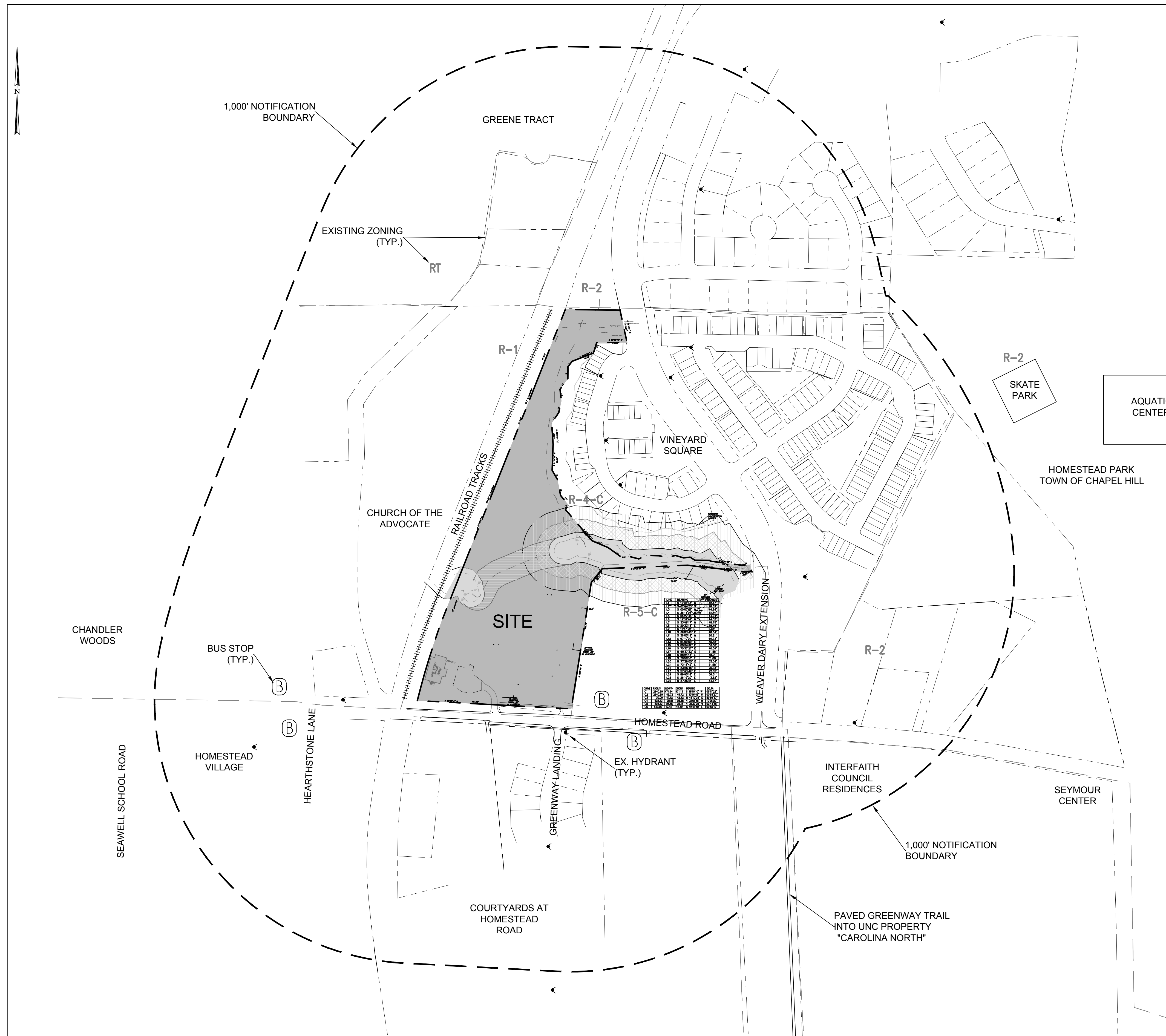


HOMESTEAD ROAD HOUSING DEVELOPMENT

2200 HOMESTEAD ROAD, CHAPEL HILL, NC



SITE DATA

PIN: 9870-91-2947
 OWNER: TOWN OF CHAPEL HILL
 ENVIRONMENTAL CONSTRAINTS: JORDAN BUFFER RESOURCE CONSERVATION DISTRICT
 TOTAL PARCEL LAND AREA: 541,157.56 SF / 12.42 AC (NET)
 HOMESTEAD FRONTAGE: 586.43 LF, RIGHT OF WAY WIDTH 75'
 586.43 x 37.5 = 21,991.125
 WEAVER DAIRY EXT FRONTAGE: 113.20 LF (NORTH) + 25.15 LF (SOUTH),
 138.35 x 50' = 6,917.5
 GROSS LAND AREA: 570,066 SF / 13.09 AC

EXISTING ZONING: R-4-C
 PROPOSED ZONING: R-SS-CZD
 PROPOSED LAND DISTURBANCE: 464,882 sf / 10.26 AC
 EXISTING IMPERVIOUS ON-SITE: 18,442 SF / 0.34 AC
 PROPOSED IMPERVIOUS ON-SITE: 222,603 SF / 5.11 AC

PROPOSED USE TOWNHOMES: 0-10 UNITS X 3 BEDROOM
 16 UNITS X 2 BEDROOM
 0-20 X 1 BEDROOM
 APARTMENTS: 54 X 1 BEDROOM
 18 X 2 BEDROOM
 DUPLEXES: 12 UNITS X 3 BEDROOM
 6 UNITS X 4 BEDROOM
 115 - 126 UNITS

TOTAL SQUARE FOOTAGE PROPOSED: 181,575 sf

FLOOR AREA RATIO

DISTRICT AREA FAR: 1.10 X 443,592 SF = 487,951 SF
 RCD STREAMSIDE: 0.01 X 86,014 ON THIS SITE = 860 SF
 RCD MANAGED: 0.019 X 18,239 SF ON THIS SITE = 346 SF
 RCD UPLAND: 1.10 X 22,215 SF IN THIS AREA = 24,436 SF

TOTAL ALLOWED FLOOR AREA: 513,593 SF
 TOTAL PROPOSED FLOOR AREA: 181,575 SF

PARKING

MINIMUM REQUIRED: 1 SPACE PER 1 BDRM = 54x1 = 54
 1.4 / 2 BDRM = 34x1.4 = 48
 1.75 / 3 BDRM = 22x1.75 = 39
 2 / 4 BDRM = 6x2 = 12
 MINIMUM 153 SPACES
 MAXIMUM ALLOWED: 1.25 / 1 BDRM = 74x1.25 = 93
 1.75 / 2 BDRM = 34x1.75 = 60
 2.25 / 3 BDRM = 22x2.25 = 50
 2.5 / 4 BDRM = 6x2.5 = 15
 MAXIMUM 227 SPACES

PROVIDED: 164 STANDARD SPACES
 2 COMPACT SPACES
 3 VAN SPACES
 + 6 ADA SPACES
 175 SPACES TOTAL

SPACES SERVED BY EV CHARGING STATIONS:
 REQUIRED: 3% = 5.25 SPACES
 PROVIDED: 3.4% = 6 SPACES
 NOTE: 35 SPACES MUST BE EV-STATION- READY WITH CONDUIT INSTALLED DURING SITE CONSTRUCTION

BICYCLE PARKING

MAX. 126 UNITS
 REQUIRED: 1 SPACE PER 4 UNITS = 32 SPACES
 Residential: 10% short term = 3-4 (OUTSIDE)
 90% long term = 28-29 (PROTECTED)
 PROVIDED: 4 SPACES (2 LOOPS) OUTSIDE -
 1 loop at basketball court
 1 loop at middle apartment area
 50 PROTECTED SPACES IN OUTDOOR PROTECTED AREAS AND WITHIN BUILDINGS
 9 loops / 18 spaces in locked facilities adjacent to apartment buildings
 3 loops / 6 spaces at common shelter
 26 4'x6' lockable porch closets at townhomes

LIST OF SHEETS

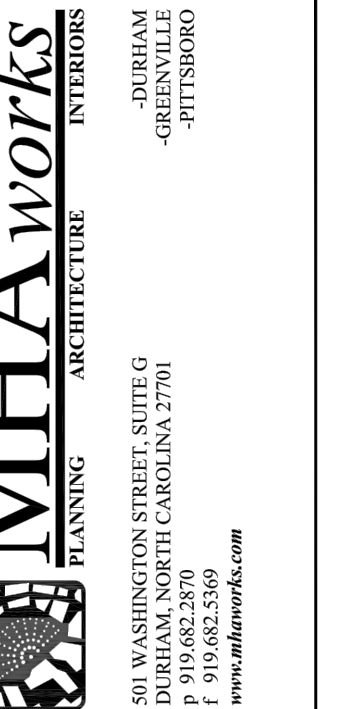
- CZ-0.0 COVER & AREA MAP
- CZ-1.0 EXISTING CONDITIONS
- CZ-1.1 CONSTRUCTION MANAGEMENT PLAN
- CZ-2.0 SITE LAYOUT PLAN
- CZ-3.0 GRADING AND STORMWATER PLAN
- CZ-4.0 reserved for erosion control
- CZ-5.0 UTILITY PLAN
- CZ-6.0 PRELIMINARY LIGHTING PLAN
- CZ-7.0 LANDSCAPE PLAN
- CZ-7.1 LANDSCAPE CALCS AND TREESAVE PLAN
- CZ-8.0 SITE DETAILS
- CZ-8.1 SITE DETAILS
- PD-001 TYPICAL TOWNHOME ELEVATIONS
- PD-002 4-BEDROOM DUPLEX ELEVATIONS
- PD-003 3-BEDROOM DUPLEX ELEVATIONS
- PD-004 CASA BUILDING A ELEVATIONS
- PD-005 CASA BUILDING B ELEVATIONS
- PD-006 CASA BUILDING C ELEVATIONS



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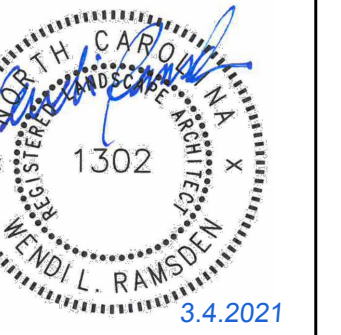


Project:

2200 Homestead Road

Chapel Hill North Carolina

PIN: 9870912947



PRELIMINARY-DO NOT USE FOR CONSTRUCTION

CJT Job Number: 1748

Drawn	WLR PBR MTC
Checked	WLR PBR
Date	10-29-20
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Conditional Zoning Plan

Sheet Title:

COVER & AREA MAP

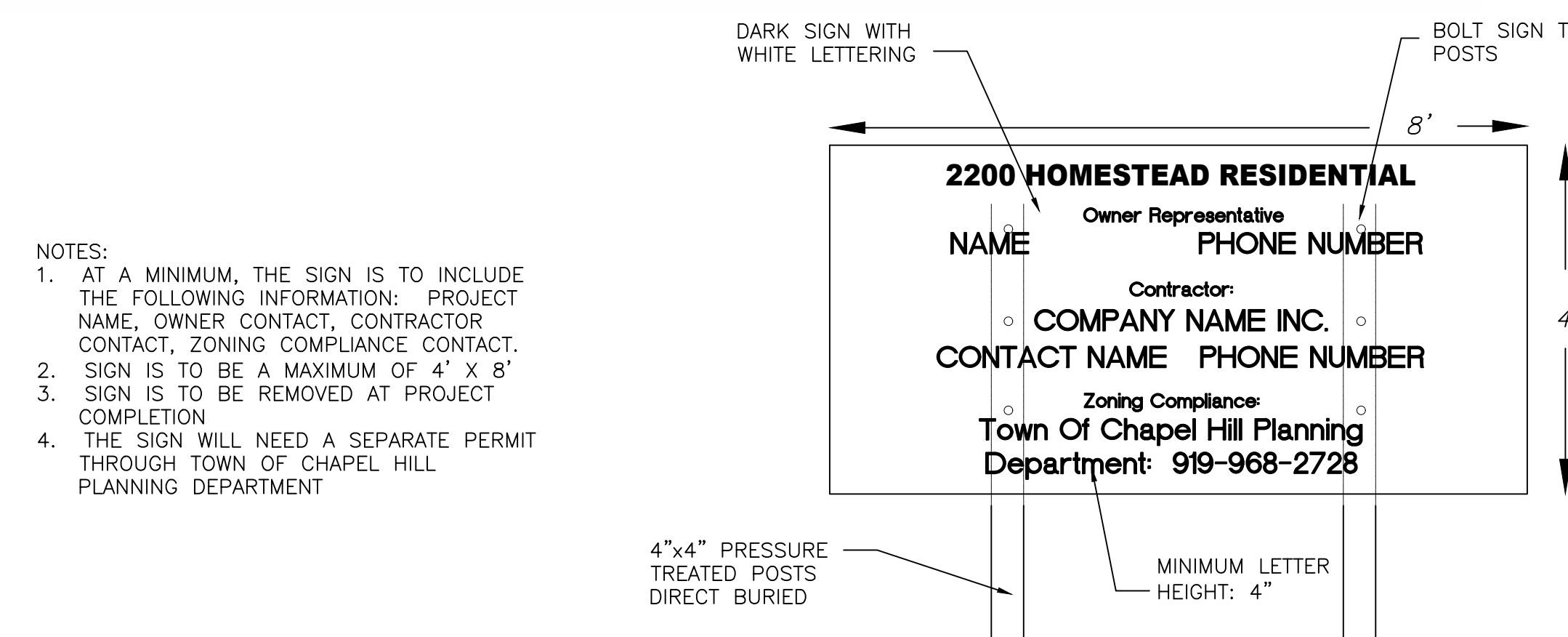
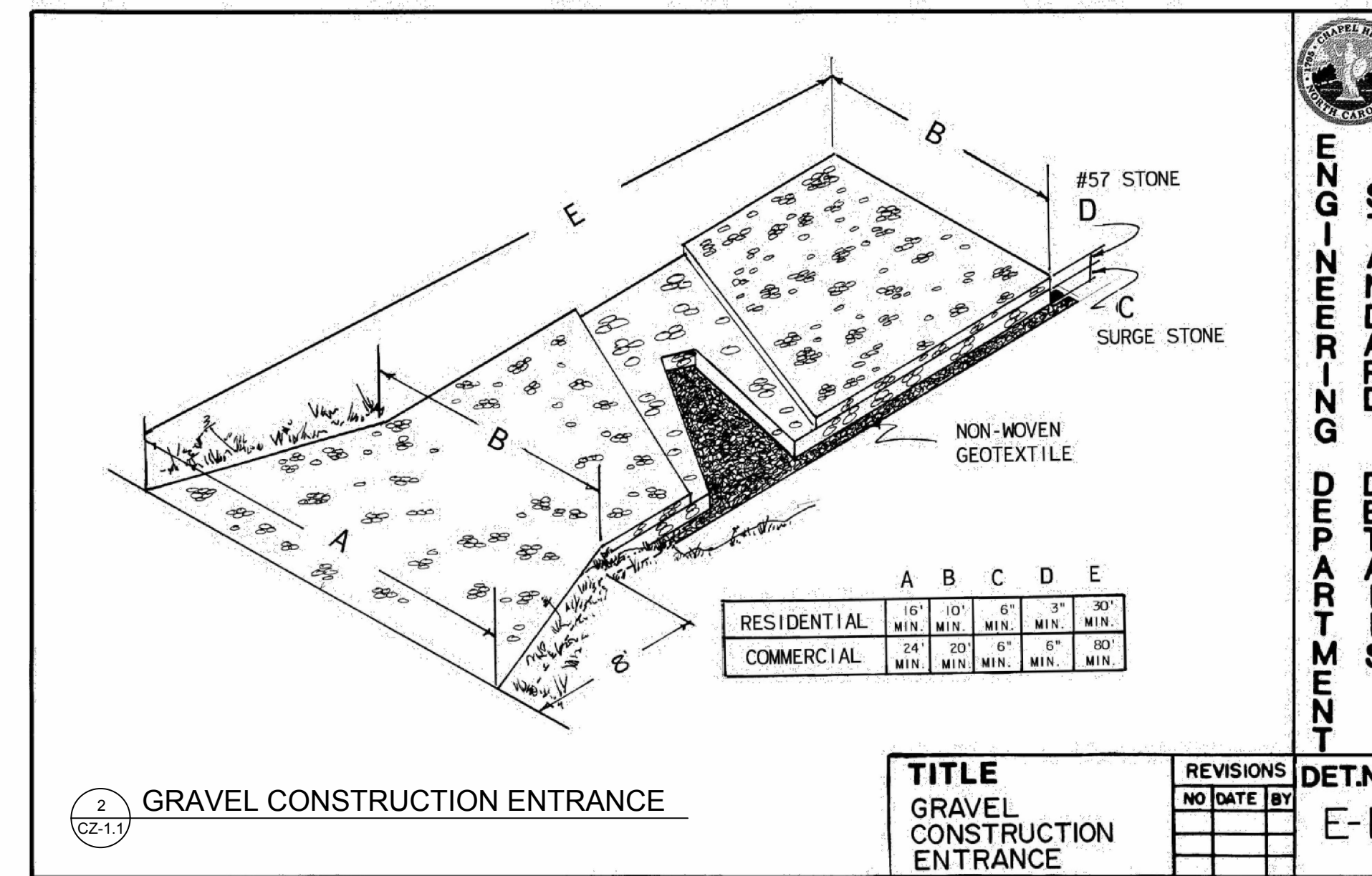
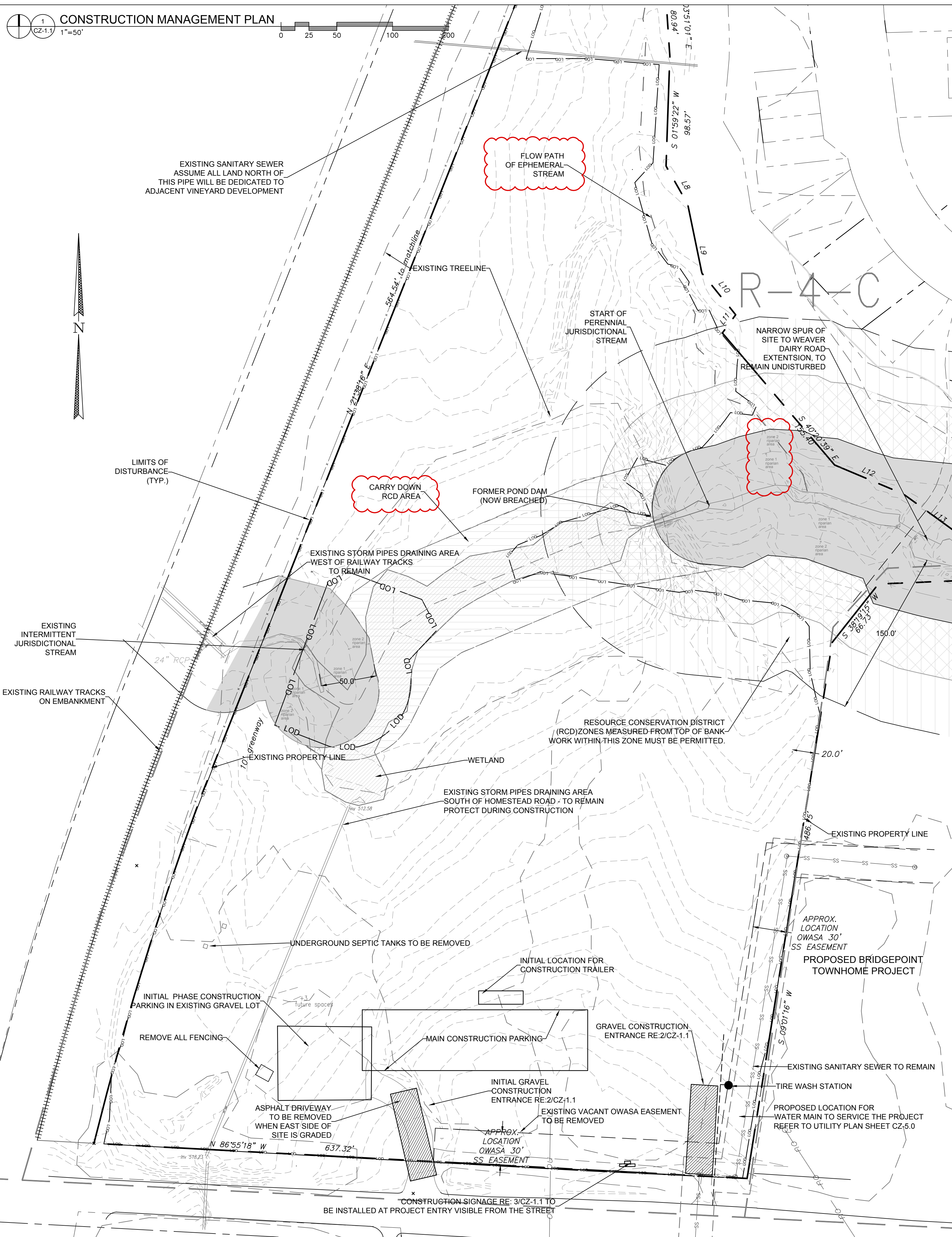
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AREA MAP
 CZ-0.0
 1"=200'



CONSTRUCTION MANAGEMENT PLAN
1
CZ-1.1
1"=50'



- NOTES:
- AT A MINIMUM, THE SIGN IS TO INCLUDE THE FOLLOWING INFORMATION: PROJECT NAME, OWNER CONTACT, CONTRACTOR CONTACT, ZONING COMPLIANCE CONTACT.
 - SIGN IS TO BE A MAXIMUM OF 4' X 8'.
 - SIGN IS TO BE REMOVED AT PROJECT COMPLETION.
 - THE SIGN WILL NEED A SEPARATE PERMIT THROUGH TOWN OF CHAPEL HILL PLANNING DEPARTMENT.

