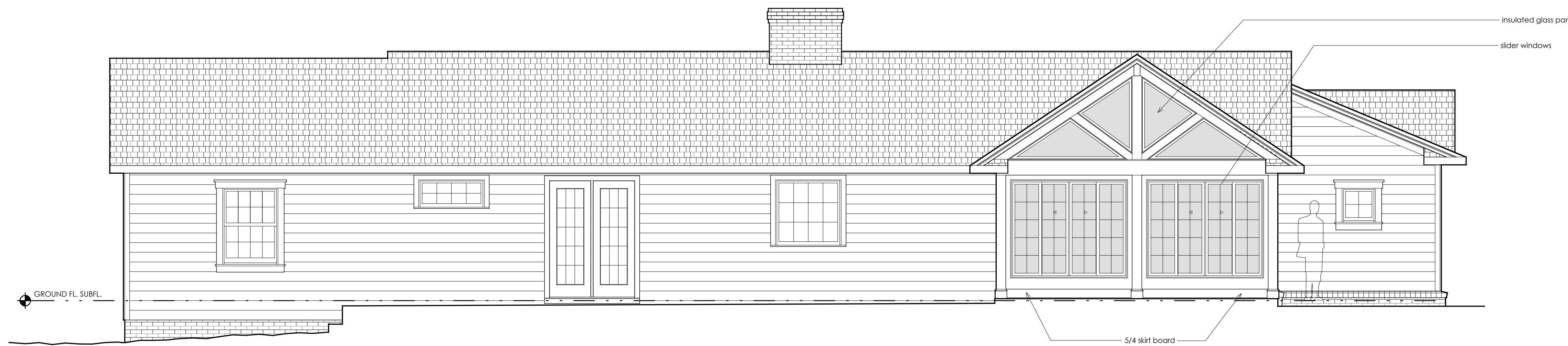
TITLE:	REVISIONS	DET. NO.
SILT FENCE OUTLET	08/13 15	SD-19



1 PROP. EAST ELEVATION
A-3 SCALE: 1/4" = 1'-0"



2 PROP. WEST ELEVATION
A-3 SCALE: 1/4" = 1'-0"



3 PROP. SOUTH ELEVATION
A-3 SCALE: 1/4" = 1'-0"

NOTES

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DESIGN

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Williams Residence
Sunroom Renovation
3 Mint Springs Road
Chapel Hill, North Carolina

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Proposed Elevations

REVIEW SET	12.20.23

A-3

Actual Size | Williams Porch Sunroom Window Options

Quote #: AFPLE73

A Proposal for Window and Door Products prepared for:

Job Site:

27516

Shipping Address:

FITCH LUMBER CO
309 N GREENSBORO ST
CARRBORO, NC 27510-1723



RYAN HRVATIN
FITCH LUMBER CO
309 N GREENSBORO ST
CARRBORO, NC 27510-1723
Phone: (919) 942-3153

Email: ryan@fitchlumber.com

This report was generated on 1/3/2024 10:22:15 AM using the Marvin Order Management System, version 0004.05.00 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

Featuring products from:



UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

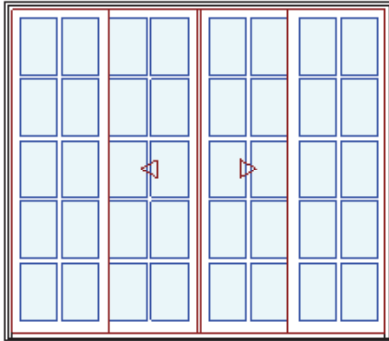
Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 5		TOTAL UNIT QTY: 5		EXT NET PRICE: USD		18,750.99
LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	Sliding Window 1 [Max Height]	Ultimate	Glider OXXO RO 85" X 72" Entered as FS 84" X 71 1/2"	5,373.98	1	5,373.98
2	Sliding Window 2 [Max Height]	Ultimate	Glider OXXO RO 86" X 72" Entered as FS 85" X 71 1/2"	4,501.41	1	4,501.41
3	Sliding Window 3	Ultimate	Glider RO 57" X 72" Entered as FS 56" X 71 1/2"	2,916.85	1	2,916.85
4	Inswing Door	Ultimate	Inswing French Door G2 CN 3068 RO 38 7/16" X 82 1/2" Entered as CN 3068	2,816.66	1	2,816.66
5	Outswing Door	Ultimate	Outswing French Door G2 CN 2868 RO 34 7/16" X 82 1/2" Entered as CN 2868	3,142.09	1	3,142.09

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: Sliding Window 1 [Max Height	Net Price:		5,373.98
Qty: 1		Ext. Net Price:	USD	5,373.98



As Viewed From The Exterior

Entered As: FS
MO 84 1/2" X 71 3/4"
FS 84" X 71 1/2"
RO 85" X 72"

Egress Information

Width: 35 45/64" Height: 67 9/32"
 Net Clear Opening: 16.68 SqFt

Performance Information

Product Performance Information is currently unavailable in the OMS for this product and glazing option. To request product performance information not in the OMS, contact your Marvin representative or submit an Assistance Request.

Performance Grade

No Performance Grade Information available.

Paint Specification

Clad Exterior Color: AAMA 2605

- Stone White Clad Exterior
- Bare Pine Interior
- Ultimate Glider OXXO - Left Hand/Right Hand 3,166.26
- Frame Size 84" X 71 1/2"
- **Unit Is Not WDMA Certified**
- Rough Opening 85" X 72"
- **Extended Size Unit**
- Glass Add For All Sash/Panels 872.57
- ***Sash Ship Loose
- Left Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 3/4"
- Tempered Low E2 w/Argon
- Black Perimeter and Spacer Bar
- 7/8" SDL - With Spacer Bar - Black 250.12
- Rectangular - Special Cut 2W5H
- Stone White Clad Ext - Bare Pine Int
- Ogee Interior Glazing Profile
- Tall Bottom Rail 77.45
- Left Center Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 3/4"
- Tempered Low E2 w/Argon
- Black Perimeter and Spacer Bar
- 7/8" SDL - With Spacer Bar - Black 250.12
- Rectangular - Special Cut 2W5H
- Stone White Clad Ext - Bare Pine Int
- Ogee Interior Glazing Profile
- Tall Bottom Rail 77.45
- Right Center Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 3/4"
- Tempered Low E2 w/Argon
- Black Perimeter and Spacer Bar
- 7/8" SDL - With Spacer Bar - Black 250.12
- Rectangular - Special Cut 2W5H
- Stone White Clad Ext - Bare Pine Int
- Ogee Interior Glazing Profile
- Tall Bottom Rail 77.45
- Right Sash
- Stone White Clad Sash Exterior
- Bare Pine Sash Interior
- IG - 3/4"
- Tempered Low E2 w/Argon
- Black Perimeter and Spacer Bar
- 7/8" SDL - With Spacer Bar - Black 250.12
- Rectangular - Special Cut 2W5H
- Stone White Clad Ext - Bare Pine Int
- Ogee Interior Glazing Profile
- Tall Bottom Rail 77.45
- White Weather Strip
- White Sill Track
- White Folding Handle
- Extruded Aluminum Screen
- Stone White Surround
- Bright View Mesh
- 4 9/16" Jamb

Nailing Fin with Installed Installation Brackets 24.87

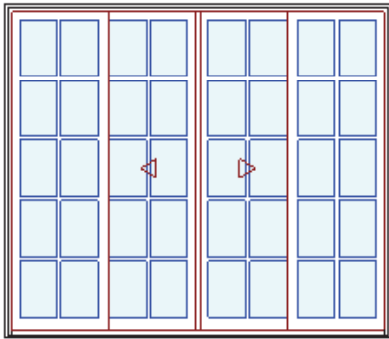
*****Note: Unit Availability and Price is Subject to Change**

Initials required

Seller: _____

Buyer: _____

Line #2	Mark Unit: Sliding Window 2 [Max Height	Net Price:		4,501.41
Qty: 1		Ext. Net Price:	USD	4,501.41



As Viewed From The Exterior

Entered As: FS

MO 85 1/2" X 71 3/4"

FS 85" X 71 1/2"

RO 86" X 72"

Egress Information

Width: 36 13/64" Height: 67 9/32"

Net Clear Opening: 16.91 SqFt

Performance Information

Product Performance Information is currently unavailable in the OMS for this product and glazing option. To request product performance information not in the OMS, contact your Marvin representative or submit an Assistance Request.

Performance Grade

No Performance Grade Information available.