3
CZ-1.1
CONSTRUCTION SIGNAGE

CONSTRUCTION STAGING NOTES

- EXISTING GRAVEL PARKING IS TO BE LEFT INTACT FOR CONSTRUCTION WORKERS UNTIL WORK IS DONE IN EACH AREA AND GRAVEL NEEDS TO BE REMOVED.
- NO CONSTRUCTION PARKING WILL BE ALLOWED ON ADJACENT RESIDENTIAL STREETS.
- CURB AND GUTTER AND AT LEAST THE FIRST LIFT OF ASPHALT MUST BE LAID DOWN AHEAD OF BUILDING CONSTRUCTION.
- ON-SITE PARKING FOR INSPECTORS WILL BE PROVIDED AT EACH BUILDING FOR THE DURATION OF EACH PHASE OF BUILDING CONSTRUCTION.
- THE TOWN OF CHAPEL HILL NOISE ORDINANCE MUST BE COMPLIED WITH. THE TOWN ORDINANCE SPECIFIES CONSTRUCTION OPERATIONS ARE LIMITED TO 7 AM TO 9 PM WEEKDAYS, AND 8 AM TO 9 PM WEEKENDS.
- MATERIAL STORAGE, PARKING, CONSTRUCTION TRAIL, AND TOILET FACILITIES MUST BE LOCATED OUTSIDE OF RCD ZONES, AND LOCATED SO THAT DRAINAGE FROM THESE SPACES DO NOT DIRECTLY DRAIN INTO THE RCD.

4
CZ-1.1
CONSTRUCTION MANAGEMENT NOTES

- PROJECT CONSTRUCTION WILL BE PHASED. THE MAJORITY OF THE SITE WORK WILL BE COMPLETED FIRST IN ORDER TO PROVIDE BUILDING PADS FOR VERTICAL CONSTRUCTION.
- BUILDING CONSTRUCTION WILL NOT BEGIN UNTIL THE UTILITY MAINS ARE INSTALLED AND THE FIRST LAYER OF PAVEMENT IS COMPLETE.
- A CONSTRUCTION TRAILER WILL BE INSTALLED AT THE SITE AND LOCATED APPROXIMATELY IN THE AREA OF THE PROPOSED APARTMENT BUILDINGS. THE CONSTRUCTION TRAILER MAY BE RELOCATED WITHIN THE SITE AS BUILDING CONSTRUCTION IS PERMITTED AND STARTED.
- CONSTRUCTION PARKING WILL BE ALLOWED ON SITE INITIALLY IN GRAVEL AREAS AND LATER IN PROPOSED FUTURE PARKING AREAS. AS BUILDING CONSTRUCTION BEGINS, THERE WILL BE A PARKING SPACE ALLOCATED FOR AN INSPECTOR AT EACH BUILDING.
- CONSTRUCTION TOILETS MAY NOT BE LOCATED IN RCD AREAS.
- CONSTRUCTION MATERIALS MAY BE STORED IN MULTIPLE AREAS ON SITE. CONSTRUCTION MATERIAL STORAGE WILL NOT BE ALLOWED IN RCD ZONES.

5
CZ-1.1
CONSTRUCTION PHASING NOTES

TRAFFIC/PEDESTRIAN CONTROL NOTES

- ANY CONSTRUCTION REQUIRING TEMPORARY LANE CLOSURES ON PUBLIC STREETS NEED TOWN APPROVAL. TEMPORARY LANE CLOSURES ARE ONLY ALLOWED DURING DAYLIGHT HOURS.
- ALL WORK ZONE SIGNAGE SHALL COMPLY WITH APPLICABLE M.U.T.C.D. STANDARDS AND DETAILS.
- PRIOR TO ANY TRAFFIC LANE CLOSURES, IT WILL BE NECESSARY TO CONTACT ERNIE ROGERS AT 919-968-2833, OF THE CHAPEL HILL ENGINEERING DIVISION, AT LEAST 5 WORKING DAYS BEFORE THE PROPOSED WORK TO APPLY FOR A LANE CLOSURE PERMIT.

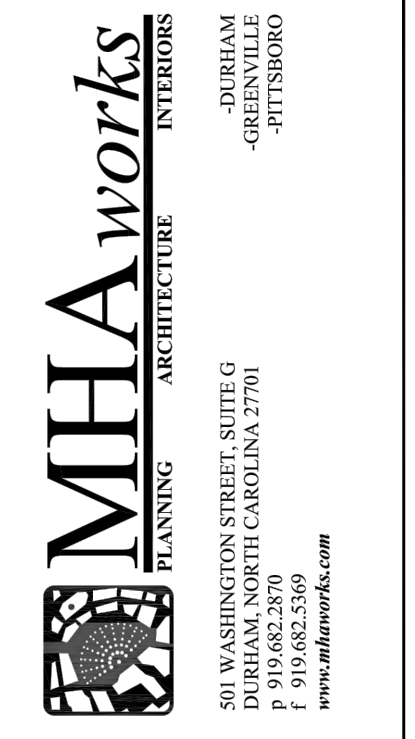
FIRE PROTECTION NOTES

- CONTRACTOR SHALL MAINTAIN A FIRE WATCH DURING THE CONSTRUCTION OR DEMOLITION OF "HOT WORK" THAT MAY SUBJECT MATERIALS TO SPONTANEOUS COMBUSTION. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS.
- ALL CONSTRUCTION AND DEMOLITION SHALL COMPLY WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC (FIRE CODE).
- ANY PERMANENT OR TEMPORARY GATES ACROSS FIRE ACCESS DRIVES SHALL BE A MINIMUM WIDTH OF 20', EITHER SWINGING OR SLIDING TYPE, HAVE AN EMERGENCY MEANS OF OPERATION, AND SHALL BE OPERABLE BY EITHER FORCIBLE ENTRY OR KEYS, CAPABLE OF BEING OPERATED BY ONE PERSON, AND SHALL BE INSTALLED AND MAINTAINED ACCORDING TO UL 325 AND ASTM F 2200 NC FPC 2012.



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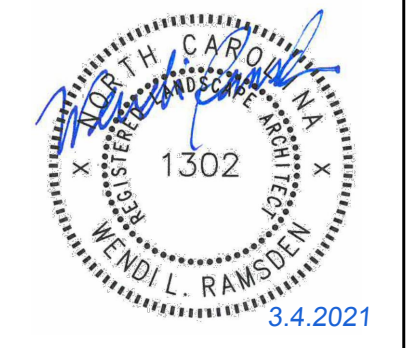


Project:

2200 Homestead Road

Chapel Hill
North Carolina

PIN: 9870912947



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CJT Job Number: 1748

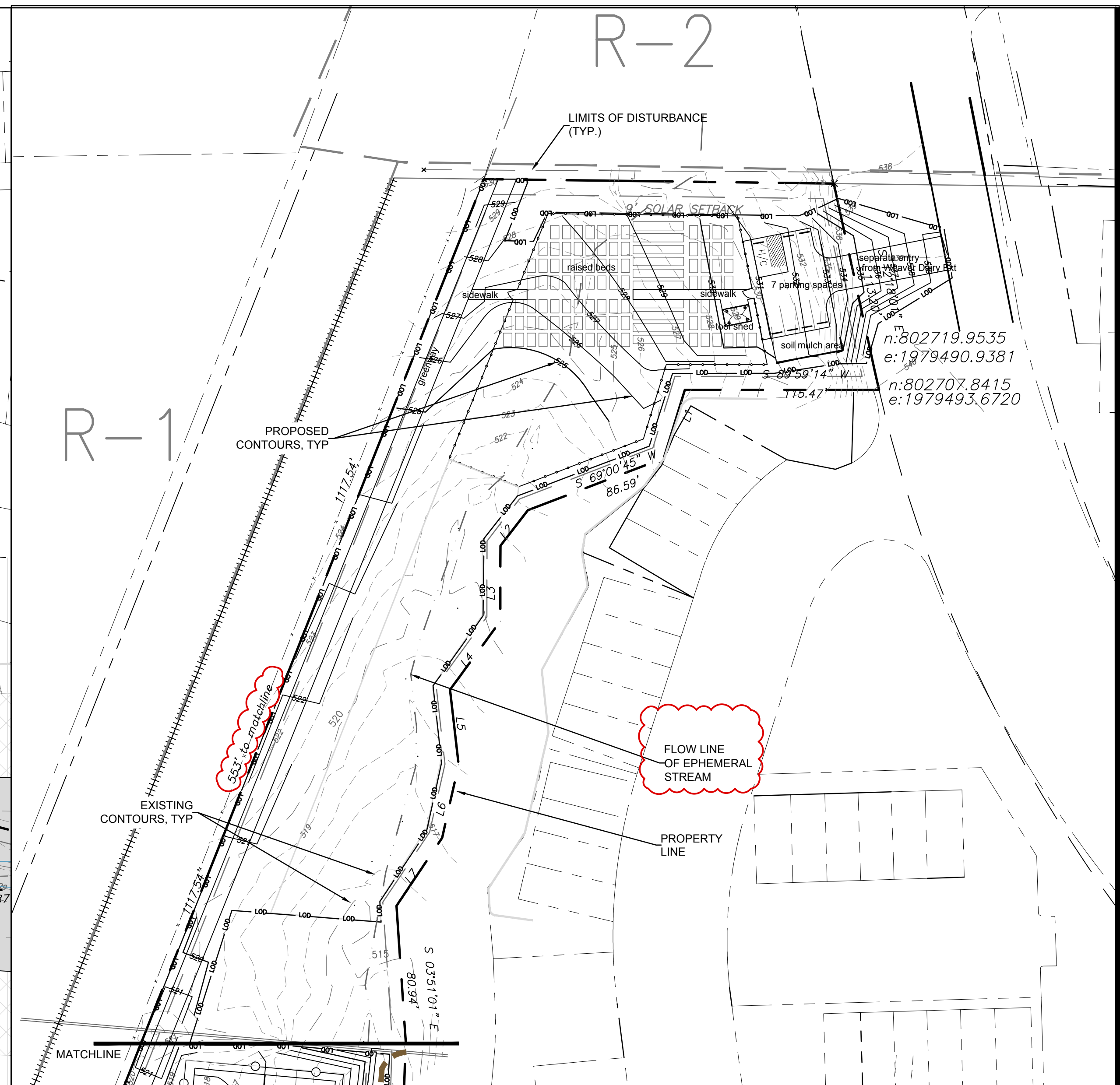
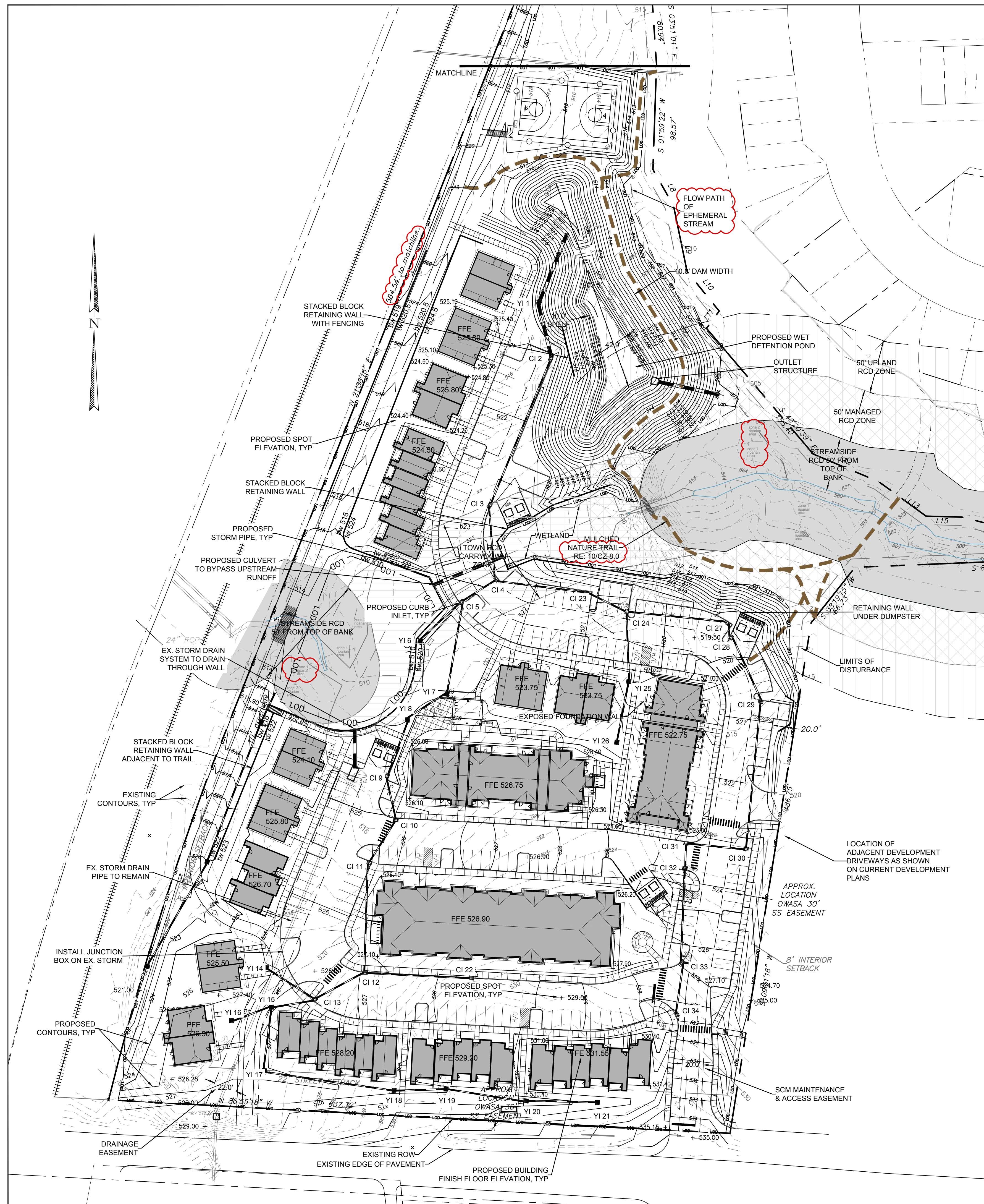
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Conditional Zoning Plan

Sheet Title:

CONSTRUCTION MANAGEMENT PLAN

Sheet Number
CZ-1.1



GRADING AND STORM DRAINAGE PLAN - NORTH
 1"=50'

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL AND NC DOT STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO BE QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
- ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
- ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.8% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.
- CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
- CURB INLETS: PROVIDE PRE-CAST CURB INLET HOODS AND COVERS STATING, "DUMP NO WASTE! DRAINS TO JORDAN LAKE", IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN STANDARD DETAIL SD-5A, FOR ALL NEW CURB INLETS FOR PRIVATE, TOWN AND STATE RIGHTS-OF-WAY.
- SW (BOTTOM OF WALL) ELEVATION IS FINISH GRADE, NOT THE FOOTING. REFERENCE RETAINING WALL PLANS/DETAILS FOR DEPTH OF FOOTING.

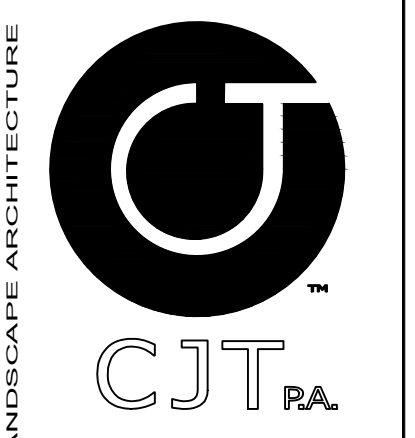
GRADING AND STORM DRAINAGE NOTES

RCD ZONE	TOTAL AREA ON SITE	PROPOSED DISTURBANCE SF	%	ALLOWED BY ORDINANCE	PROPOSED IMPERVIOUS SF	%	ALLOWED BY ORDINANCE
streamside	86,014 SF	22,551 SF	26.2%	20%	8,345 SF	9.7%	10%
managed	22,242 SF	8,860 SF	39.5%	40%	84 SF	0.4%	20%
upland	27,138 SF	22,992 SF	84.7%	40%	6,743 SF	30.35%	20%

THESE CALCULATIONS INCLUDE THE CARRY DOWN ZONE AS STREAMSIDE RCD.

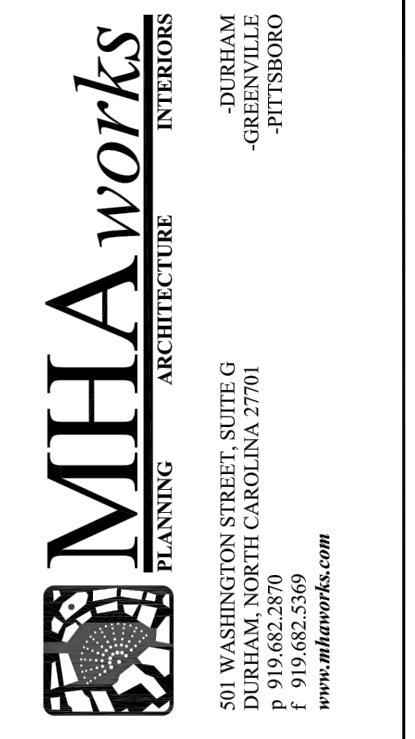
RESOURCE CONSERVATION DISTRICT CALCULATIONS

GRADING AND STORM DRAINAGE PLAN
 1"=50'



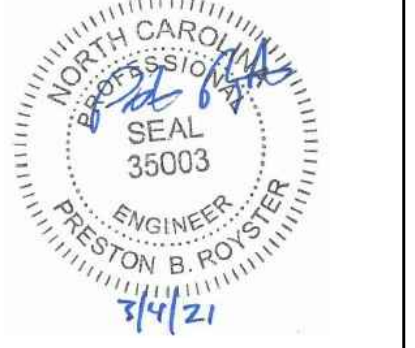
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Project:
 2200 Homestead Road
 Chapel Hill North Carolina

PIN: 9870912947



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Conditional Zoning Plan

Sheet Title:

GRADING AND STORM DRAINAGE PLAN

Sheet Number
 CZ-3.0



- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY OWASA.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE OWASA STANDARDS AND SPECIFICATIONS.
- ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
- BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN: TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
- RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).
- PROVIDE 10'-FT OF HORIZONTAL SEPARATION BETWEEN PROPOSED NEW WATER AND SEWER MAINS

SANITARY SEWER:

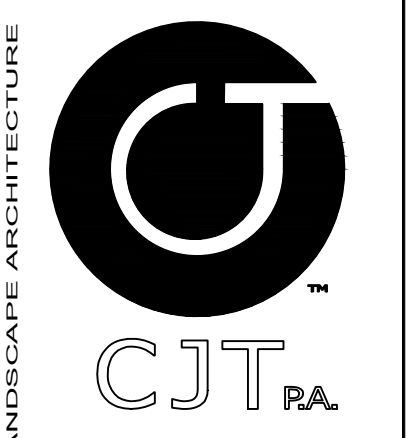
- BACKWATER VALVES SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
- MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
- MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
- MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

WATER:

- LAY WATER MAINS AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
- WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
- MAINTAIN A MINIMUM COVER OF 36" AND MAXIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.
- ALL FDC(S) AND HYDRANT(S) SHALL BE SIAMESE CONNECTIONS AND MEET TOWN OF CHAPEL HILL AND OWASA STANDARDS.
- A FIRE HYDRANT IS REQUIRED WITHIN 100' OF THE FIRE DEPARTMENT CONNECTION (FDC).
- WATER LINES WILL CONNECT TO THE WATER MAIN ON THE NORTH SIDE OF HOMESTEAD ROAD. CONSTRUCTION METHOD WILL BE OPEN CUT THE SHORT DISTANCE TO THE MAIN. ANY UTILITY CONNECTIONS REQUIRED TO THE SOUTH SIDE OF HOMESTEAD WILL BE BORED.

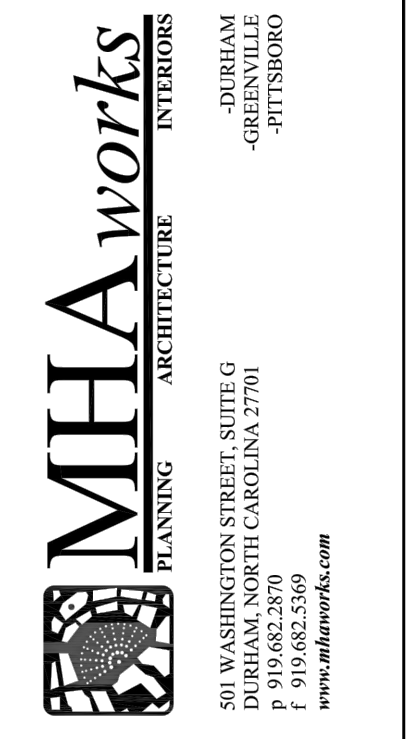
2 UTILITY NOTES

1 UTILITY PLAN



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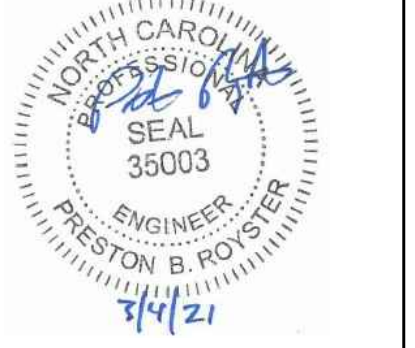


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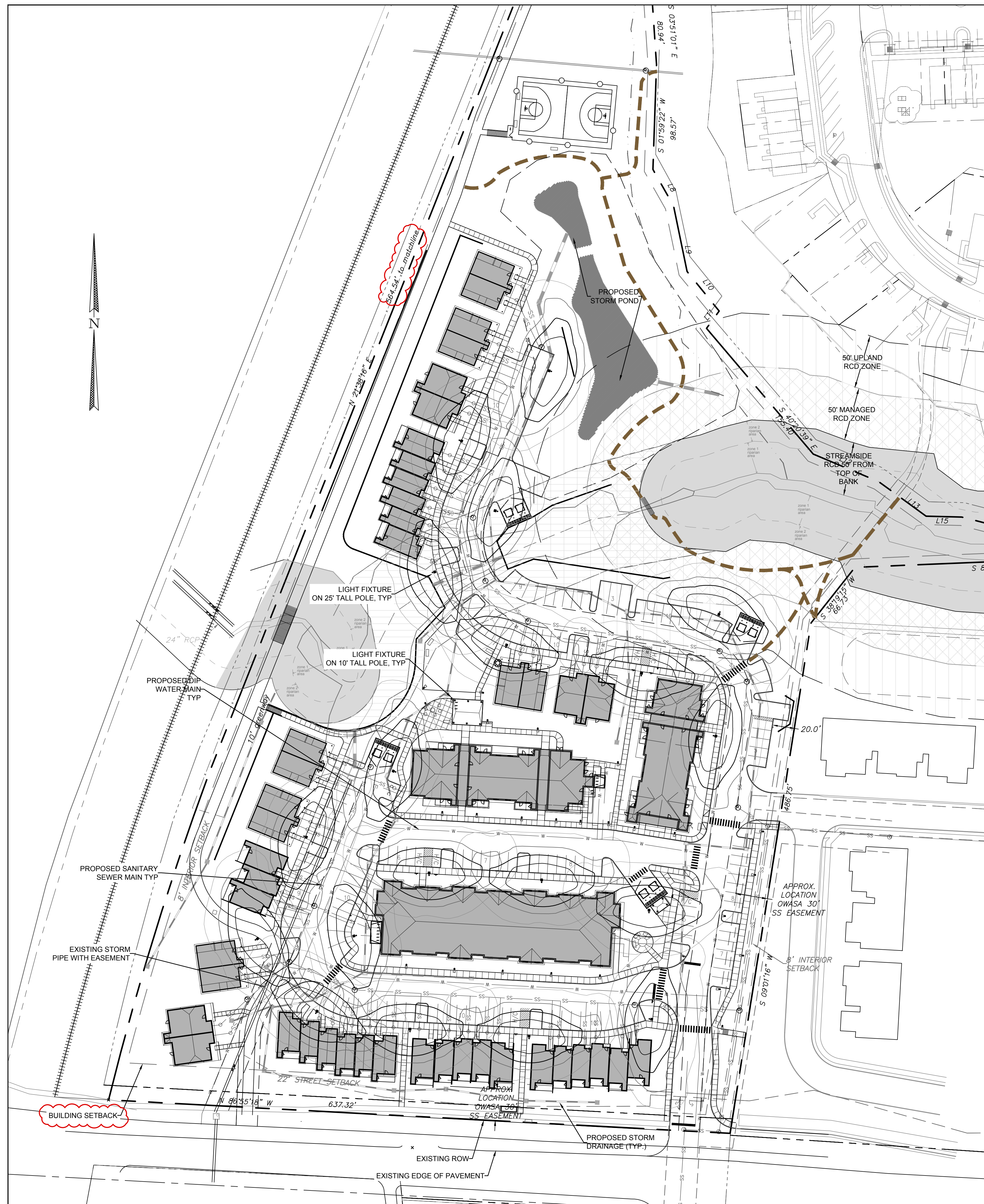
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Conditional Zoning Plan

Sheet Title:

UTILITY PLAN

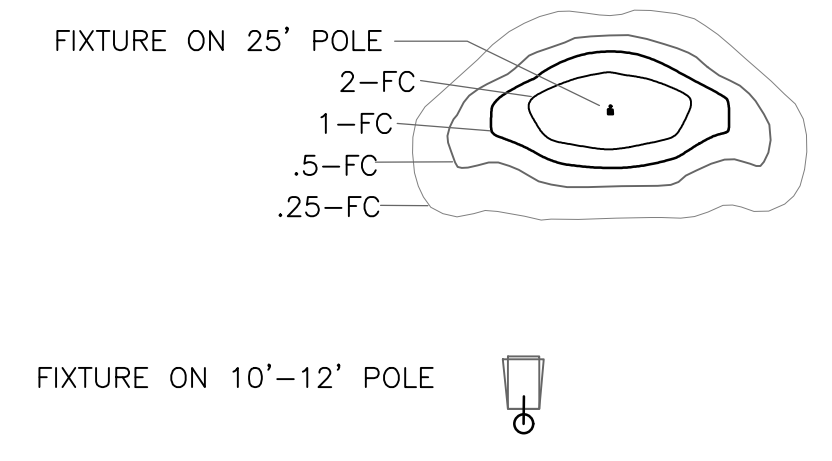
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1. CONTRACTOR TO PROVIDE 2" SCH 40 PVC GRAY ELECTRICAL CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AND AS NECESSARY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES/POLES AND CONNECT BACK TO ELECTRICAL TIE IN LOCATIONS.
2. CONTRACTOR TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS PRIOR TO PAVING.
3. ALL ELECTRICAL CONDUIT SHALL BE FURNISHED BY THE CONTRACTOR. LIGHT POLES AND FIXTURES TO BE FURNISHED BY DUKE ENERGY AND LOCATIONS COORDINATED BY THE CONTRACTOR.
4. ALL CONDUIT ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
5. ALL CONDUITS MORE THAN 30' IN LENGTH SHALL HAVE A POLY STRING INSTALLED.
6. ALL JOINTS ARE TO BE SOLVENT WELDED.
7. LIGHTS MUST BE LOCATED AT LEAST 10' FROM EXISTING AND PROPOSED CANOPY TREES.

2 LIGHTING NOTES
CZ-6

LIGHTING KEY



1 LIGHTING PLAN
CZ-6
1"=50'



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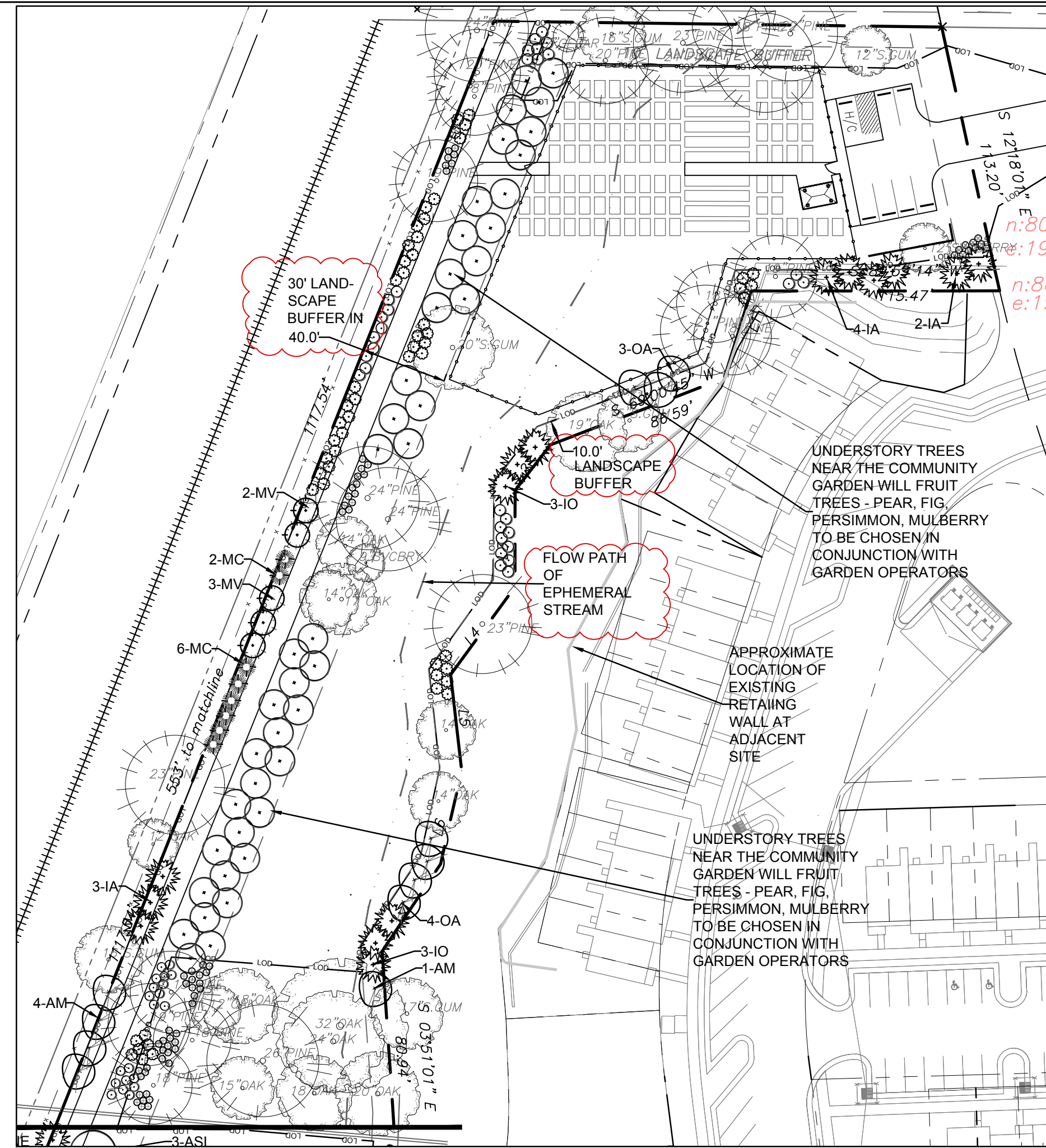
Drawn	WLR/PBR/MTC
Checked	WLR/PBR
Date	10-29-20
Revisions	CZ RESUBMITTAL 2-9-21
	CZ RESUBMITTAL 3-4-21

Conditional Zoning Plan
 Sheet Title:
LIGHTING PLAN
 Sheet Number
CZ-6.0

- LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
- IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
- BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
- IN LAWN AREAS, 2" TOPSOIL/COMPOST SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING. IN LANDSCAPE BEDS, 3" TOPSOIL/COMPOST SHALL BE TILLED INTO THE TOP 6" OF GROUND PRIOR TO PLANT INSTALLATION.
- CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
- CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
- MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
- ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
- IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
- ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.
- LINE OF SIGHT NOTE: NO PROPOSED LANDSCAPING WITHIN THE LINE OF SIGHT EASEMENT SHALL EXCEED 24" AT MATURITY. ANY NEW TREES SHALL BE LIMBED TO 7' ABOVE FINISHED GRADE.
- ANY INVASIVE, EXOTIC PLANT MATERIAL WILL BE REMOVED. A SURVEY OF EXISTING THE LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CLEARING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.
- THE AREA WITHIN THE SIGHT TRIANGLE AREA SHALL BE THINNED OF ALL SHRUBS, TREES LARGER THAN 1" CAL SHALL BE LIMBED UP TO 7' ABOVE EXISTING GRADE TO IMPROVE VISIBILITY.

3 PLANTING NOTES

CZ-7



2 LANDSCAPE PLAN - NORTH SITE
1"=50'



1 LANDSCAPE PLAN
1"=50'

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
CANOPY TREES						
14	AF	Acer freemanii	Freeman Maple	2.5" CAL.	14' ht.	AS SHOWN SINGLE TRUNK & LEADER
5	AR	Acer rubrum 'Autumn Glory'	Autumn Glory Maple	2.5" CAL.		SINGLE TRUNK & LEADER
23	ASL	Acer saccharum 'Legacy'	Legacy Sugar Maple	2.5" CAL.		SINGLE TRUNK & LEADER
15	BN	Betula nigra 'heritage'	Heritage River Birch	3" CAL total	14' ht.	AS SHOWN 3 TRUNK MINIMUM
6	IMG	Magnolia grandifolia	Southern Magnolia	2.5" CAL.		
16	NS	Nyssa sylvatica	Black gum	2.5" CAL.	14' ht.	AS SHOWN SINGLE TRUNK & LEADER
33	PV	Pinus virginiana	Virginia Pine	2" cal.	12' ht.	AS SHOWN SINGLE TRUNK & LEADER
8	PS	Prunus sargentii	Sargent Cherry	2" cal.		AS SHOWN SINGLE TRUNK & LEADER
8	QS	Quercus shumardii	Shumard Oak	2.5" CAL.	12' ht.	AS SHOWN SINGLE TRUNK & LEADER
3	QV	Quercus virginiana	Live Oak	2.5" CAL.	12' ht.	AS SHOWN SINGLE TRUNK & LEADER
5	TD	Taxodium distichum	Bald Cypress	2.5" CAL.	12' ht.	AS SHOWN SINGLE TRUNK & LEADER
10	UP	Ulmus americana 'Princeton'	Princeton American Elm	2.5" CAL.	14' ht.	AS SHOWN SINGLE TRUNK & LEADER
146						
UNDERSTORY TREES						
26	AM	Amerlanchier arborea	Serviceberry	1" cal.	8' HT.	AS SHOWN MULTI-TRUNK
15	CC	Cercis canadensis 'Hearts of Gold'	Hearts of Gold Redbud	1" cal.	8' HT.	AS SHOWN SINGLE TRUNK & LEADER
28	CF	Cornus florida	Dogwood	1" cal.	8' HT.	AS SHOWN
10	CV	Chionanthus virginiana	Fringetree	1" cal.	8' HT.	AS SHOWN
30	IA	Ilex x attenuata 'Fosteri'	Foster Holly	8" ht.	AS SHOWN	
18	INS	Ilex Nellie Stevens	Nellie Stevens Holly	8" ht.	AS SHOWN	
16	IO	Ilex opaca	American Holly	1" cal.	6' HT.	8' O.C. SINGLE TRUNK & LEADER
28	JV	Juniperus virginiana	Eastern Redcedar	8" HT.	AS SHOWN	FULL AND MATCHING
7	LI	Lagerstroemia indica 'Natchez'	Natchez Grape Myrtle	8-10' HT.	AS SHOWN	MULTI-TRUNK
57	MC	Myrica cerifera	Eastern Waxmyrtle	8" HT.	AS SHOWN	FULL
6	MLG	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	1.5" cal.	8' ht.	10' O.C. FULL AND MATCHING
22	MV	Magnolia virginiana	Sweetbay Magnolia	1.5" cal.	8' ht.	AS SHOWN FULL
18	OA	Oxydendron arboreum	Sourwood	1.5" cal.	8' HT.	AS SHOWN FULL
27	TGG	Thuja x Green Giant	Green Giant Arborvitae	1.5" cal.	8' HT.	AS SHOWN FULL
42		Fig, pear, persimmon, mulberry trees for planting near community garden		8" ht.	12' O.C.	FULL
350						
SHRUBS						
	CJ	Camellia japonica	Camellia	24" ht.	5' o.c.	FULL AND MATCHING
	CHF	Cephalotaxus harringtonia 'Fastigiata'	Upright Plum Yew	24" ht	5' o.c.	FULL AND MATCHING
	DG	Deutzia gracilis	Slender Deutzia	24" ht	4' o.c.	FULL
	GJ	Gardenia jasminoides	Gardenia	24" ht	5' o.c.	FULL AND MATCHING
	HQ	Hydrangea quercifolia	Oakleaf Hydrangea	24" ht	5' o.c.	FULL AND MATCHING
	ICC	Ilex cornuta 'carissa'	Carissa Holly	15" HT.	30" O.C.	FULL AND MATCHING
	IG	Ilex glabra	Inkberry Holly	15" HT.	36" O.C.	FULL AND MATCHING
	IL	Illicium parvifolia	Anise	24" ht	4' o.c.	FULL AND MATCHING
	IVN	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	24" ht		
	JC	Juniperus chinensis 'Sea Green'	Sea Green Juniper	18" HT.	36" O.C.	FULL AND MATCHING
	LE	Loropetalum chinense 'Emerald'	Emerald Loropetalum	15" HT.	36" O.C.	FULL AND MATCHING
	LOR	Loropetalum chinense	Loropetalum	24" ht	42" O.C.	FULL AND MATCHING
	PEN	Pennisetum	Fountain Grass	1 gal	36" O.C.	FULL AND MATCHING
	PC	Prunus caroliniana 'Otto Luyken'	Otto Luyken	18" HT.	36" O.C.	FULL AND MATCHING
	SR	Sarcococca rustica	Sweetbox	18" HT.	36" O.C.	FULL AND MATCHING
	WS	Weigela 'Florida Variegata'	Variegated Weigela	18" HT.	36" O.C.	FULL AND MATCHING
0						
GROUND COVER						
	AR	LAWN/Fescue	3 var improved seed mix			SEED

3 PLANT LIST

CZ-7

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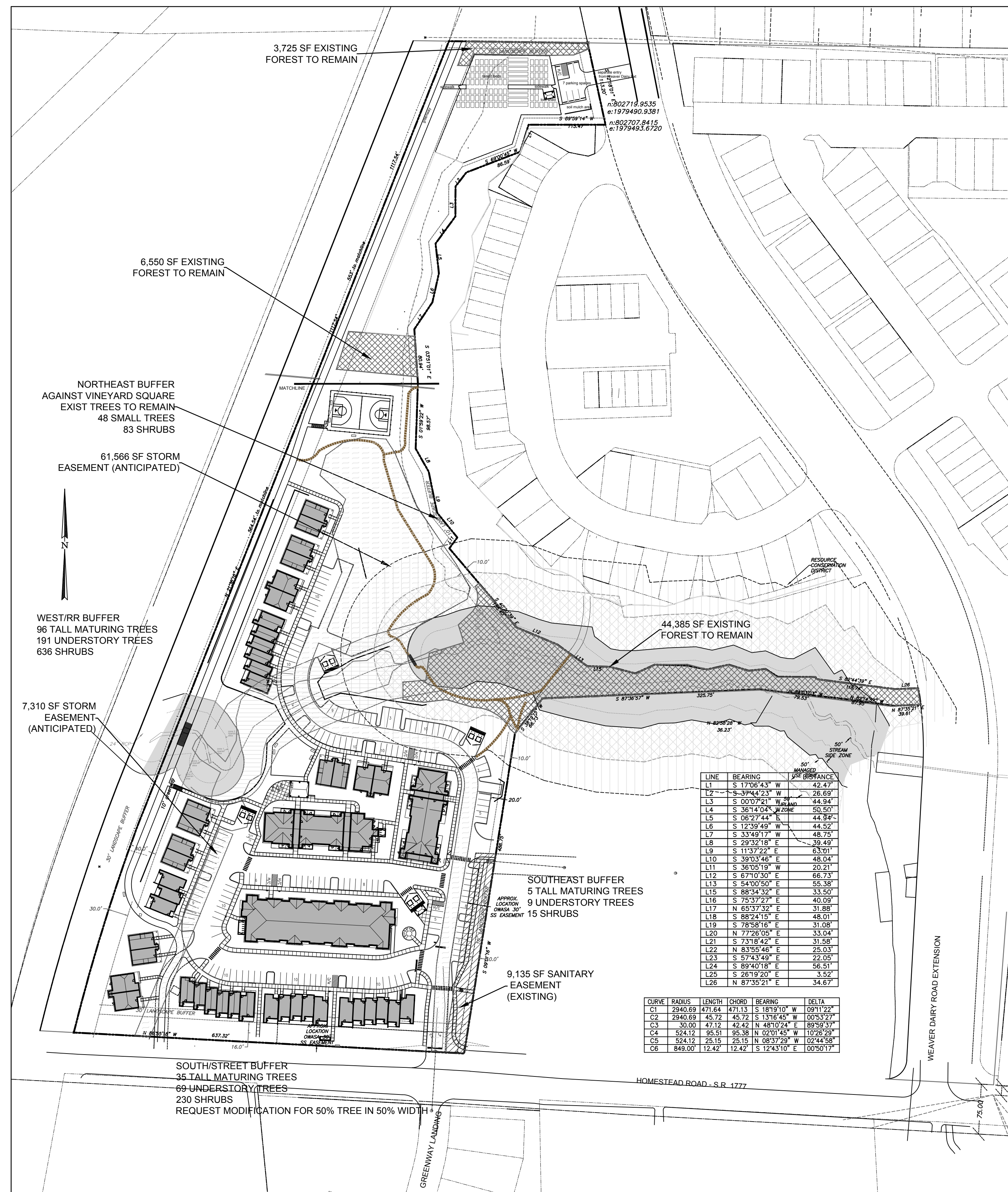
Project:
2200 Homestead Road
Chapel Hill North Carolina

Pin: 9870912947

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CJT Job Number: 1748
Drawn: WLR, PBR, MTC
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Revisions: C2 RESUBMITTAL 2-9-21, C2 RESUBMITTAL 3-4-21

Conditional Zoning Plan
Sheet Title:
LANDSCAPE PLAN

Sheet Number:
CZ-7.0

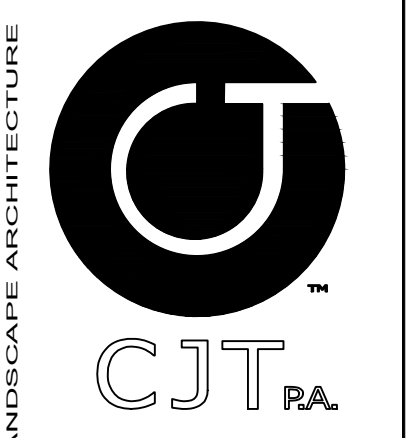


# Required per 100'	Required Plantings:	Existing	
		Plantings	Plantings Provided
West Buffer "D" - against railway tracks			
30' Wide	6 Large Tree = 95.4	96 Large Trees	0 = 96 Large Trees
1589 LF	12 Small Tree = 190.7	191 Small Trees	191 Small Trees
(Internal)	40 Shrubs = 635.6	636 Shrubs	0 = 636 Shrubs
South Buffer "D" - Homestead Frontage			
Modification request to reduce buffer to 50% requirement due to shifting right of way			
Plant half of:			
30' Wide	6 Large Tree = 34.5	18 Large Trees	0 = 18 Large Trees
574 LF	12 Small Tree = 68.9	35 Small Trees	35 Small Trees
(External)	40 Shrubs = 229.6	115 Shrubs	0 = 115 Shrubs
Southeast Buffer "B" - Adjacent to Bridgepoint			
Modification request to plant nothing - to be installed on adjacent parcel 313			
Plant none of:			
0 Wide	4 Large Tree = 6.3	7 Large Trees	0 = 7 Large Trees
313 LF	7 Small Tree = 11.0	11 Small Trees	11 Small Trees
(Internal)	12 Shrubs = 18.8	19 Shrubs	0 = 19 Shrubs
Midwest Buffer "B" - Adjacent to Bridgepoint			
Entire buffer width will be planted on project parcel 181			
10' Wide	4 Large Tree = 3.7	4 Large Trees	0 = 8 Large Trees
181 LF	7 Small Tree = 6.4	7 Small Trees	13 Small Trees
(Internal)	12 Shrubs = 10.9	11 Shrubs	0 = 22 Shrubs
Northeast Buffer "B" - Adjacent to Vineyard Square			
10' Wide	4 Large Tree = 27.4	28 Large Trees	28 = 0 Large Trees
1036 LF	7 Small Tree = 47.9	48 Small Trees	48 Small Trees
(Internal)	12 Shrubs = 82.1	83 Shrubs	0 = 83 Shrubs

3 BUFFER CALCULATION SUMMARY

Lot	Paved Area	# Required per 2000 Sf	Required Plantings:	Plantings Provided
South	14,625 SF	1 Canopy Tree	7.4 8 Large Trees	8 Large Trees
West	10,100 SF	1 Canopy Tree	5.1 6 Large Trees	6 Large Trees
Middle	11,555 SF	1 Canopy Tree	5.8 6 Large Trees	6 Large Trees
East	21,255 SF	1 Canopy Tree	10.7 11 Large Trees	11 Large Trees
Northwest	23,720 SF	1 Canopy Tree	11.9 12 Large Trees	12 Large Trees