Paint Specification

Clad Exterior Color: AAMA 2605

- Stone White Clad Exterior
- Bare Pine Interior
- Ultimate Glider OXXO - Left Hand/Right Hand 3,166.26
- Frame Size 85" X 71 1/2"
- **Unit Is Not WDMA Certified****
- Rough Opening 86" X 72"
- **Extended Size Unit****
- ***Sash Ship Loose**
- Left Sash
 - Stone White Clad Sash Exterior
 - Bare Pine Sash Interior
 - IG - 3/4"
 - Low E2 w/Argon
 - Black Perimeter and Spacer Bar
 - 7/8" SDL - With Spacer Bar - Black 250.12
 - Rectangular - Special Cut 2W5H
 - Stone White Clad Ext - Bare Pine Int
 - Ogee Interior Glazing Profile
 - Tall Bottom Rail 77.45
- Left Center Sash
 - Stone White Clad Sash Exterior
 - Bare Pine Sash Interior
 - IG - 3/4"
 - Low E2 w/Argon
 - Black Perimeter and Spacer Bar
 - 7/8" SDL - With Spacer Bar - Black 250.12
 - Rectangular - Special Cut 2W5H
 - Stone White Clad Ext - Bare Pine Int
 - Ogee Interior Glazing Profile
 - Tall Bottom Rail 77.45
- Right Center Sash
 - Stone White Clad Sash Exterior
 - Bare Pine Sash Interior
 - IG - 3/4"
 - Low E2 w/Argon
 - Black Perimeter and Spacer Bar
 - 7/8" SDL - With Spacer Bar - Black 250.12
 - Rectangular - Special Cut 2W5H
 - Stone White Clad Ext - Bare Pine Int
 - Ogee Interior Glazing Profile
 - Tall Bottom Rail 77.45
- Right Sash
 - Stone White Clad Sash Exterior
 - Bare Pine Sash Interior
 - IG - 3/4"
 - Low E2 w/Argon
 - Black Perimeter and Spacer Bar
 - 7/8" SDL - With Spacer Bar - Black 250.12
 - Rectangular - Special Cut 2W5H
 - Stone White Clad Ext - Bare Pine Int
 - Ogee Interior Glazing Profile
 - Tall Bottom Rail 77.45
- White Weather Strip
- White Sill Track
- White Folding Handle
- Extruded Aluminum Screen

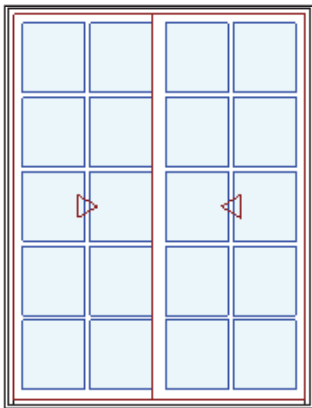
Stone White Surround
 Bright View Mesh
 4 9/16" Jamb
 Nailing Fin with Installed Installation Brackets 24.87
*****Note: Unit Availability and Price is Subject to Change**

Initials required

Seller: _____

Buyer: _____

Line #3	Mark Unit: Sliding Window 3	Net Price:		2,916.85
Qty: 1		Ext. Net Price:	USD	2,916.85



As Viewed From The Exterior

Entered As: FS

MO 56 1/2" X 71 3/4"

FS 56" X 71 1/2"

RO 57" X 72"

Egress Information

Width: 24 37/64" Height: 67 9/32"

Net Clear Opening: 11.48 SqFt

Performance Information

U-Factor: 0.29

Solar Heat Gain Coefficient: 0.27

Visible Light Transmittance: 0.46

Condensation Resistance: 57

CPD Number: MAR-N-387-01733-00001

Performance Grade

Licensee #1076

AAMA/WDMA/CSA/101/I.S.2/A440-11

LC-PG35 1816X1816 mm (71.5X71.5 in)