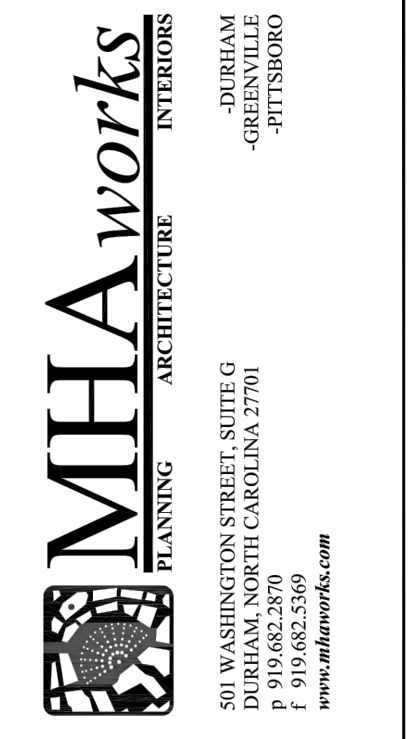
4 PARKING LOT CALCULATION SUMMARY



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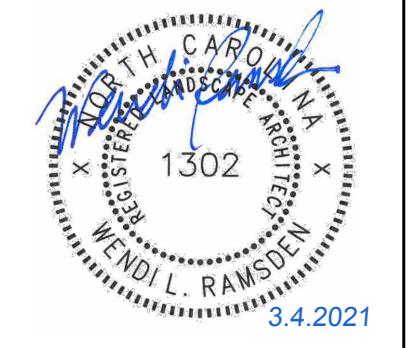


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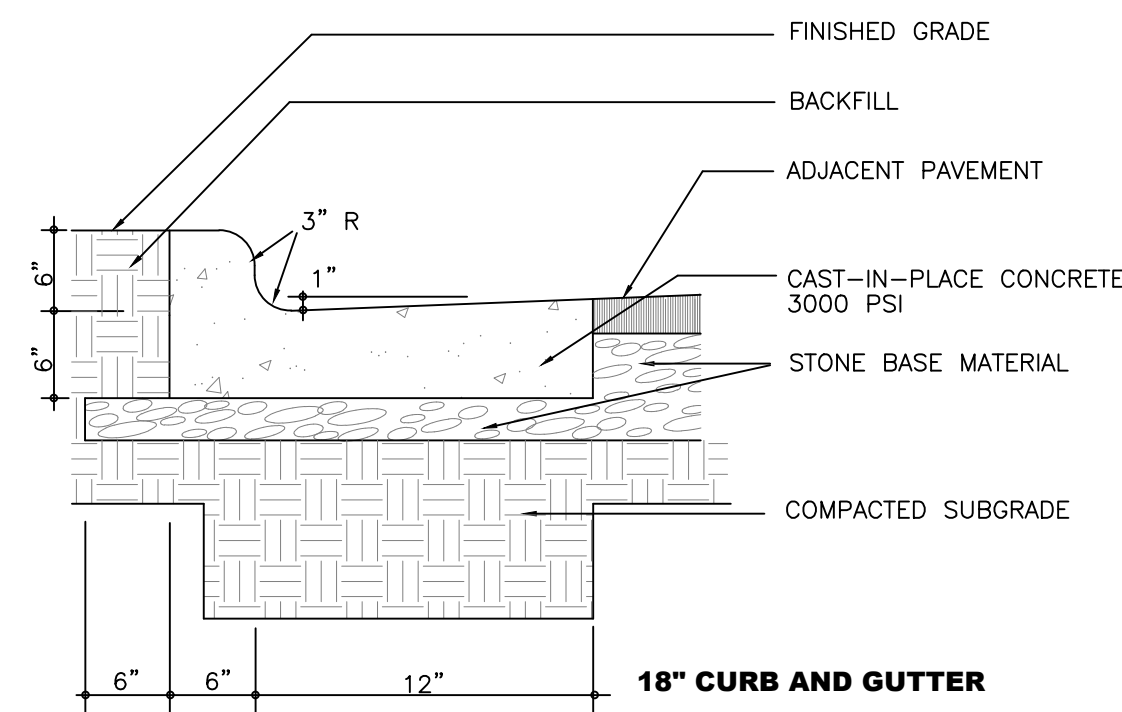
Conditional Zoning Plan

Sheet Title:

LANDSCAPE PLAN

Sheet Number
 CZ-7.1

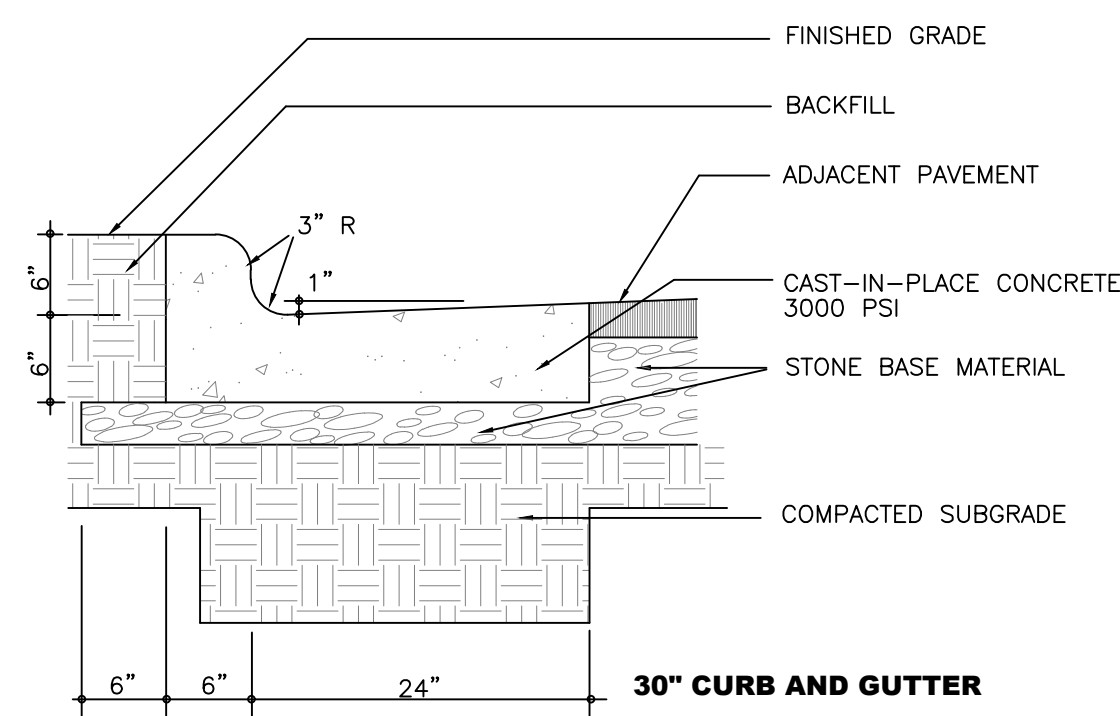
-CONTRACTION JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS. EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.
 -CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE MAINTAINED.
 -ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT FILLER.
 -JOINTS SHALL MATCH LOCATIONS WITH JOINT IN ABUTTING SIDEWALK.
 -EXPANSION JOINTS SHALL BE SPACED AT 90 FOOT INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.



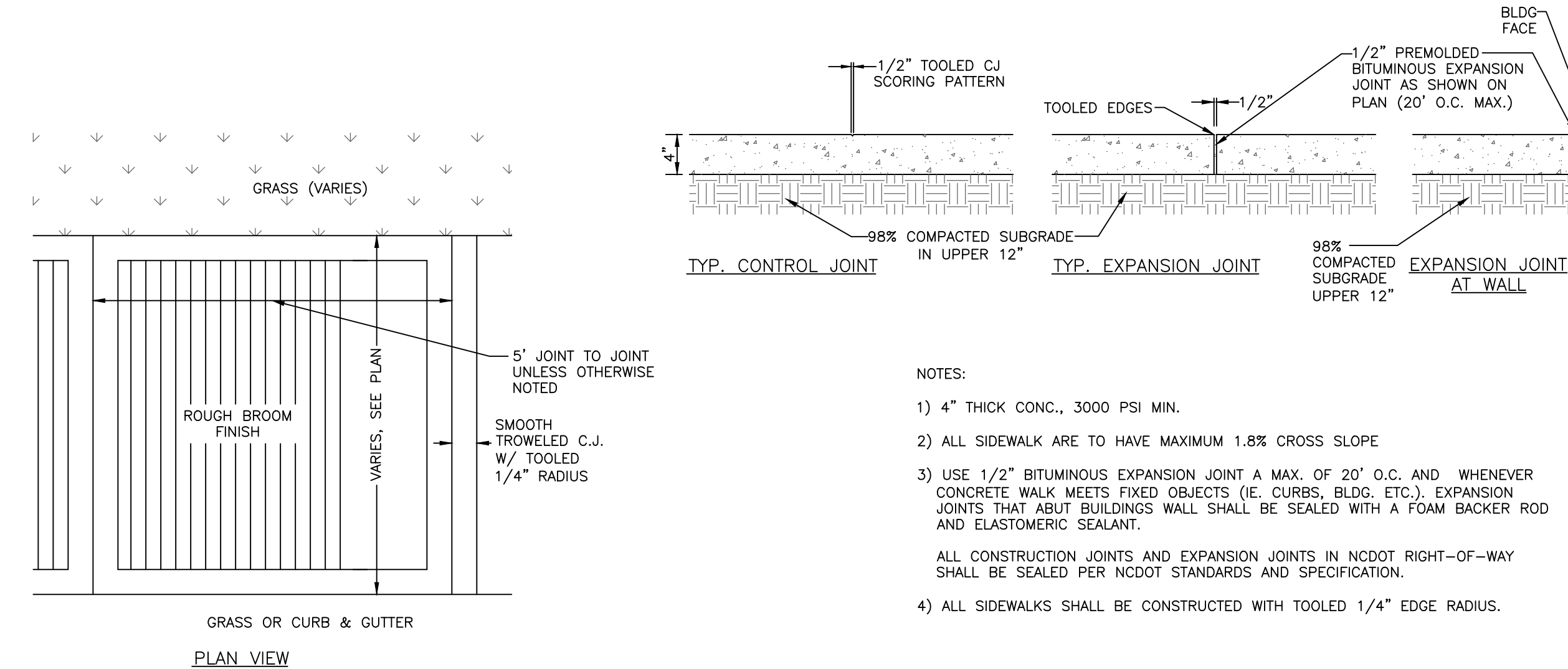
NOTE THAT THIS DETAIL DOES NOT MEET NC DOT REQUIREMENTS. ANY CURB AND GUTTER TO BE CONSTRUCTED IN THE OLD MASON FARM ROAD RIGHT OF WAY IS TO FOLLOW NC DOT STANDARDS RE: 2/C700

1 ON SITE CURB & GUTTER
 CZ-8.0 no scale

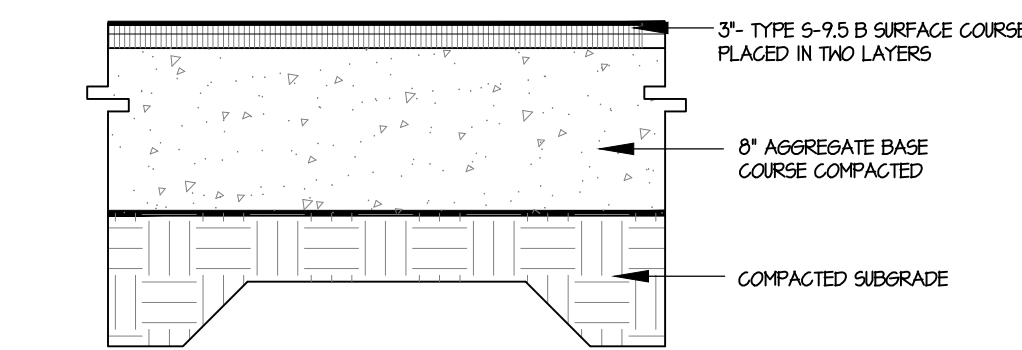
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2 OFF SITE CURB & GUTTER
 CZ-8.0 no scale

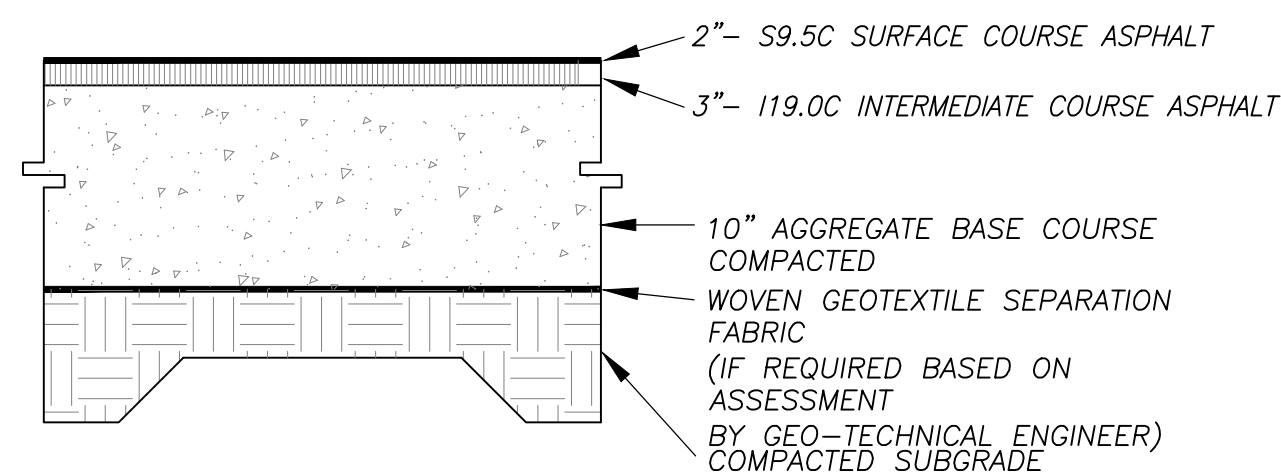


3 CONCRETE SIDEWALK
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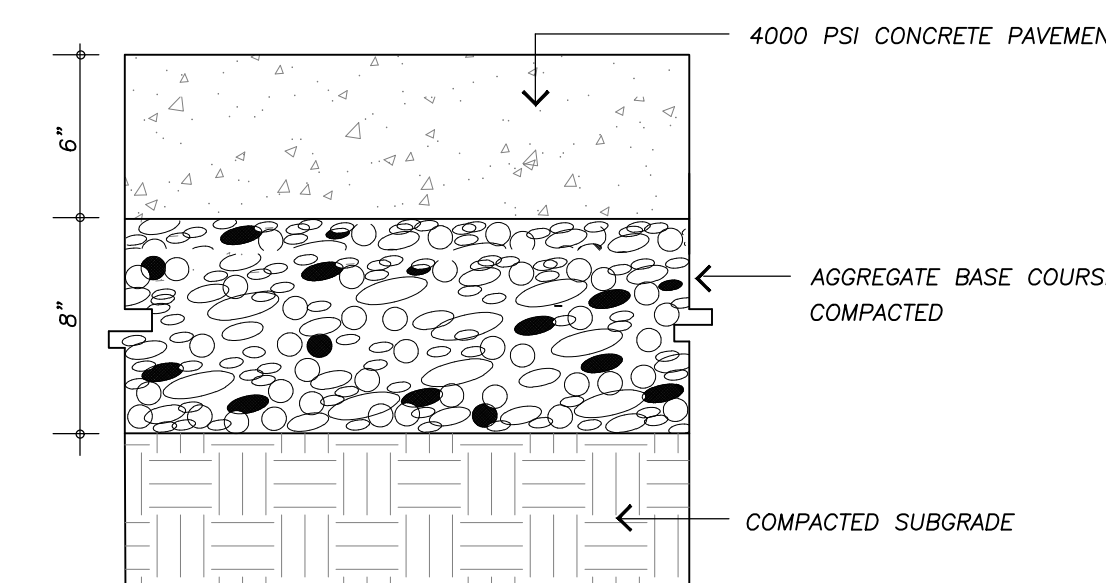
FINAL PAVEMENT SECTION IS PROVIDED BY GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC GEO-TECHNICAL REPORT

4 STANDARD ASPHALT PAVING
 CZ-8.0 no scale



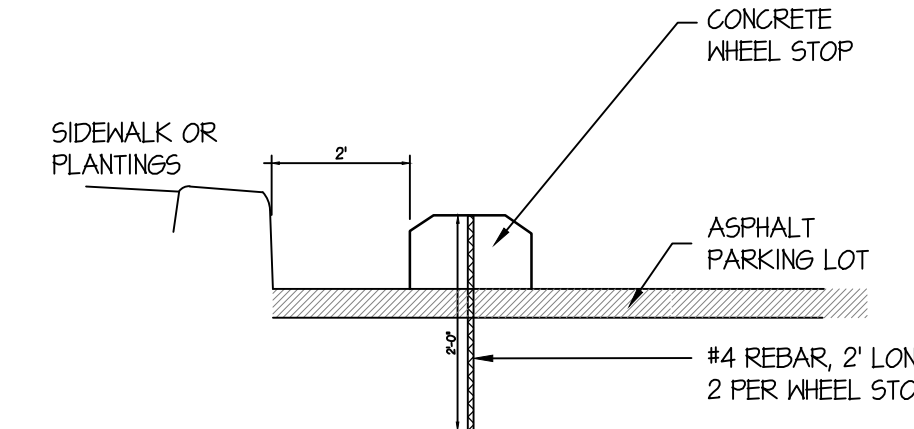
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5 HEAVY DUTY ASPHALT PAVING
 CZ-8.0 no scale

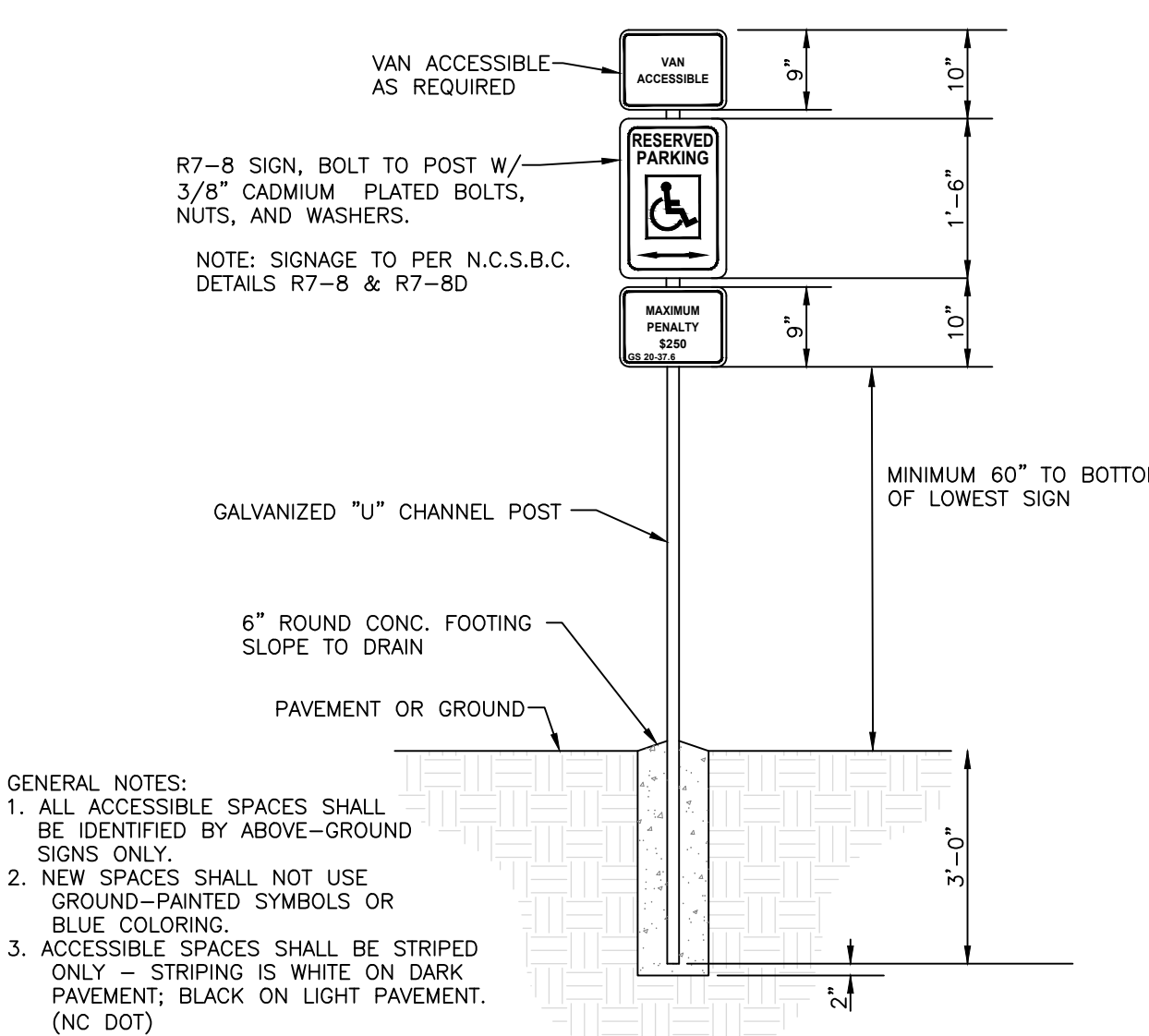


NOTES:
 1. ALL CONCRETE TO 4000 PSI, PROPERLY AIR ENTRAINED FOR EXTERIOR GRADE CONCRETE MIXES.
 2. CABC BASE AND SOIL SUBGRADE TO BE COMPACTED TO 98% OF THE ASTM D-698 STD. PROCTOR MOD IN ACCORDANCE WITH THE REPORT BY THE GEOTECHNICAL ENGINEER AND PROFFROLLED AND APPROVED BY GEOTECHNICAL PERSONNEL.
 3. CONTRACTOR SHALL INSTALL CONTRACTION AND EXPANSION JOINTS AS NECESSARY TO MINIMIZE CRACKING. CONTRACTION JOINTS SHALL BE SPACED AT 10' MAXIMUM EACH WAY WITH ACTUAL PATTERN BASED ON FIELD CONDITIONS. JOINTS SHALL BE TOOLED OR SAW CUT TO A MINIMUM DEPTH OF 2". EXPANSION JOINTS SHALL BE INSTALLED BETWEEN PAVEMENT AND ANY RIGID OBJECTS AND SPACED AS SPECIFIED IN LATEST VERSION OF ACI STANDARDS.
 4. ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH LATEST VERSION OF ACI STANDARDS AND THE REPORT BY THE GEOTECHNICAL ENGINEER.

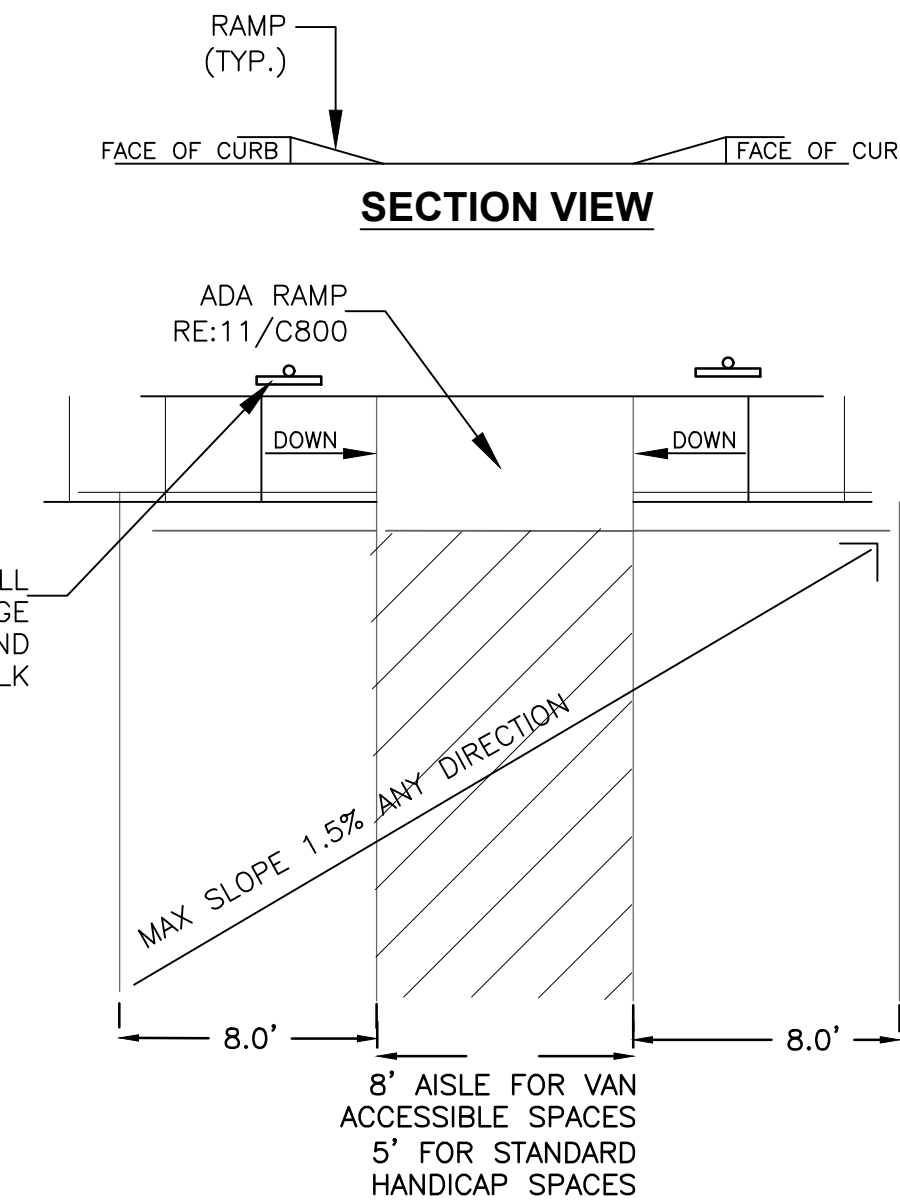
6 HEAVY DUTY CONCRETE PAVING
 CZ-8.0 no scale



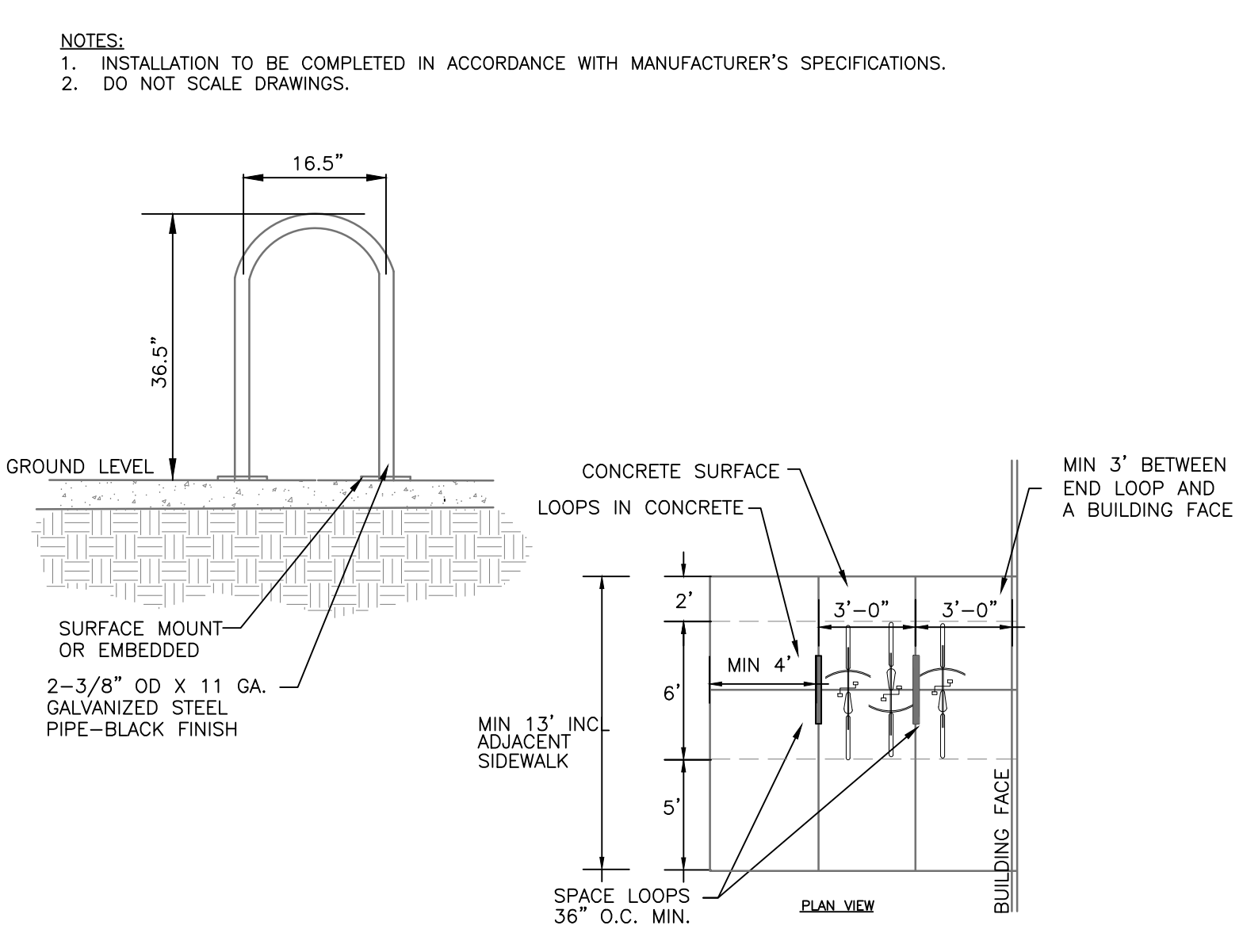
7 WHEELSTOP
 CZ-8.0 no scale



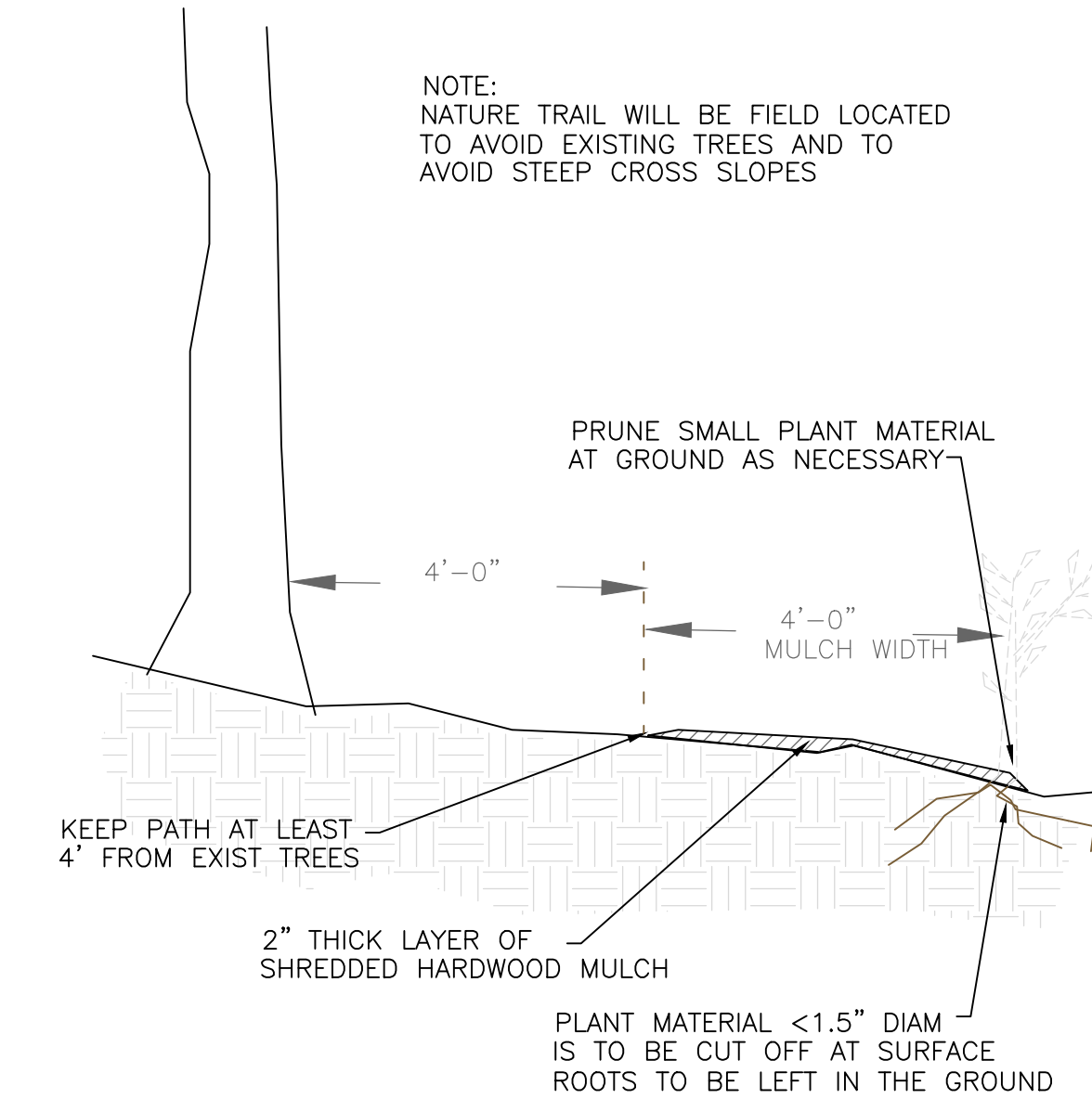
8 ADA PARKING LAYOUT AND SIGNAGE
 CZ-8.0 no scale



PLAN VIEW



9 EXTERIOR BICYCLE PARKING
 CZ-8.0 no scale



10 NATURE TRAIL PROFILE
 CZ-8.0 no scale



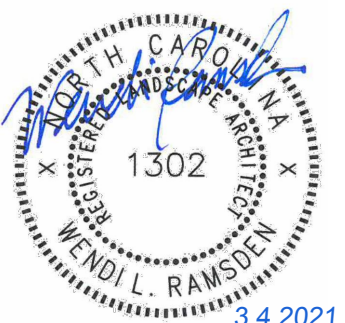
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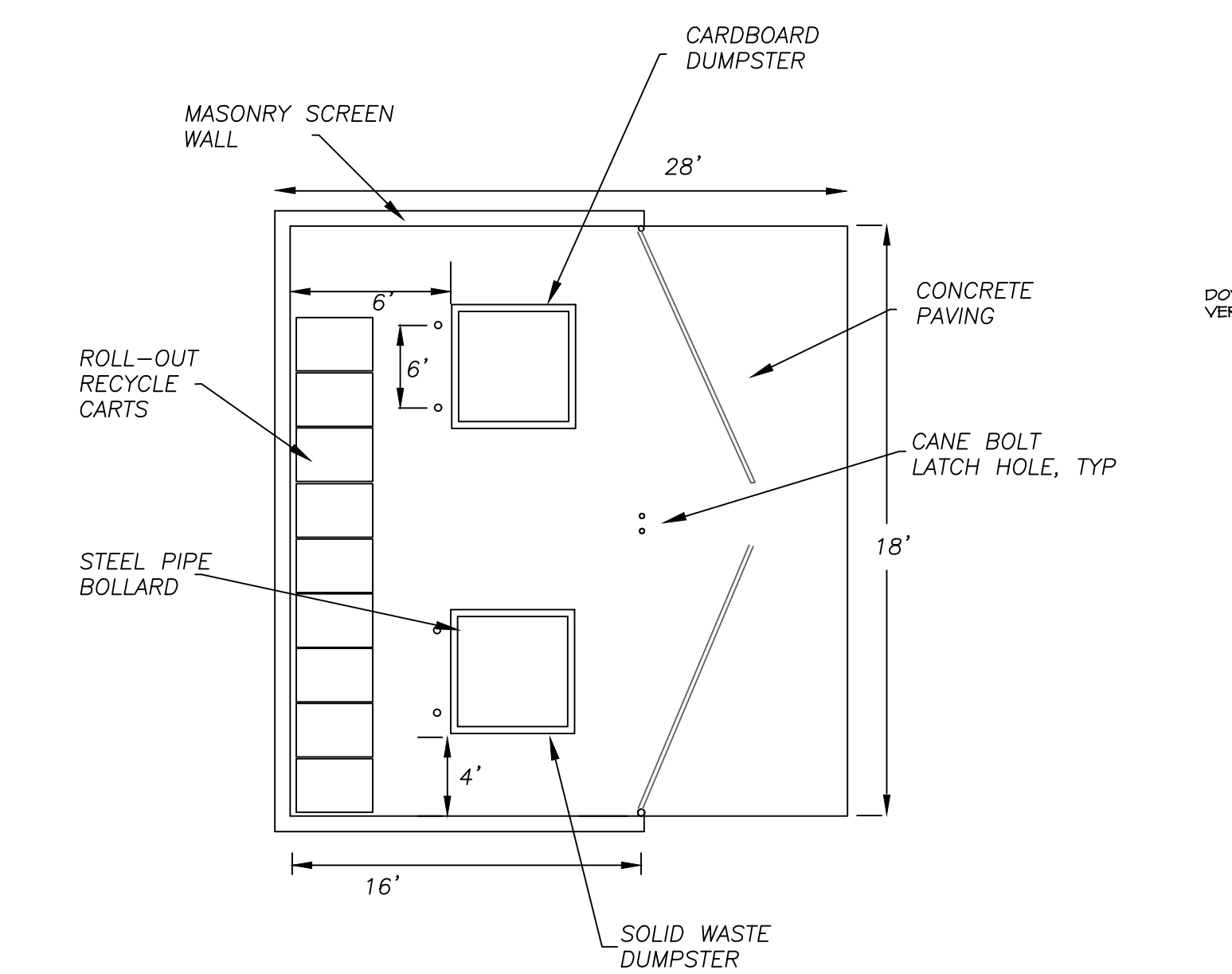
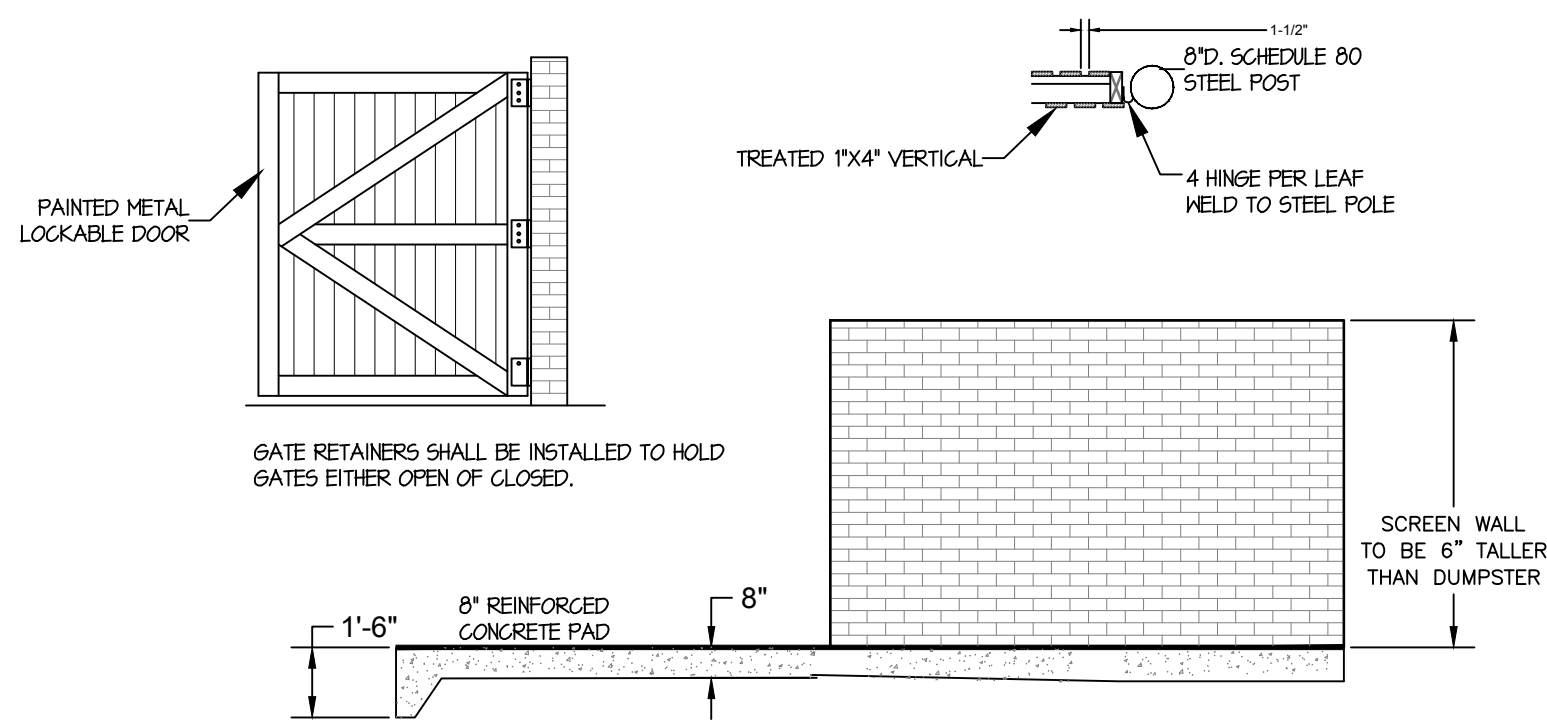
Project:
 2200 Homestead Road
 Chapel Hill North Carolina

PIN: 9870912947

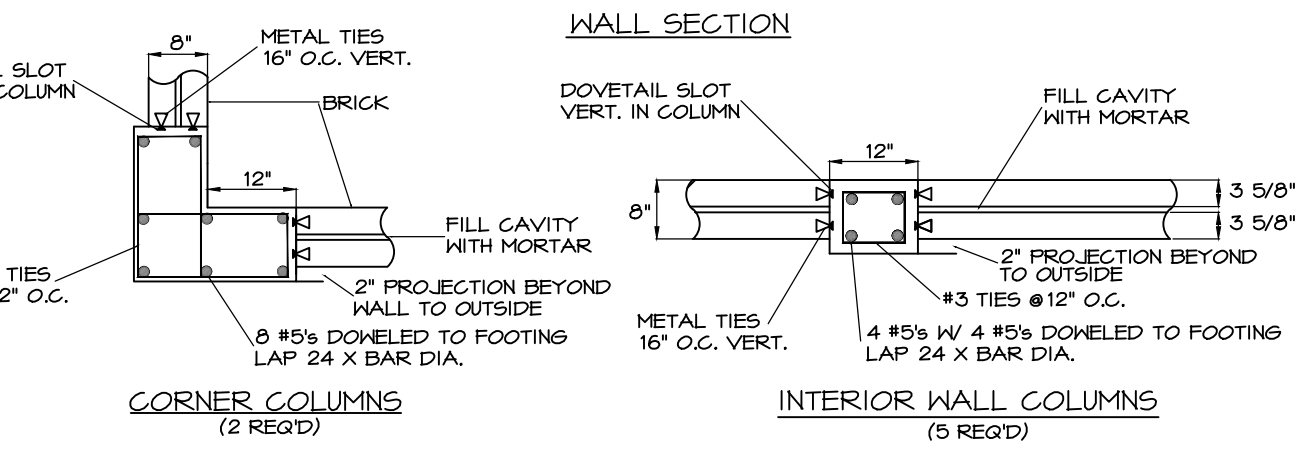
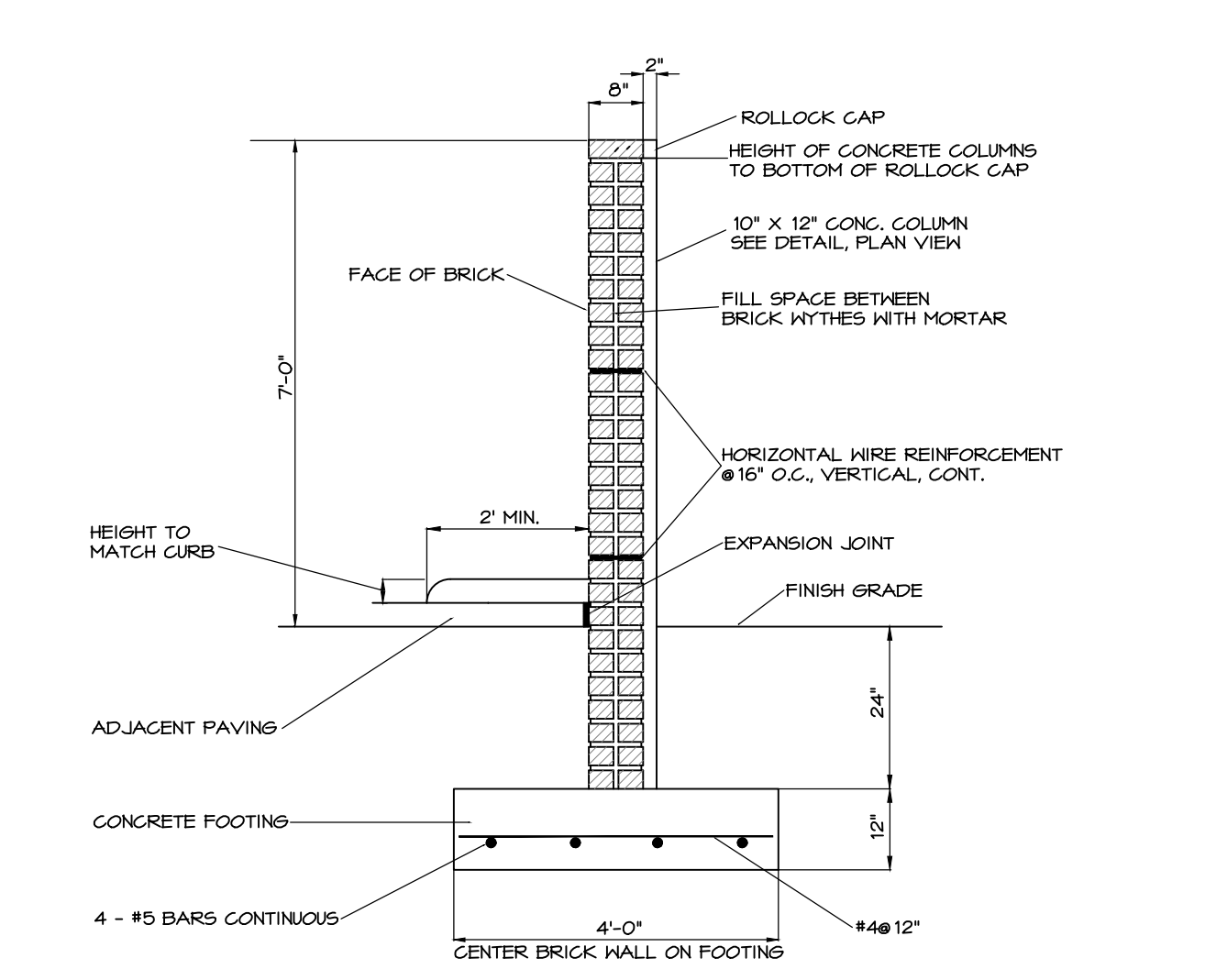


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Conditional Zoning Plan
 Sheet Title:
 SITE DETAILS
 Sheet Number: CZ-8.0

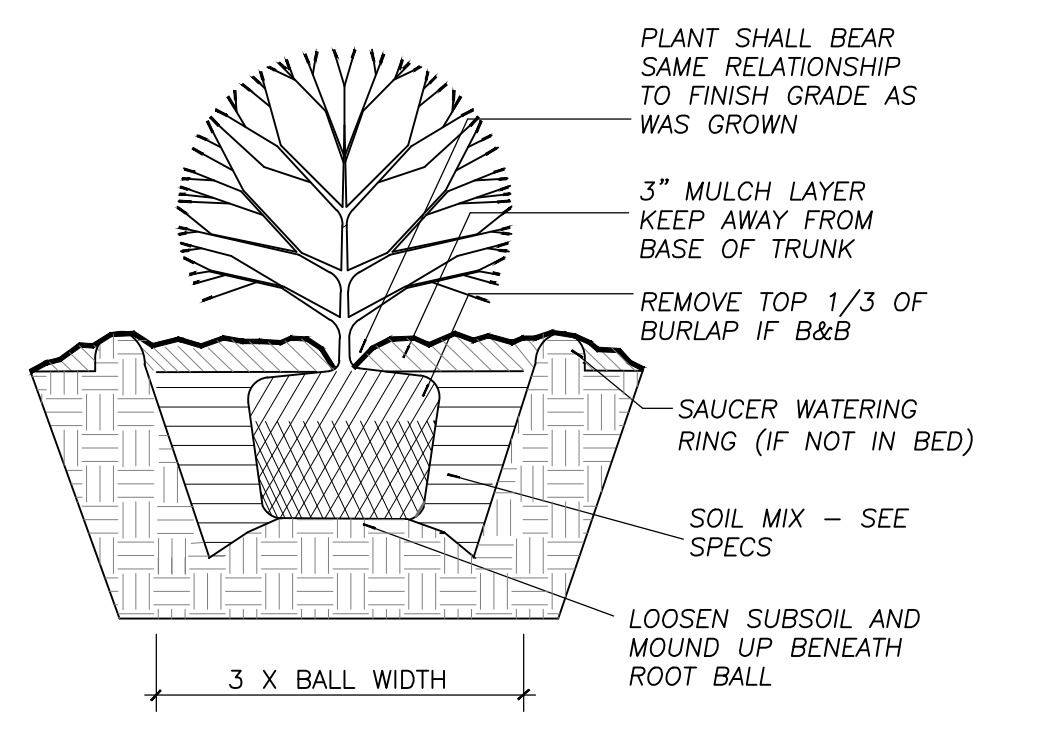


1 DUMPSTER W/ MASONRY SCREEN ENCLOSURE
SCALE: 1" = 10'

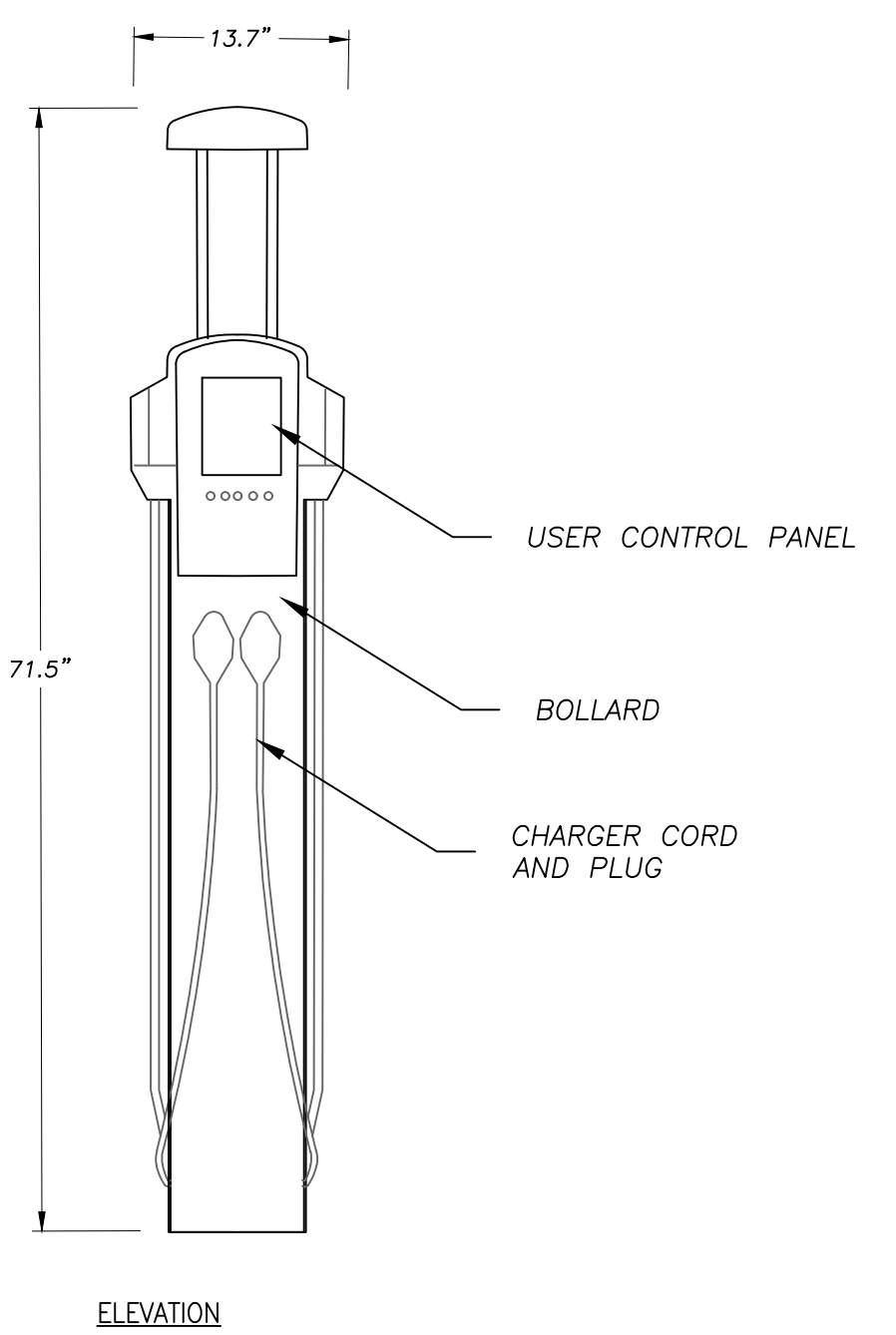
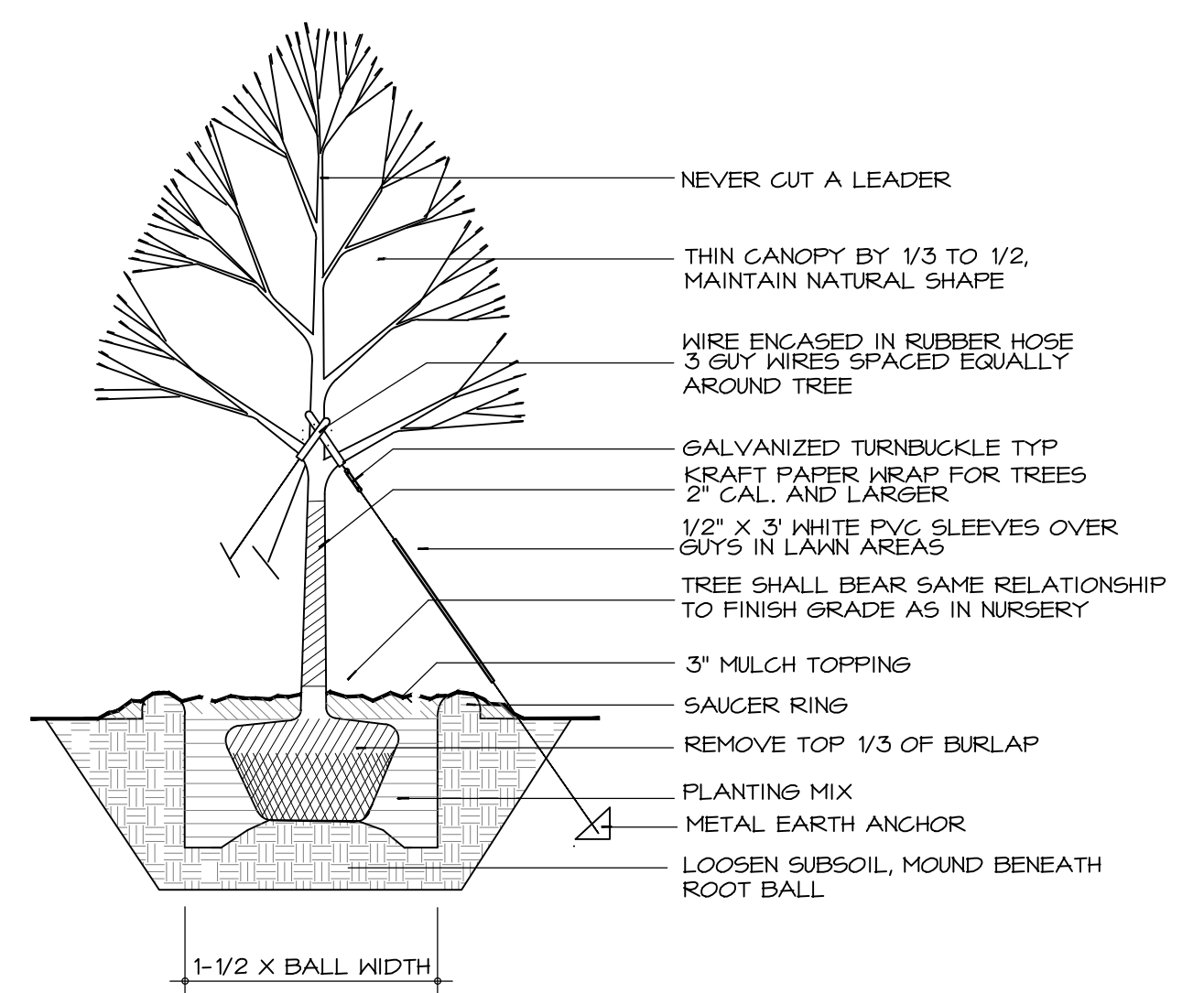


WALL SECTION
CORNER COLUMNS (2 REQ'D)
INTERIOR WALL COLUMNS (6 REQ'D)

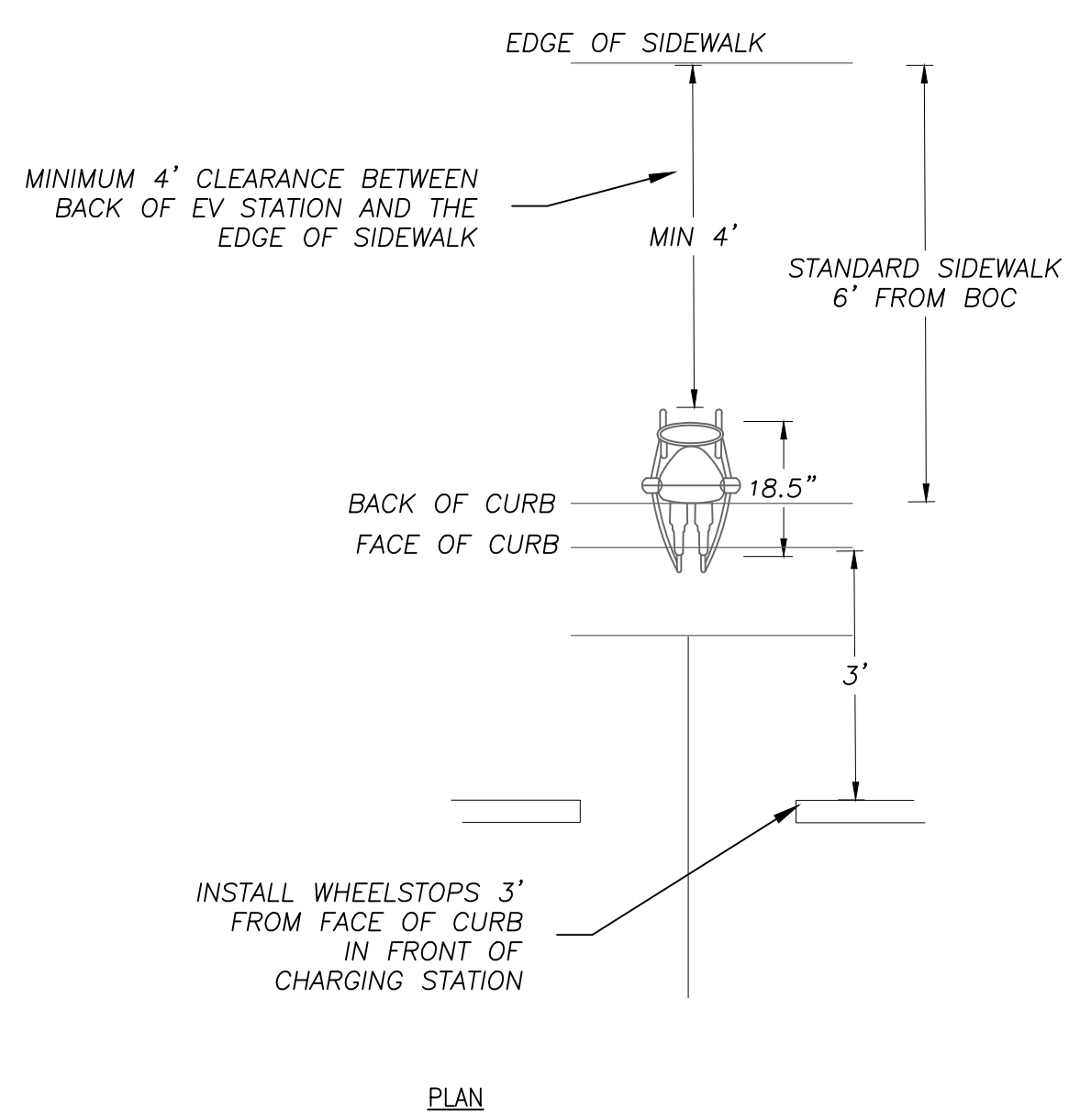
2 SHRUB DETAIL
NO SCALE



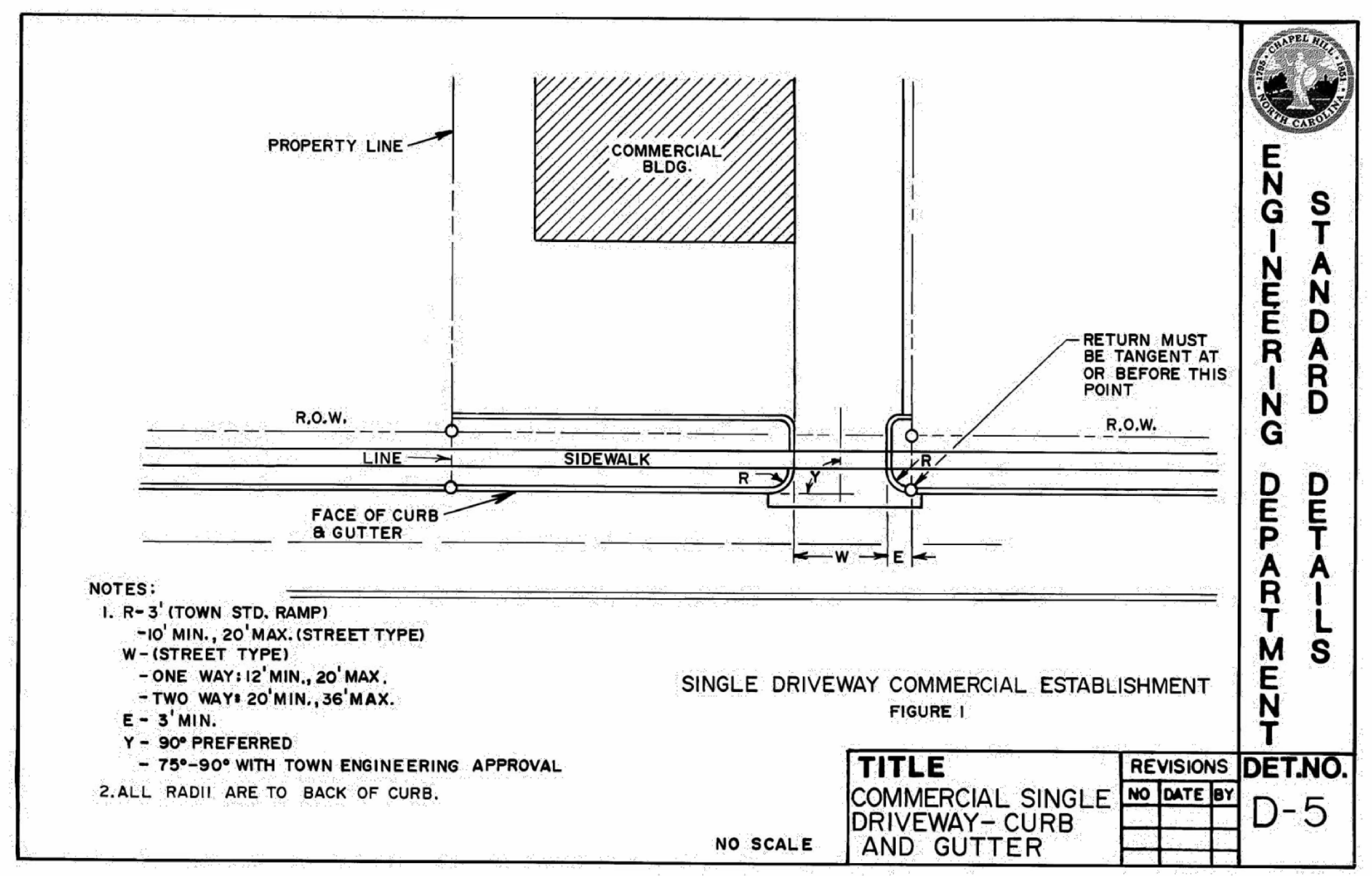
3 TREE PLANTING DETAIL
NO SCALE



5 EV CHARGING STATION AND ADJACENT SIDEWALK
no scale



NOTES:
-BASIS OF DESIGN: CHARGEPOINT MODEL CT4021
-BOLLARD TYPE CHARGING STATION
-2-VEHICLE SIMULTANEOUS CHARGE CAPACITY



4 DRIVEWAY APRON
no scale

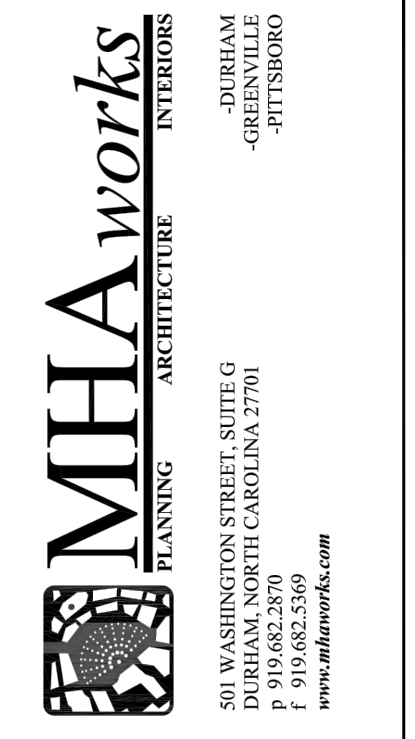
ENGINEERING STANDARD DETAILS DEPARTMENT

TITLE	REVISIONS	DET. NO.
NO	DATE	BY
COMMERCIAL SINGLE DRIVEWAY-CURB AND GUTTER		D-5



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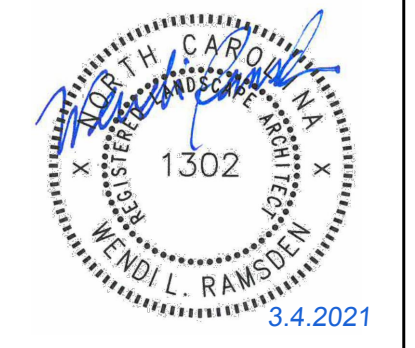


Project:

2200 Homestead Road

Chapel Hill North Carolina

PIN: 9870912947



PRELIMINARY-DO NOT USE FOR CONSTRUCTION

CJT Job Number: 1748

Drawn	WLR PBR MTC
Checked	WLR PBR
Date	10-29-20
Revisions	CZ RESUBMITTAL 2-9-21
	CZ RESUBMITTAL 3-4-21

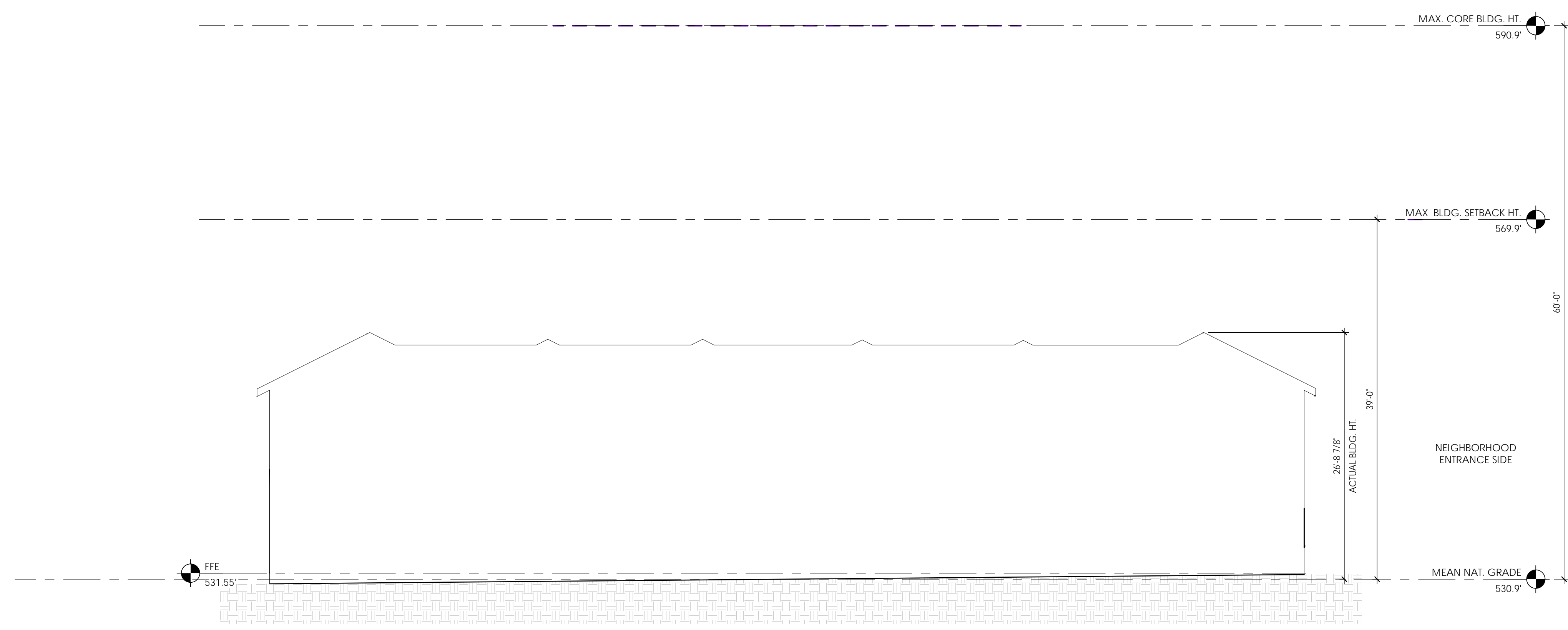
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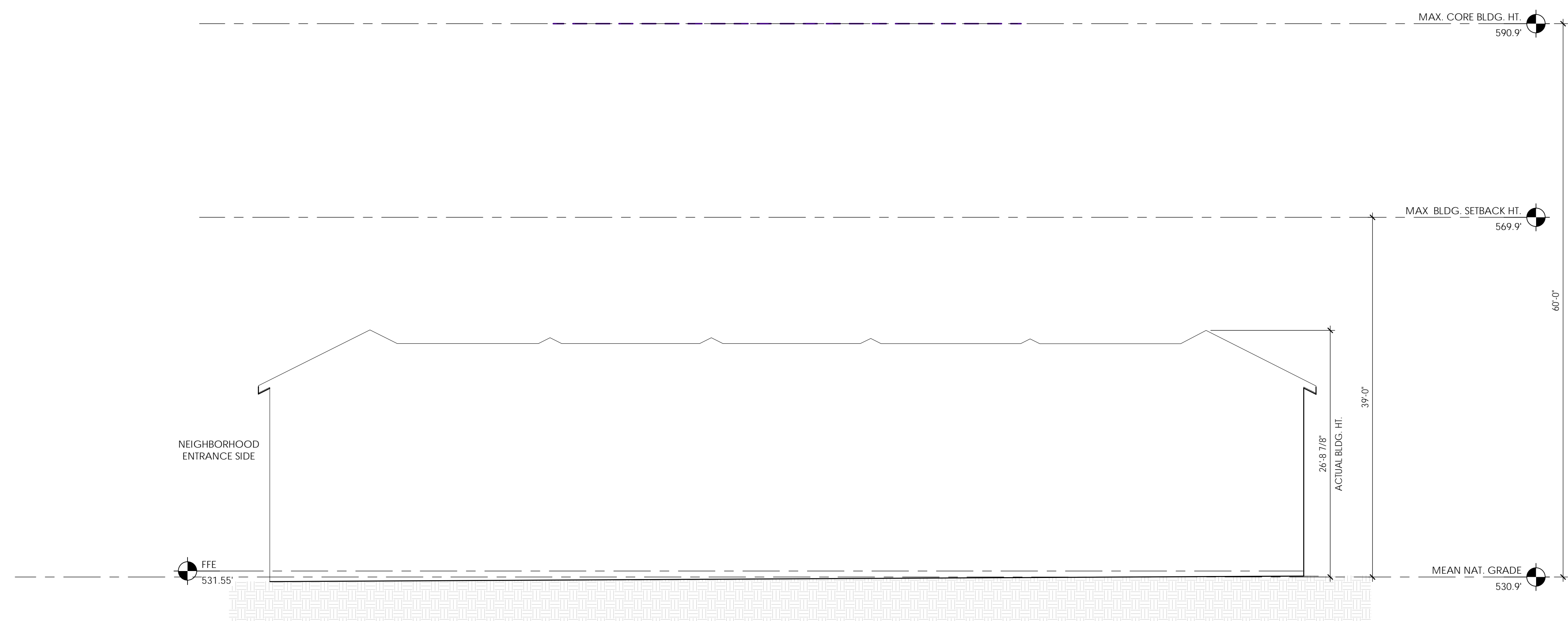
SITE DETAILS

Sheet Number
CZ-8.1

H
G
F
E
D
C
B
A



2 TOWNHOME Elevation - South - Homestead Rd. side
 1/8" = 1'-0"



1 TOWNHOME - Elevation - North - Neighborhood side
 1/8" = 1'-0"

1 2 3 4 5 6 7 8 9

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 NEIGHBORHOOD
 TOWN OF CHAPEL HILL
 2200 HOMESTEAD RD.**

REVISIONS:

#	DESCRIPTION	DATE

SHEET NAME:
TYPICAL TOWNHOME ELEVATIONS

PHASE:
SITE PLAN APPROVAL

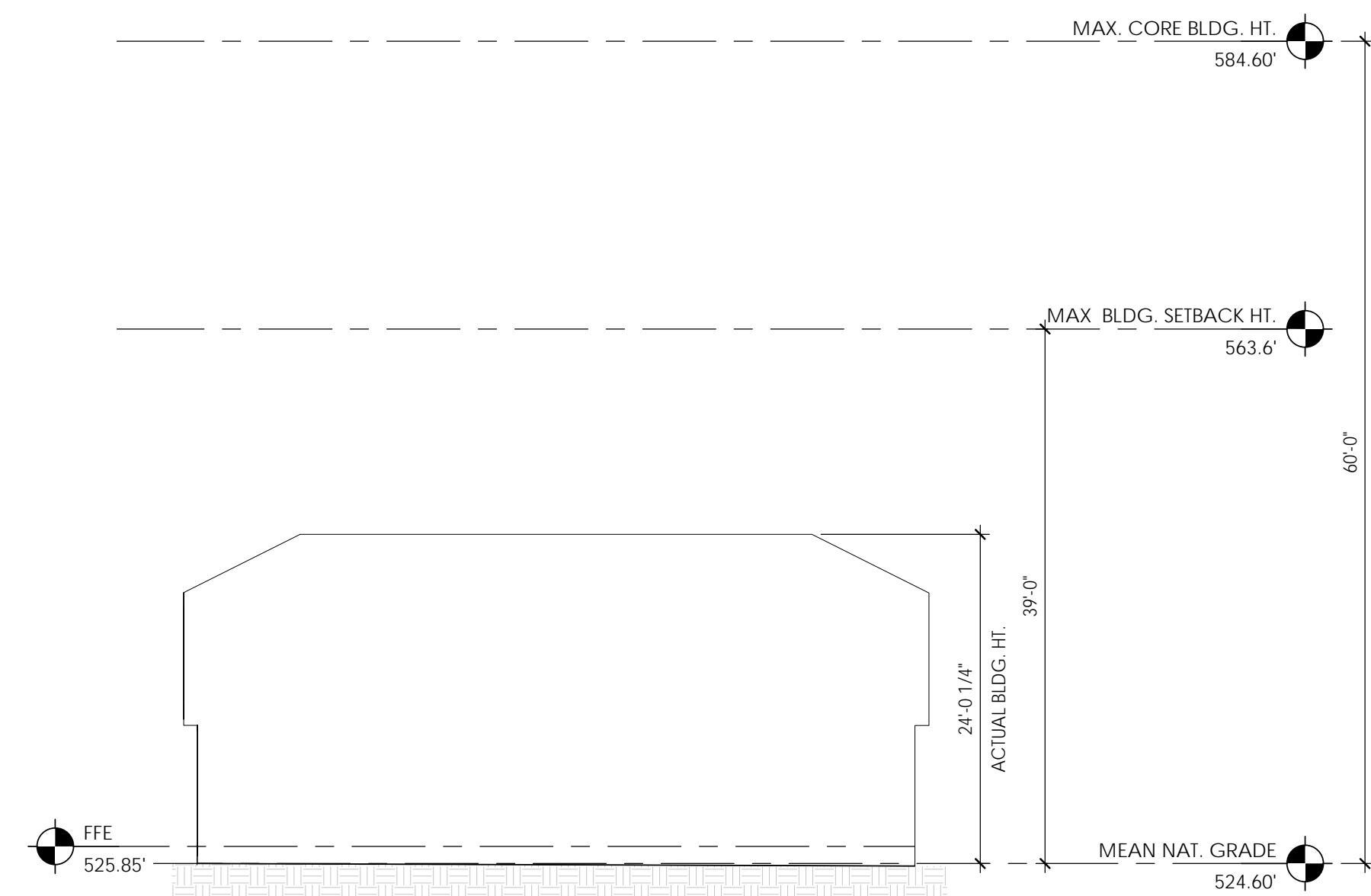
ISSUE DATE: **10/28/20**
 PROJECT #: **17147**
 DRAWN BY: **DRH**

SHEET NUMBER
PD 001

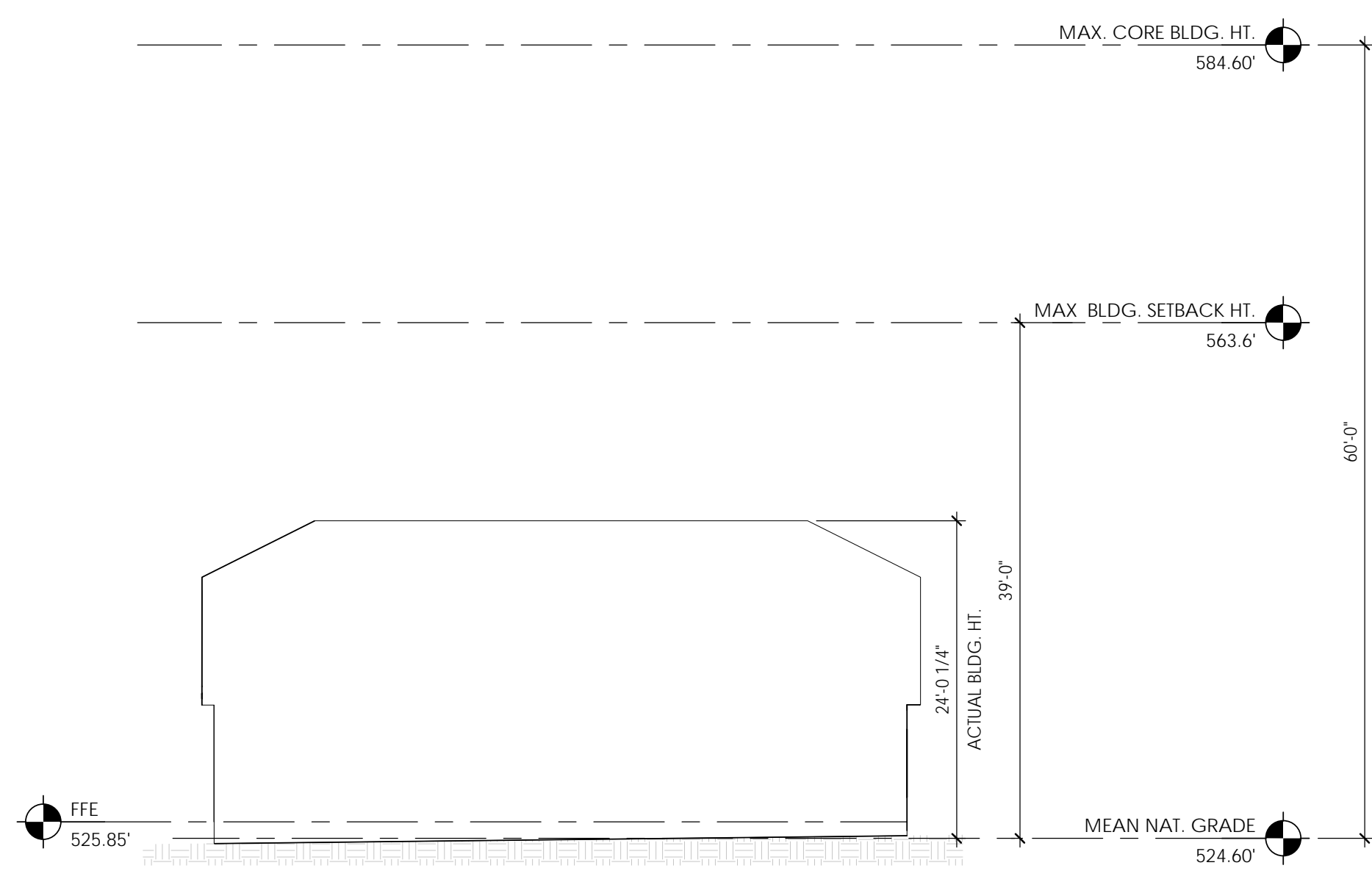
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A B C D E F G H

1 2 3 4 5 6 7 8 9



2 4 BD DUPLEX - West- Greenway Side
 3/32" = 1'-0"



1 4 BD DUPLEX - East - Neighborhood Side
 3/32" = 1'-0"

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REVISIONS:

#	DESCRIPTION	DATE

SHEET NAME:
TYPICAL 4 BED DUPLEX ELEVATIONS

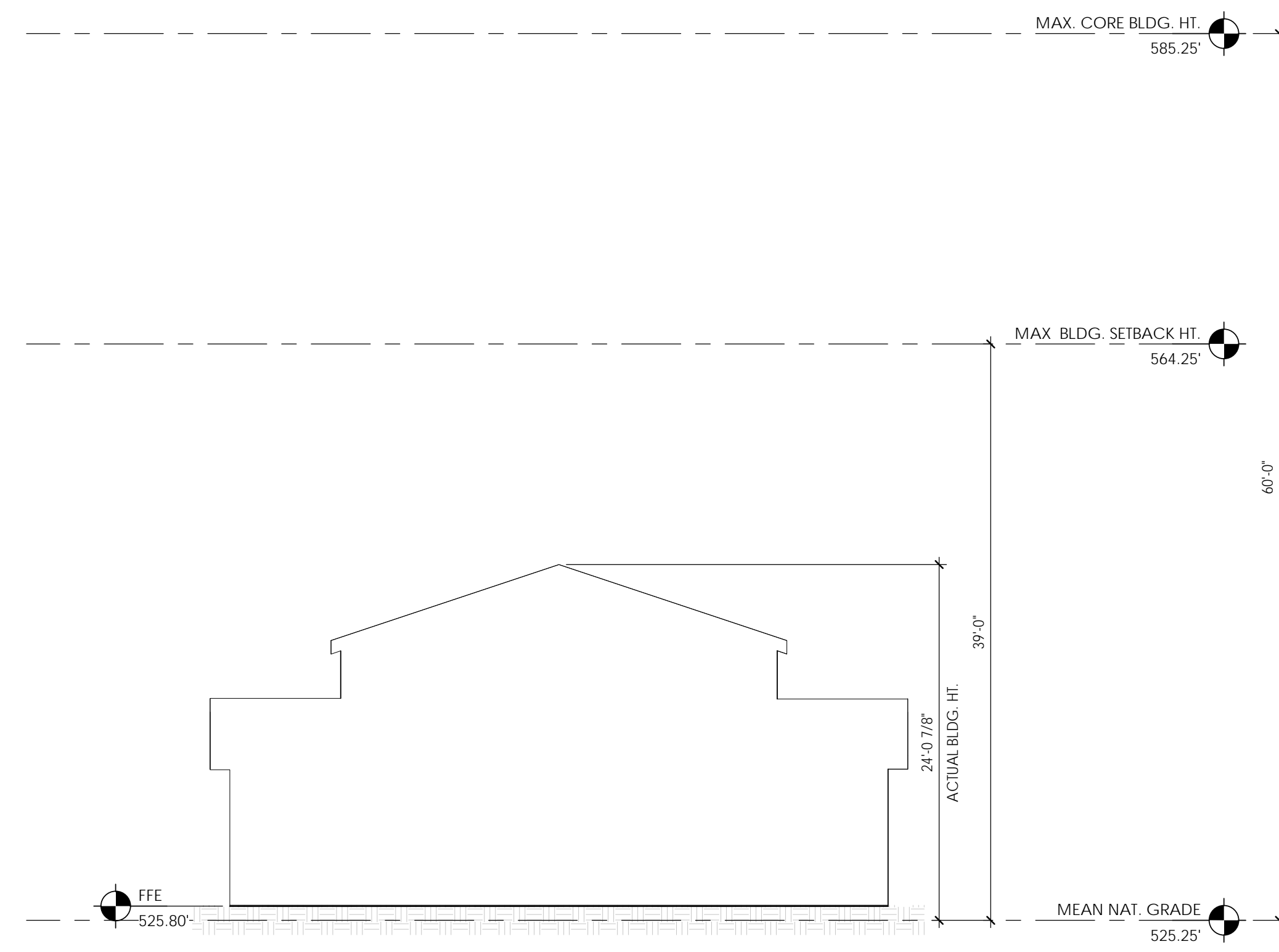
PHASE:
SITE PLAN APPROVAL

ISSUE DATE: **10/28/20**
 PROJECT #: **17147**
 DRAWN BY: **DRH**

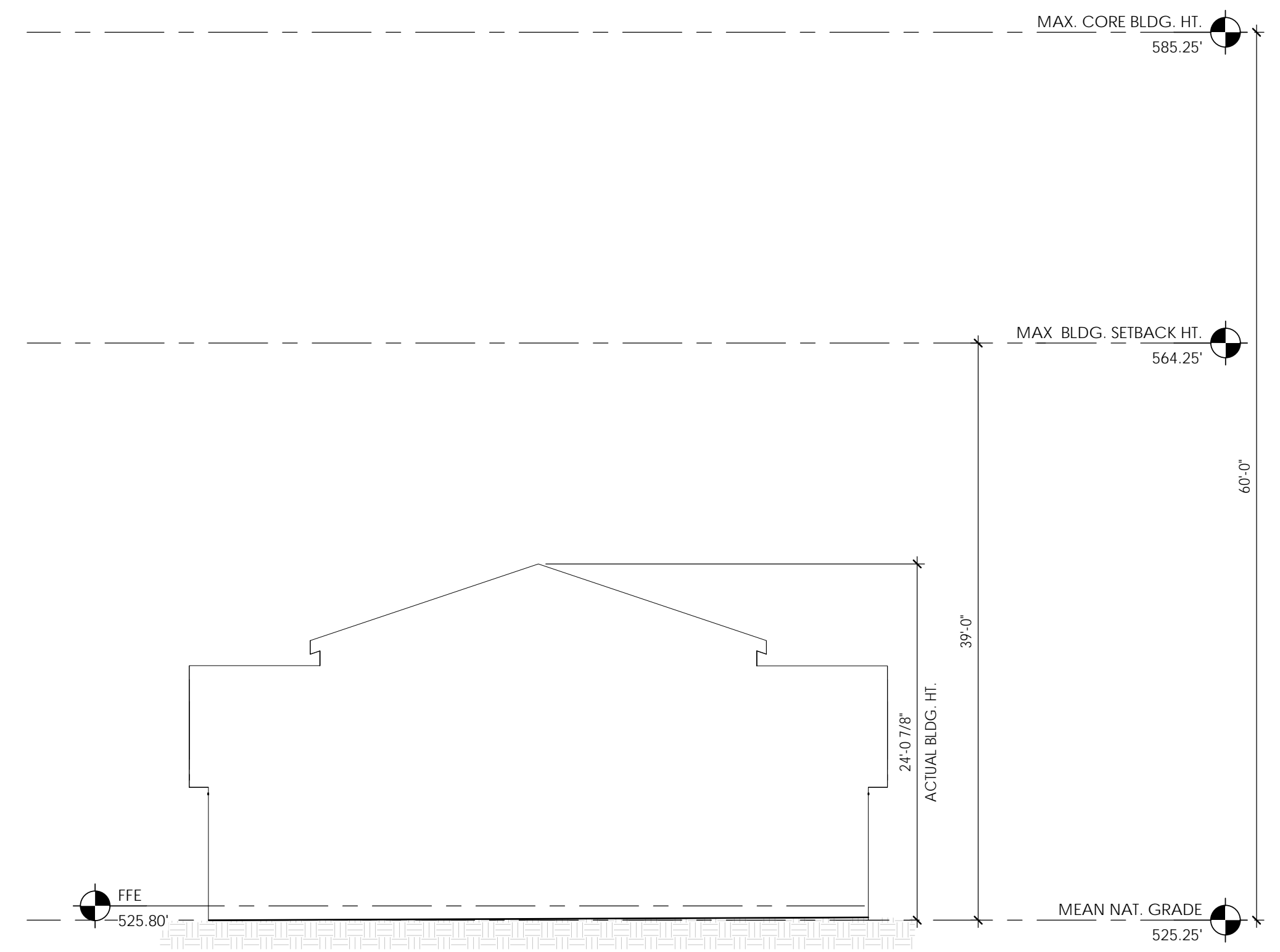
SHEET NUMBER
PD 002

H
G
F
E
D
C
B
A

1 2 3 4 5 6 7 8 9



1 3 BD DUPLEX - West - Greenway Side
 1/8" = 1'-0"



2 3 BD DUPLEX - East - Neighborhood Side
 1/8" = 1'-0"



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REVISIONS:

#	DESCRIPTION	DATE
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SHEET NAME:
TYPICAL 3 BD DUPLEX ELEVATIONS

PHASE:
SITE PLAN APPROVAL

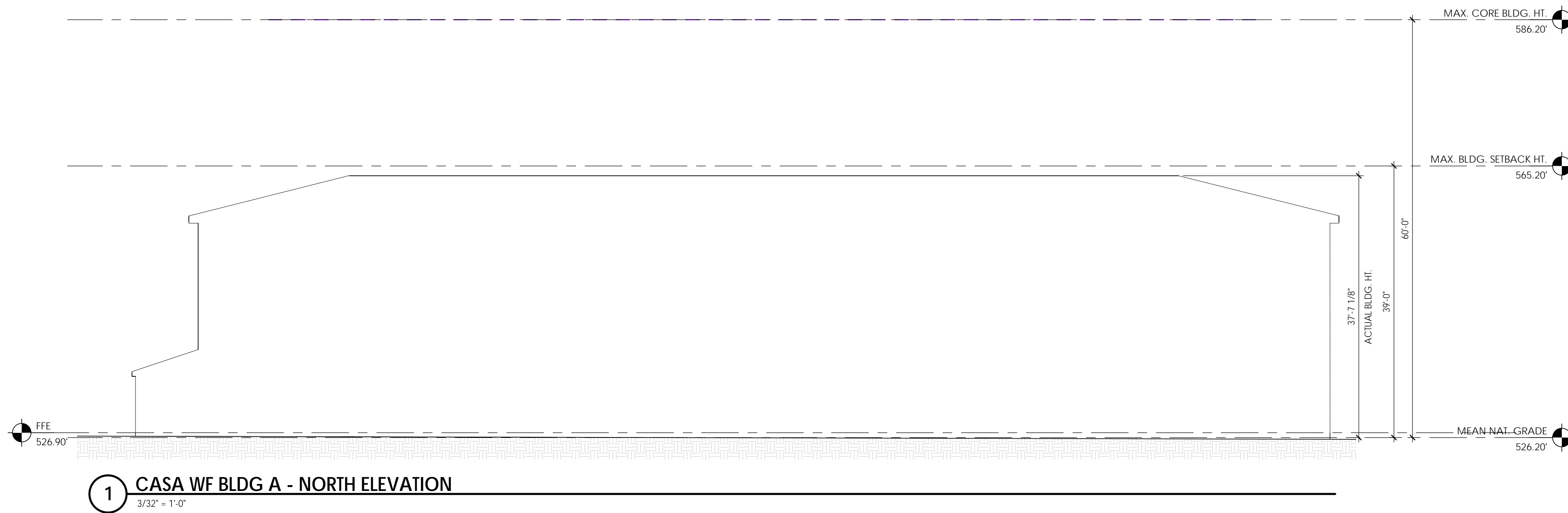
ISSUE DATE: **10/28/20**
 PROJECT #: **17147**
 DRAWN BY: **DRH**

SHEET NUMBER
PD 003

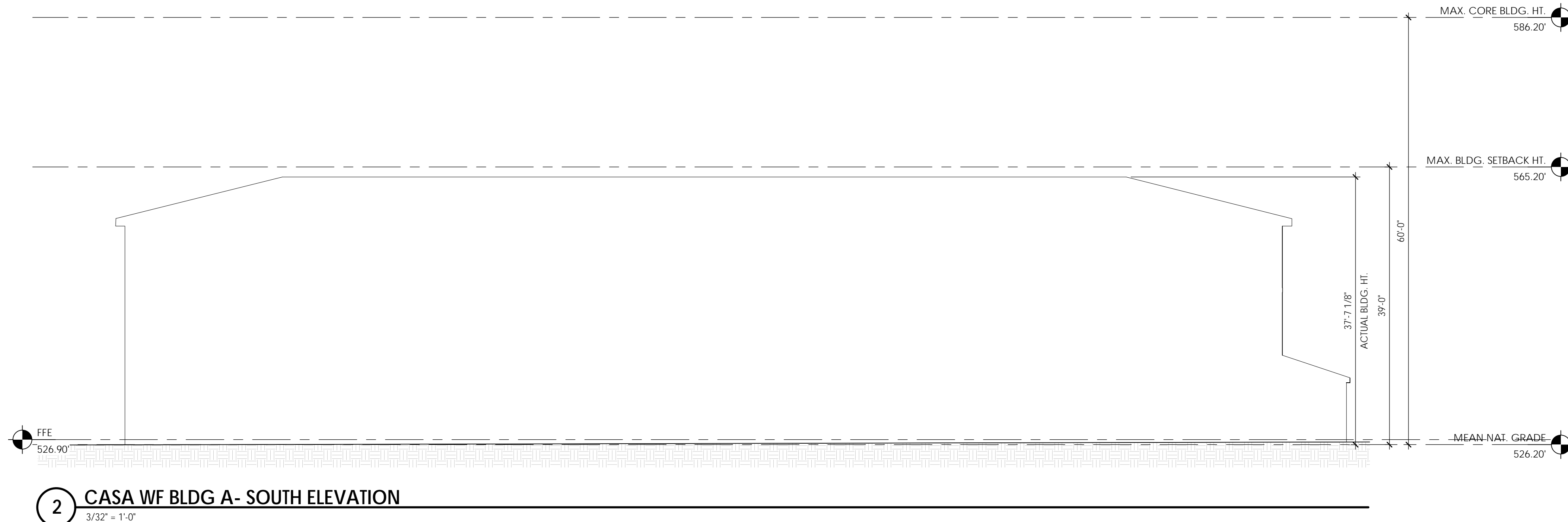
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A B C D E F G H

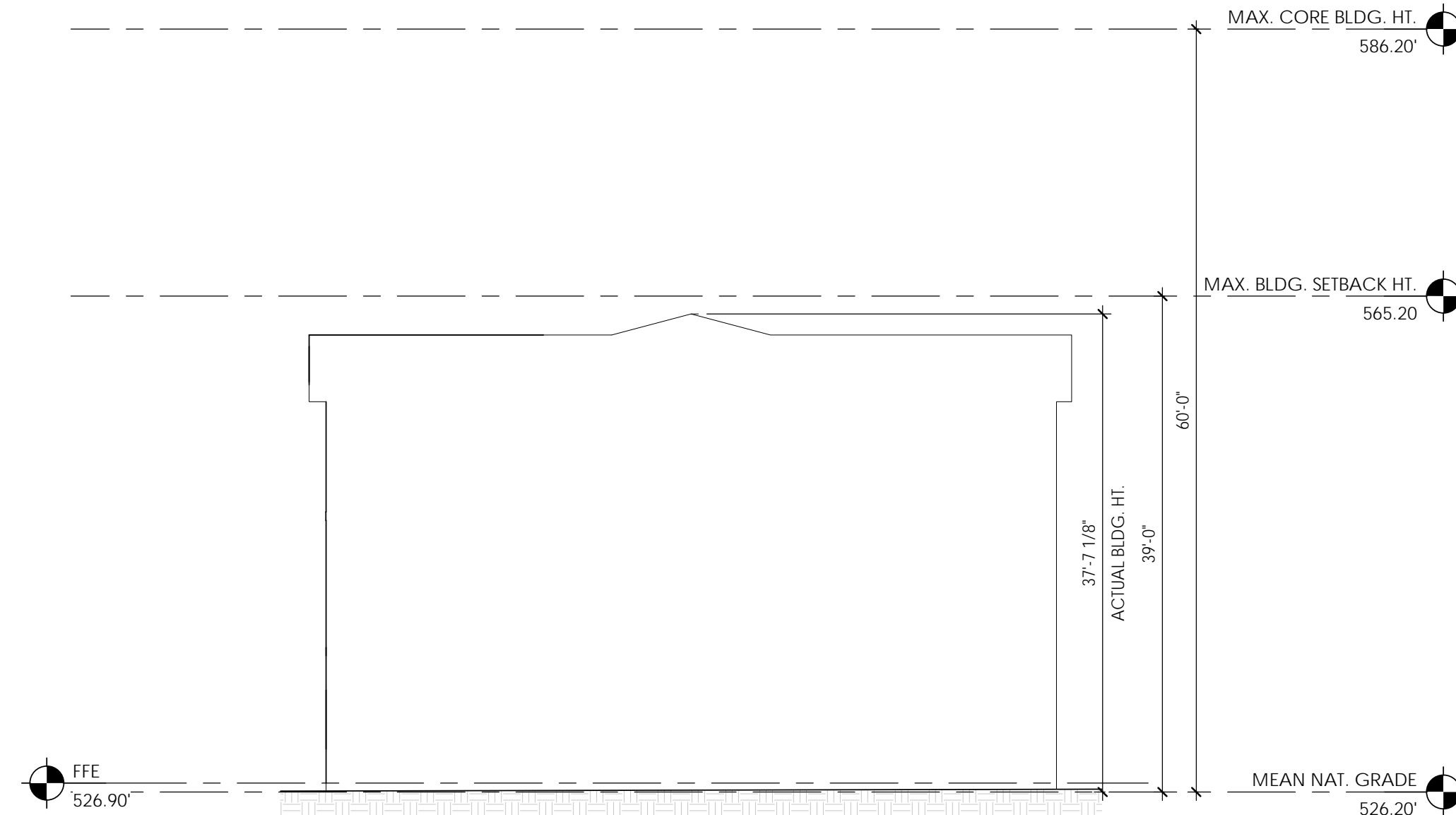
1 2 3 4 5 6 7 8 9



1 CASA WF BLDG A - NORTH ELEVATION
3/32" = 1'-0"



2 CASA WF BLDG A - SOUTH ELEVATION
3/32" = 1'-0"



3 CASA WF BLDG A - EAST ELEVATION
3/32" = 1'-0"



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2200 HOMESTEAD RD.

REVISIONS:	
#	DESCRIPTION

SHEET NAME:
CASA WF APARTMENT BLDG. A ELEVATIONS

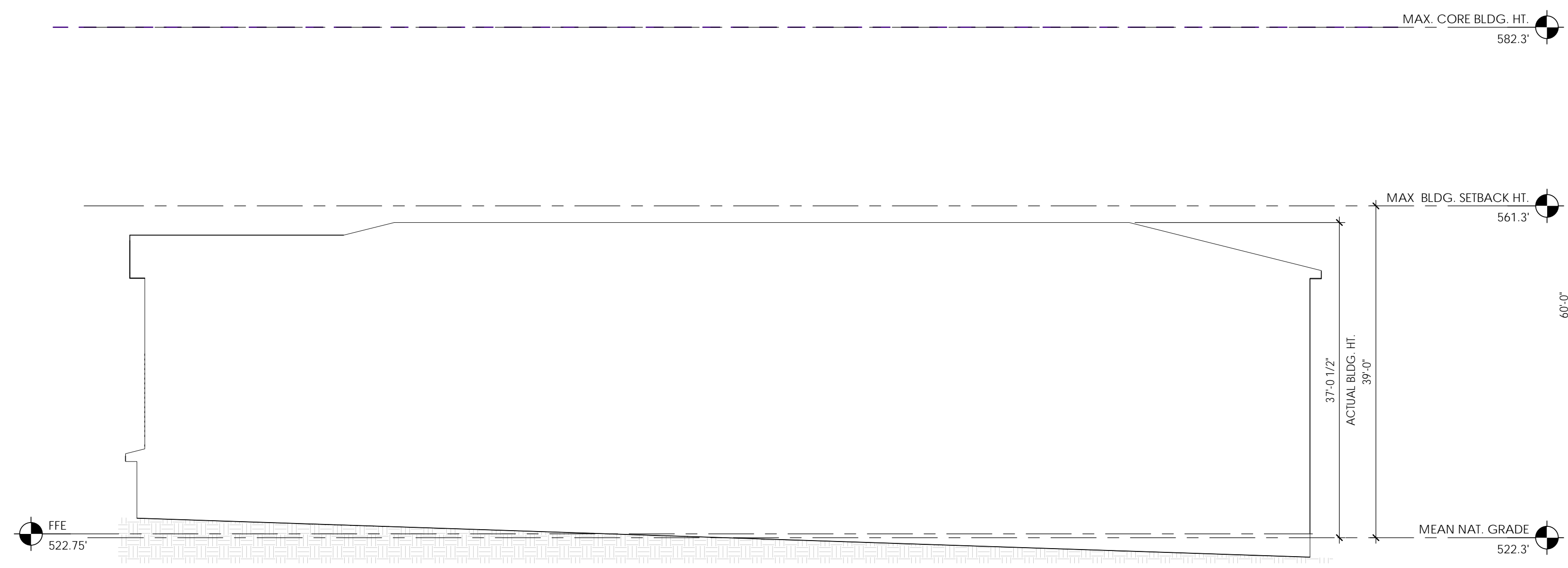
PHASE:
SITE PLAN APPROVAL

ISSUE DATE: 10/29/20
PROJECT #: 17147
DRAWN BY: DRH

SHEET NUMBER
PD 004

A B C D E F G H

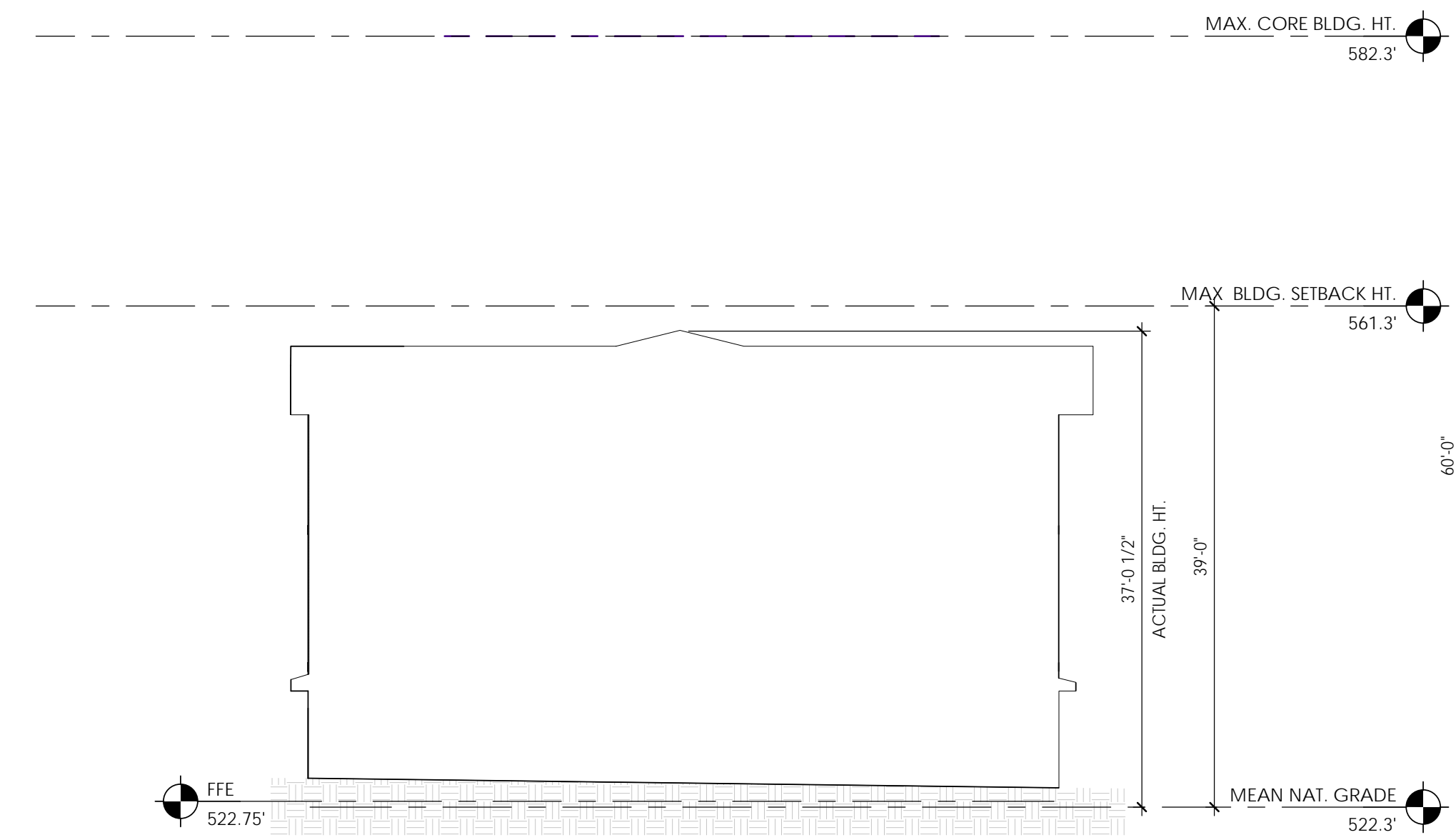
1 2 3 4 5 6 7 8 9



1 **CASA WF BLDG B - East Side**
 3/32" = 1'-0"



2 **CASA WF BLDG B - West Side**
 3/32" = 1'-0"



3 **CASA WF BLDG B - South Side**
 3/32" = 1'-0"

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TOWN OF CHAPEL HILL
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REVISIONS:

#	DESCRIPTION	DATE

SHEET NAME:
**CASA WF APARTMENT BLDG. B
 ELEVATION OUTLINES**

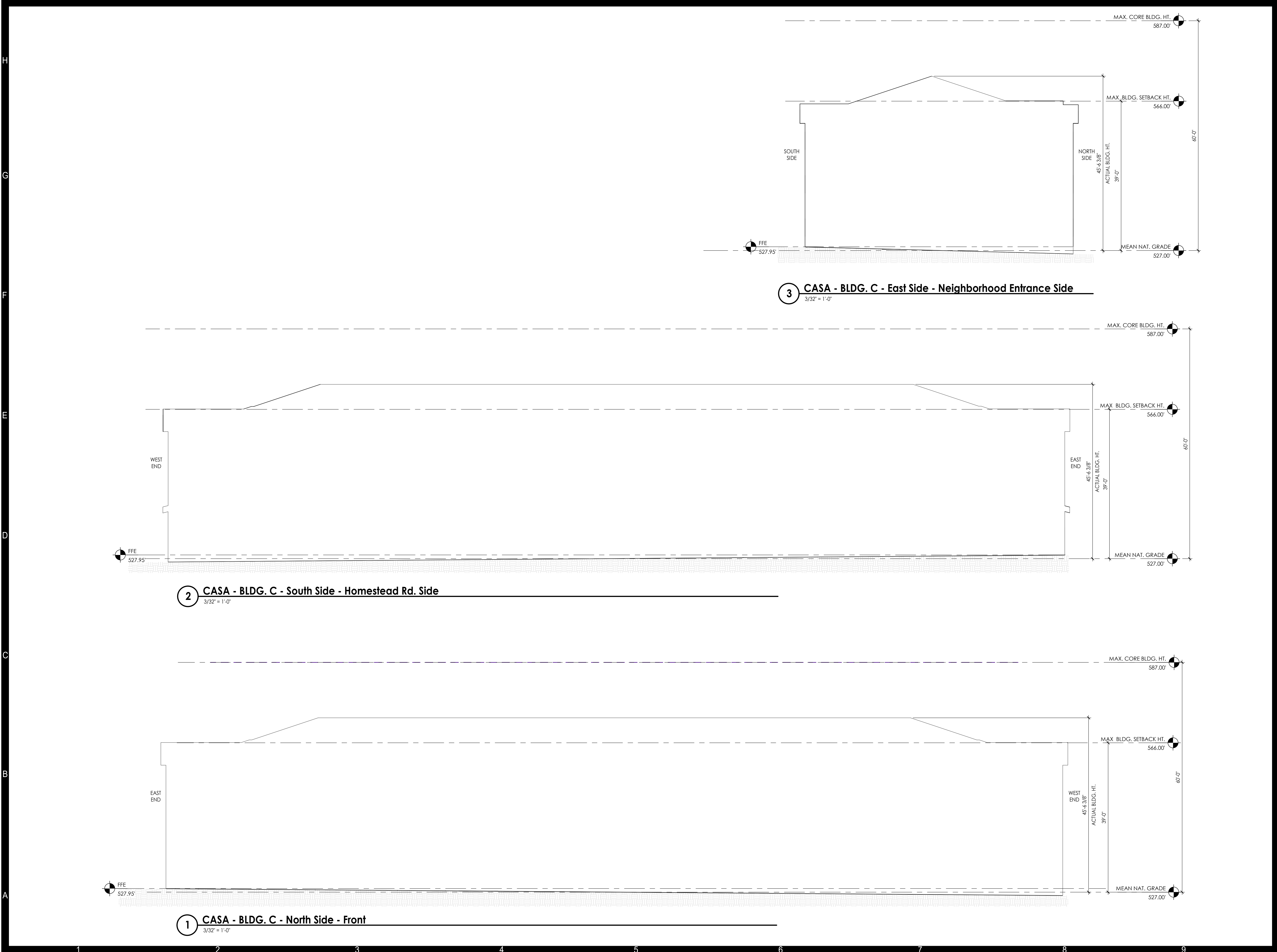
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SHEET NUMBER
PD 005

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10/29/2020 9:11:47 AM
 BIM 360://17147_Homestead Rd/17147_CH HS_CASA HORIZONS_azlpperXASHM.rvt



1 CASA - BLDG. C - North Side - Front
 3/32" = 1'-0"

2 CASA - BLDG. C - South Side - Homestead Rd. Side
 3/32" = 1'-0"

3 CASA - BLDG. C - East Side - Neighborhood Entrance Side
 3/32" = 1'-0"

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REVISIONS:

#	DESCRIPTION	DATE

SHEET NAME:
CASA - BLDG. C ELEVATION OUTLINES

PHASE:
SITE PLAN APPROVAL

ISSUE DATE: **10/29/20**
 PROJECT #: **17147**
 DRAWN BY: **DRH**

SHEET NUMBER
PD 006