LC-PG35 DP +35/-35

FL14378

Paint Specification

Clad Exterior Color: AAMA 2605

Stone White Clad Exterior
 Bare Pine Interior
 Ultimate Glider - XX - Left Hand 1,709.61
 Frame Size 56" X 71 1/2"
 Standard CN Height 60
 Rough Opening 57" X 72"
 Glass Add For All Sash/Panels 619.61
 Left Sash
 Stone White Clad Sash Exterior
 Bare Pine Sash Interior
 IG - 3/4"
 Tempered Low E2 w/Argon
 Black Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Black 281.38
 Rectangular - Special Cut 2W5H
 Stone White Clad Ext - Bare Pine Int
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 Right Sash
 Stone White Clad Sash Exterior
 Bare Pine Sash Interior
 IG - 3/4"
 Tempered Low E2 w/Argon
 Black Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Black 281.38
 Rectangular - Special Cut 2W5H
 Stone White Clad Ext - Bare Pine Int
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 White Weather Strip
 White Sill Track
 White Folding Handle
 Extruded Aluminum Dual Full Screen
 Stone White Surround
 Bright View Mesh
 4 9/16" Jamb
 Nailing Fin with Installed Installation Brackets 24.87
*****Note: Unit Availability and Price is Subject to Change**

Initials required

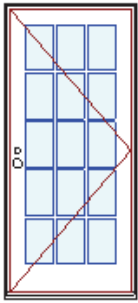
Seller: _____

Buyer: _____

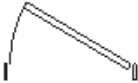
Line #4	Mark Unit: Inswing Door	Net Price:		2,816.66
Qty: 1		Ext. Net Price:	USD	2,816.66



Stone White Clad Exterior
 Bare Pine Interior



Active



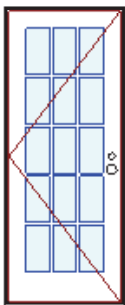
As Viewed From The Exterior

Entered As: CN
MO 37 15/16" X 82 1/4"
CN 3068
FS 37 7/16" X 82"
RO 38 7/16" X 82 1/2"
Egress Information
 Width: 32 1/16" Height: 78 11/32"
 Net Clear Opening: 17.45 SqFt
Performance Information
 U-Factor: 0.31
 Solar Heat Gain Coefficient: 0.21
 Visible Light Transmittance: 0.36
 CPD Number: MAR-N-476-02989-00001
Performance Grade
 Licensee #1163
 AAMA/WDMA/CSA/101/I.S.2/A440-11
 LC-PG40 3632X2489 mm (143X98 in)
 LC-PG40 DP +40/-40
 FL39753
Paint Specification
 Clad Exterior Color: AAMA 2605

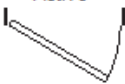
Ultimate Inswing French Door G2 4 9/16" - X Right Hand 1,913.54
 CN 3068
 Rough Opening 38 7/16" X 82 1/2"
 Stone White Clad Sash Exterior
 Bare Pine Sash Interior
 IG
 Tempered Low E2 w/Argon
 Black Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Black 543.58
 Rectangular - Standard Cut 3W5H
 Stone White Clad Ext - Bare Pine Int
 Ogee Interior Glazing Profile
 Non Finger-Jointed Door Option for Secondary Surface 142.11
 Traditional Lever(s)
 Multi-Point Lock on Active Panel
 White Active Exterior Handle Set on Active Panel Keyed 162.72
 White Active Interior Handle Set on Active Panel
 Keyed
 Keyed Alike - Keyed Alike Group 1 18.47
 White Adjustable Hinges 3 Per Panel- 36.24
 Bronze Ultrex Sill
 Black Weather Strip
 4 9/16" Jamb
 Thru Jamb Installation w/ Nailing Fin
*****Note: Unit Availability and Price is Subject to Change**

Initials required
 Seller: _____
 Buyer: _____

Line #5	Mark Unit: Outswing Door	Net Price:		3,142.09
Qty: 1		Ext. Net Price:	USD	3,142.09



Active



As Viewed From The Exterior

Entered As: CN
MO 33 15/16" X 82 1/4"
CN 2868
FS 33 7/16" X 82"
RO 34 7/16" X 82 1/2"
Egress Information

Stone White Clad Exterior
 Bare Pine Interior
 Ultimate Outswing French Door G2 4 9/16" - X Right Hand 2,238.97
 CN 2868
 Rough Opening 34 7/16" X 82 1/2"
 Stone White Clad Sash Exterior
 Bare Pine Sash Interior
 IG
 Tempered Low E2 w/Argon
 Black Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Black 543.58
 Rectangular - Standard Cut 3W5H
 Stone White Clad Ext - Bare Pine Int
 Ogee Interior Glazing Profile
 Non Finger-Jointed Door Option for Secondary Surface 142.11
 Traditional Lever(s)
 Multi-Point Lock on Active Panel
 White Active Exterior Handle Set on Active Panel Keyed 162.72
 White Active Interior Handle Set on Active Panel
 Keyed
 Keyed Alike - Keyed Alike Group 1 18.47
 White Adjustable Hinges 3 Per Panel- 36.24
 Bronze Ultrex Sill
 Black Weather Strip
 4 9/16" Jamb
 Thru Jamb Installation w/ Nailing Fin

Width: 28 1/64" Height: 78 1/4"
Net Clear Opening: 15.22 SqFt
Performance Information
U-Factor: 0.3
Solar Heat Gain Coefficient: 0.22
Visible Light Transmittance: 0.36
CPD Number: MAR-N-477-02989-00001

*****Note: Unit Availability and Price is Subject to Change**

Initials required

Seller: _____

Buyer: _____

Performance Grade
Licensee #1163
AAMA/WDMA/CSA/101/I.S.2/A440-11
LC-PG40 3632X2489 mm (143X98 in)
LC-PG40 DP +40/-40
FL39756
Paint Specification
Clad Exterior Color: AAMA 2605

Project Subtotal Net Price: USD	18,750.99
7.500% Sales Tax: USD	1,406.32
Project Total Net Price: USD	20,157.31

TERMS AND CONDITIONS

I have reviewed all line item quotes in detail and agree that the product specifications and pricing are accurate, and I approve this project for order. I understand that once the order is placed no changes can be made. All orders are non-returnable and non-refundable. I have reviewed the specific installation instructions for each type of unit and understand the necessary requirements to ensure proper function and performance.

Purchaser Sign-off _____ Date: _____

Post Installation Checklist:

***Prior to insulating around the unit, please follow these guidelines to ensure proper function and performance of each unit.

- All units are properly flashed.
- All units have been fully operated and locked/unlocked.
- All hardware and screens are accounted for.
- Report missing parts, damages, defects, and function issues immediately.

IMPORTANT: Do not proceed with exterior trim/siding or interior drywall/trim until these above items have been verified by jobsite supervisor.

PRODUCT AND PERFORMANCE INFORMATION

NFRC Ratings:

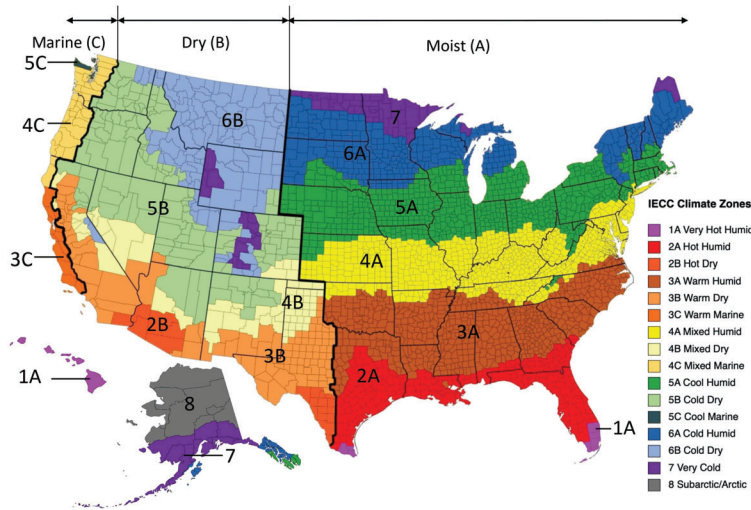
NFRC energy ratings may vary depending on the exact configuration of glass thickness used on the unit. NFRC energy values and ratings may change over time due to ongoing product changes, updated test results or requirements. NFRC values and ratings are finalized on the date of manufacture.

The National Fenestration Rating Council (NFRC) has developed and operates a uniform rating system for the energy performance of fenestration products, including windows, doors and skylights. For additional information regarding this rating system, see www.nfrc.org.

Code (residential, building or energy) Compliance:

Determining the suitability and compliance with state, local, or other applicable building codes or standards, including energy codes, is the responsibility of the buyer, user, architect, contractor, installer, and/or other construction professional.

2021 IECC Climate Zone Map:



ENERGY STAR Version 7 Climate Zone Map:

