

# CONDITIONAL ZONING PLANS OF CHAPEL HILL CROSSINGS CHAPEL HILL, NORTH CAROLINA

PREPARED FOR:  
**E B CAPITAL PARTNERS**  
100 SILERS FEN COURT  
CHAPEL HILL, NC 27517

AUGUST 3, 2023

**CONTRACT PURCHASER / CLIENT:**

E B CAPITAL PARTNERS  
100 SILERS FEN COURT  
CHAPEL HILL, NC 27517  
205-586-3062  
CONTACT: ERNIE BROWN

**APPLICANT / CONSULTANT:**

LANDSCAPE ARCHITECT / LAND PLANNER:  
THOMAS & HUTTON  
111 WEST MAIN STREET  
DURHAM, NC 27701  
919-682-0368  
CONTACT: WENDI RAMSDEN

**CIVIL ENGINEER:**

CIVIL ENGINEER:  
THOMAS & HUTTON  
111 WEST MAIN STREET  
DURHAM, NC 27701  
919-682-0368  
CONTACT: ANDREW M. OAKLEY

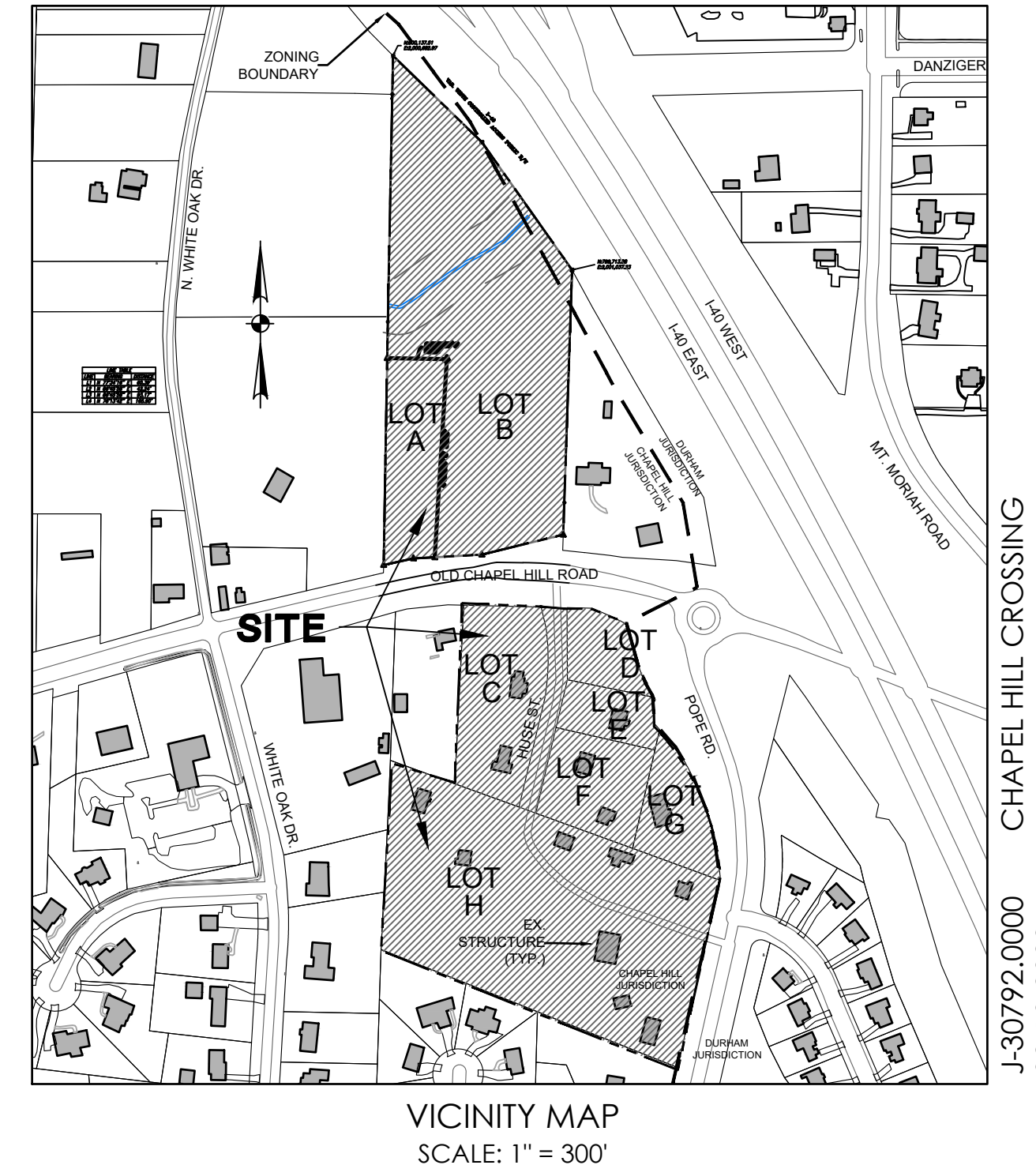
REVISION HISTORY			
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REV. NO.	REVISION	BY	DATE

SUBMITTAL HISTORY	
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CONDITIONAL ZONING RESUBMITTAL W COUNCIL REVISIONS	8-3-23
CONDITIONAL ZONING RESUBMITTAL W REVISIONS	4-5-23
CONDITIONAL ZONING SUBMITTAL #1	2-10-23
SUBMITTED TO THE TOWN OF CHAPEL HILL, NC	DATE

PREPARED BY:



NOTE: ADDITIONAL PROJECT DATA  
DETAILED ON SHEET G0.1



**LOT DATA**

LOT A		LOT E	
SITE ADDRESS:	5500 OLD CHAPEL HILL RD. DURHAM, NC 27707	SITE ADDRESS:	101 HUSE ST. DURHAM, NC 27707
OWNER(S):	BENFORADO TERRI	OWNER(S):	HUSE STREET PROPERTIES LLC
PIN:	0709-09-73-2515	PIN:	0709-18-18-1304
PARCEL ID:	140196	PARCEL ID:	140263
ACREAGE:	43,586 SF / 1.001 AC	ACREAGE:	18,896 SF / 0.43 AC (GIS)
DEED BOOK:	DB 8775, PG 160	DEED BOOK:	DB 7160, PG 286
PLAT BOOK:	PB 63, PG 58	PLAT BOOK:	PB 318, PG 688
LOT B		LOT F	
SITE ADDRESS:	5502 OLD CHAPEL HILL RD. DURHAM, NC 27707	SITE ADDRESS:	103 HUSE ST. DURHAM, NC 27707
OWNER(S):	BENFORADO TERRI	OWNER(S):	HUSE STREET PROPERTIES LLC
PIN:	0709-09-86-5111	PIN:	0709-18-06-8944
PARCEL ID:	140195	PARCEL ID:	140264
ACREAGE:	240,096 SF / 5.512 AC	ACREAGE:	37,365 SF / 0.86 AC (GIS)
DEED BOOK:	DB 8775, PG 163	DEED BOOK:	DB 7160, PG 286
PLAT BOOK:	PB 18A, PG 111	PLAT BOOK:	PB 318, PG 688
LOT C		LOT G	
SITE ADDRESS:	5503 OLD CHAPEL HILL RD. DURHAM, NC 27707	SITE ADDRESS:	113 HUSE ST. DURHAM, NC 27707
OWNER(S):	HUSE STREET PROPERTIES LLC	OWNER(S):	HUSE STREET PROPERTIES LLC
PIN:	0709-08-88-9647	PIN:	0709-18-26-4324
PARCEL ID:	140265	PARCEL ID:	140261
ACREAGE:	59,864 SF / 1.37 (GIS)	ACREAGE:	28,064 SF / 0.64 AC (GIS)
DEED BOOK:	DB 7160, PG 286	DEED BOOK:	DB 7160, PG 286
PLAT BOOK:	PB 318, PG 688	PLAT BOOK:	PB 6A, PG 67
LOT D		LOT H	
SITE ADDRESS:	99 HUSE STREET DURHAM, NC 27707	SITE ADDRESS:	106 HUSE ST. DURHAM, NC 27707
OWNER(S):	HUSE STREET PROPERTIES LLC	OWNER(S):	HUSE STREET PROPERTIES LLC
PIN:	0709-18-09-9567	PIN:	0709-08-94-8411
PARCEL ID:	140262	PARCEL ID:	140260
ACREAGE:	19,955 SF / 0.46 AC (GIS)	ACREAGE:	242,669 SF / 5.57 AC (GIS)
DEED BOOK:	DB 7160, PG 286	DEED BOOK:	DB 7160, PG 294
PLAT BOOK:	PB N/A	PLAT BOOK:	PB 178, PG 18

PRELIMINARY  
- NOT FOR  
CONSTRUCTION





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### RESOURCE CONSERVATION NOTES

**STREAM BUFFERS:**  
THERE IS AN INTERMITTENT STREAM ON SITE, SHOWN WITH 50' RCD ON PLANS.

**FLOODPLAIN PROTECTION:**  
THE SITE IS NOT IN AN AREA AFFECTED BY A MAPPED FLOODPLAIN ACCORDING TO FIRM MAP 3720070900K EFFECTIVE 10-19-18.

**STEEP SLOPE PROTECTION:**  
THERE ARE 2,173 SF OF STEEP SLOPES ON SITE - ALL ARE CONSTRUCTED (NOT NATURAL) SLOPES

**WETLANDS:**  
THERE ARE NO MAPPED WETLANDS ONSITE.

### PROJECT NOTES

BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY CJT, PA DATED AUGUST 19, 2019 AND OCTOBER 22, 2022

SURROUNDING SITE AND PROPERTY INFORMATION PER CHAPEL HILL GIS AND DURHAM CO GIS

### TOWN OF CHAPEL HILL NOTES

1. A FIRE FLOW REPORT SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A ZCP.
2. P.E. CERTIFICATION: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY PHASE, THE APPLICANT SHALL PROVIDE A CERTIFICATION, SIGNED AND SEALED BY A NORTH CAROLINA-LICENSED PROFESSIONAL ENGINEER, THAT THE STORMWATER MANAGEMENT FACILITY IS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
3. AS-BUILT PLANS: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE CERTIFIED AS-BUILT PLANS FOR BUILDING FOOTPRINTS, PARKING LOTS, STREET IMPROVEMENTS, STORM DRAINAGE SYSTEMS AND STORMWATER MANAGEMENT STRUCTURES, AND ALL OTHER IMPERVIOUS SURFACES, AND A TALLY OF THE CONSTRUCTED IMPERVIOUS AREA. THE AS-BUILT PLANS SHOULD BE IN DXF/BINARY FORMAT USING STATE PLANE COORDINATES AND NAVD 88.

### LEGEND

Water Valve		Utility Pole			Tree Line
Yard Inlet		Guy Wire		Fence	Fence
Curb Inlet/Catch Basin		Light Pole		Underground Electric	UE
Mail Box		Sewer Cleanout		Underground Telephone	UT
Traffic Signal Box		Flored End Section		Gas Line	GAS
Electric Transformer		Gas Valve		Water Line	W
Electric Junction Box		Existing Iron Pipe (3/4" unless noted)		Overhead Utilities	OU
Gas Meter		1/2" Rebar		Storm Sewer	S
Sanitary Sewer Manhole		1/2" Iron Pipe Set		Sanitary Sewer	SS
Storm Sewer Manhole		Existing PK Nail			
Telephone Manhole		PK Nail Set			
Electric Manhole		Computed Point			
Sign		Concrete Monument			
Telephone Pedestal					
Fire Hydrant					
Fire Department Connection					
Post Indicator Valve					
Water Meter					
Hot Box					

### PROJECT DATA NORTH SIDE:

TOTAL SURVEYED AREA: 283,682.15 SF / 6.51 AC  
GROSS LAND AREA: 312,050.37 SF / 7.16 AC

LAND USE:  
EXISTING: SINGLE FAMILY RESIDENTIAL  
PROPOSED: MULTI-FAMILY RESIDENTIAL

ZONING:  
EXISTING: R-1 REZONED TO R-6-CZD  
PROPOSED: 2,727 SF IN FOUR ONE STORY BUILDINGS TO BE REMOVED

EXISTING BUILDINGS:

MAXIMUM ALLOWED FAR:  
PROPOSED FAR: 0.303 = 94,584 SF MAX BUILDING  
0.775 = 220,000 SF

PROPOSED BUILDINGS:  
MULTI-FAMILY RESIDENTIAL UP TO 220,000 SF

UNIT SIZES:  
190-199 UNITS TOTAL  
10% EFFICIENCIES, 55% 1-BEDROOM, 40% 2-BEDROOM

BUILDING HEIGHT:  
4 STORIES OVER LOWER LEVEL PARKING ACCESSED FROM NORTH DRIVEWAY

MAXIMUM BLDG HEIGHT SETBACK: 39'-44'  
PROPOSED BLDG HEIGHT SETBACK: 0 (NO BUILDING AT THE SETBACK LINE)

MAXIMUM BLDG HEIGHT CORE: 60'  
PROPOSED BLDG HEIGHT CORE: 59.5'

MAX BLDG HEIGHT AT BUILDING FACADE: 48.5' - 60' HT  
PROPOSED BLDG HEIGHT AT FACADE: 50' (MODIFICATION REQUEST)

PROPOSED USES:  
16-18 STUDIO APARTMENTS  
105-110 1-BDRM APARTMENTS  
69-71 2-BDRM APARTMENTS  
190-199 UNITS TOTAL

VEHICULAR PARKING:  
REQUIRED: 1.0-1.25 SPACES PER EFFICIENCY = 16-22 SPACES  
1.0-1.25 SPACES PER 1-BEDROOM = 105-138 SPACES  
1.4-1.75 SPACES PER 2-BEDROOM = 97-124 SPACES  
218 SPACES  
MAXIMUM PARKING: 284 SPACES

PROPOSED: 245 SPACES ON SITE INCLUDING:  
3 SURFACE ADA SPACES  
148 SURFACE STANDARD SPACES  
4 UNDERGROUND ADA SPACES  
90 UNDERGROUND STANDARD SPACES

BICYCLE PARKING:  
REQUIRED: 48-50 (1 PER 4 DWELLING UNITS = 199 / 4)  
5 SPACES (10%) SHORT TERM  
45 SPACES (90%) LONG TERM

PROPOSED: 4 SPACES (2 LOOPS) IN ENTRY PLAZA  
46 SPACES IN BUILDING

IMPERVIOUS SURFACE:  
EXISTING: 6,578 SF / 0.15 AC (2.3%)  
PROPOSED: 144,094 SF / 3.31 AC (46.2%)

ONSITE DISTURBANCE: 190,000 SF / 4.36 AC

### PROJECT DATA SOUTH SIDE:

TOTAL SURVEYED AREA: 426,201.09 SF / 9.78 AC  
GROSS LAND AREA: 468,821.20 SF / 10.76 AC

LAND USE:  
EXISTING: SINGLE FAMILY RESIDENTIAL  
PROPOSED: MULTI-FAMILY RESIDENTIAL, SINGLE FAMILY RESIDENTIAL, RETAIL

ZONING:  
EXISTING: R-1 REZONED TO R-6 CZD  
PROPOSED: R-1 REZONED TO R-6 CZD

MAXIMUM ALLOWED FAR:  
PROPOSED FAR: 0.303 = 142,053 SF  
0.523 = 245,000 SF

EXISTING BUILDINGS:  
12,973 SF IN 13 ONE STORY BUILDINGS TO BE REMOVED

PROPOSED BUILDINGS:  
RESIDENTIAL UP TO 245,000 SF  
COMMUNITY SPACE: 100-135 UNITS  
4,500 SF

BUILDING HEIGHT:  
TOWNHOMES - 3- AND 4- STORY - 37'-50' ht  
SINGLE FAMILY HOMES - 2 STORY - up to 30' ht

POPE ROAD BUILDING HEIGHT:  
MAXIMUM BLDG HEIGHT SETBACK (PROPERTY LINE): 39'  
PROPOSED BLDG HEIGHT SETBACK (PROPERTY LINE): 50'

MAXIMUM BLDG HEIGHT CORE: 60'  
PROPOSED BLDG HEIGHT CORE: under 60'

PROPOSED USES:  
100-135 FOR-SALE UNITS

PROPOSED UNIT MIX  
PLUS: 15 - 20 2-BDRM UNITS  
85 - 115 3-BDRM UNITS  
100-135 UNITS  
36 ADU STUDIO UNITS

VEHICULAR PARKING:  
REQUIRED: 1.0-1.25 SPACES PER EFFICIENCY = 36 - 45 SPACES  
1.4-1.75 SPACES PER 2-BEDROOM = 21 - 35 SPACES  
1.75-2.25 SPACES PER 3-BEDROOM = 149 - 258 SPACES

MINIMUM PARKING: 206 SPACES  
MAXIMUM PARKING: 338 SPACES

PROPOSED: 235 SPACES ON SITE INCLUDING:  
130 SPACES IN TOWNHOME GARAGE AND TUCK UNDER PARKING  
22 SPACES AT INDIVIDUAL COTTAGES  
48 SPACES IN SMALL LOTS ADJACENT TO HOUSING  
35 SPACES ON MAIN STREET

BICYCLE PARKING:  
REQUIRED: 25 - 33 (1 PER 4 DWELLING UNITS)  
2 - 3 SPACES (10%) SHORT TERM  
23 - 30 SPACES (90%) LONG TERM

PROPOSED: BICYCLE PARKING WILL EXCEED REQUIREMENTS - BICYCLE PARKING WILL BE NEAR GREEN SPACE, AND IN INDIVIDUAL HOMES AND TOWNHOMES

IMPERVIOUS SURFACE:  
EXISTING: 52,185 SF / 1.20 AC (12.2%)  
PROPOSED: 260,024 SF / 6.87 AC (55.5%)

ONSITE DISTURBANCE: 426,201 SF / 9.78 AC



NO.	REVISIONS	BY	DATE
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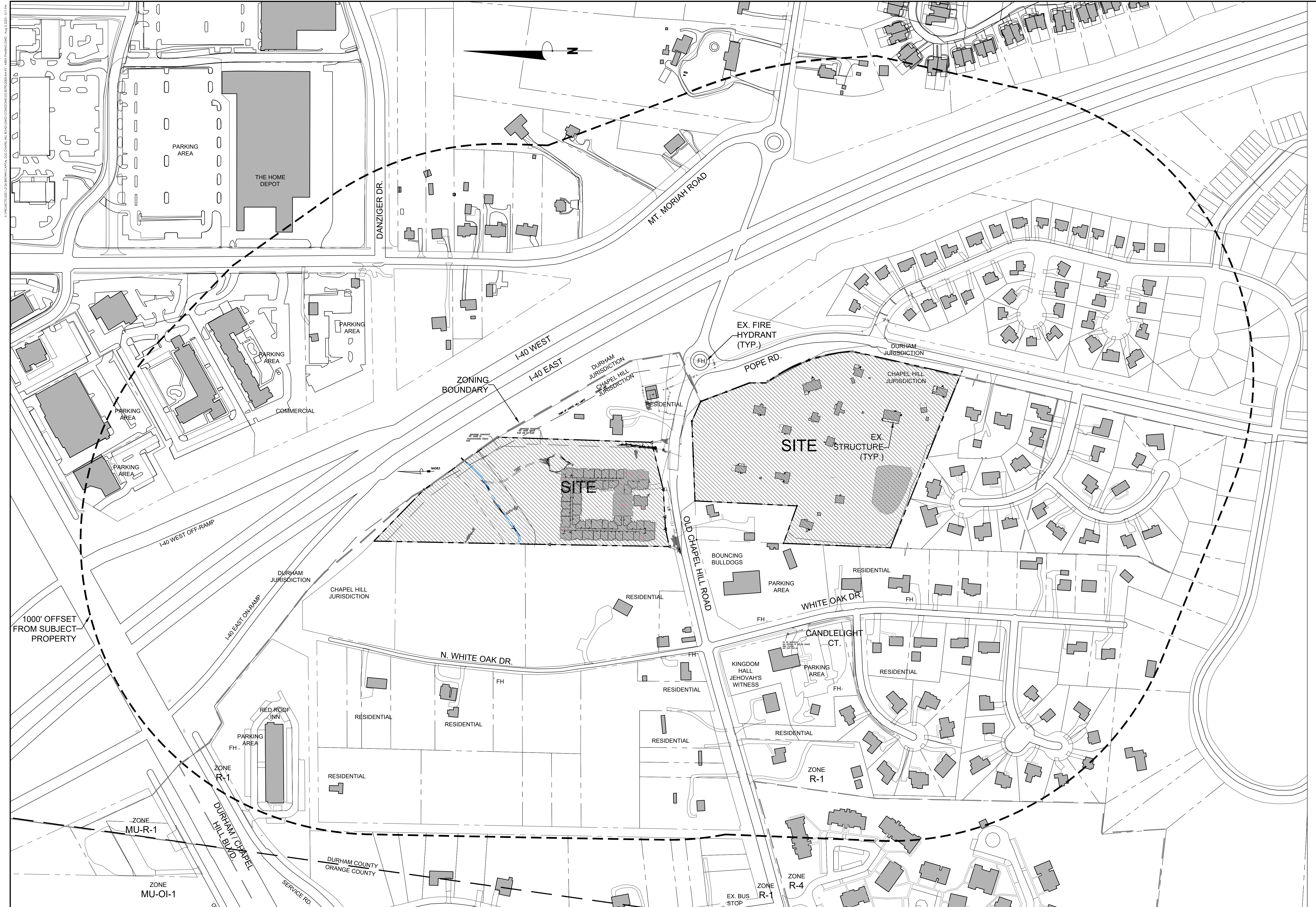
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CHAPEL HILL, NC  
CHAPEL HILL CROSSINGS  
SHEET INDEX - GENERAL NOTES

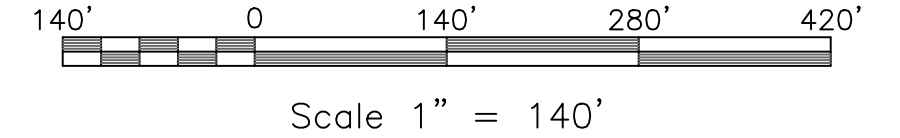
JOB NO.	J-30792
DATE:	8/3/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
APPROVED:	WLR, AMO
SCALE:	

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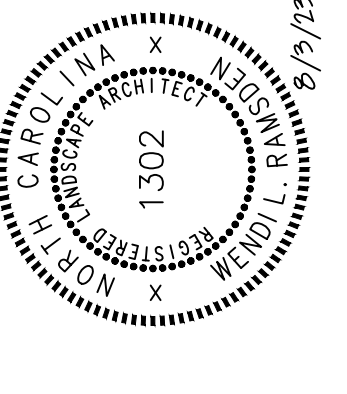




1 AREA MAP  
C0.1 SCALE: 1" = 140'



PRELIMINARY  
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CONSTRUCTION



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EB CAPITAL PARTNERS  
CHAPEL HILL, NC  
CHAPEL HILL CROSSINGS  
AREA MAP

JOB NO.: J-30792  
DATE: 8/3/23  
DRAWN: WLR, AMO, MTC  
DESIGNED: WLR, AMO  
APPROVED: WLR, AMO  
SCALE: 1" = 140'

**C0.1**



PHASES ARE LABELED FOR REFERENCE AND PHASE LABELS ARE NOT INDICATIVE OF SEQUENCE FOR PERMITTING OR CONSTRUCTION. PHASES WILL APPLY FOR AND RECEIVE BUILDING PERMITS AND CERTIFICATES OF OCCUPANCY IN ANY ORDER.

**PHASE A:** WILL BE PERMITTED SEPARATELY  
 A SINGLE MULT-FAMILY BUILDING, WITH UNDER-BUILDING PARKING  
 PARKING SPACE QUANTITY WILL COMPLY WITH LUMO REGULATIONS  
 CERTIFICATE OF OCCUPANCY WILL BE DEPENDENT ON :  
 - THE PROVISION OF ALL RECREATION SPACE BEING PROVIDED AND/OR PAYMENT IN LIEU MADE FOR THE RECREATION SPACE REQUIREMENT ON THE NORTH SIDE OF OLD CHAPEL HILL ROAD  
 - INSTALLATION OF STORMWATER MITIGATION FACILITY TO TREAT THE ADDITIONAL IMPERVIOUS SURFACE ON THE NORTH SIDE OF OLD CHAPEL HILL ROAD  
 - WIDENING OF SIDEWALK ON THE FRONTAGE ON THE NORTH SIDE OF OLD CHAPEL HILL ROAD TO A 10' WIDE CONCRETE MULTI-MODAL TRAIL  
 - INSTALLATION OF SITE LANDSCAPING AS REQUIRED BY APPROVED CONDITIONAL ZONING FOR THE PARCELS ON THE NORTH SIDE OF OLD CHAPEL HILL ROAD  
 - INSTALLATION OF PAVED DRIVEWAY ACCESS TO SATISFY NC FIRE CODE REQUIREMENTS

**PHASE B:** EACH STRUCTURE WILL BE PERMITTED SEPARATELY  
 RESIDENTIAL UNITS  
 PARKING SPACE QUANTITY WILL COMPLY WITH LUMO REGULATIONS  
 BUILDING PERMITS AND CERTIFICATES OF OCCUPANCY WILL BE ISSUED FOR EACH STRUCTURE INDEPENDENT OF OTHERS IN THE PHASE  
 ISSUANCE OF FIRST CERTIFICATE OF OCCUPANCY IS DEPENDENT ON :  
 - THE INSTALLATION OF A STORM MITIGATION FACILITY SIZED TO TREAT ALL NEW PROPOSED IMPERVIOUS IN THIS PHASE  
 - INSTALLATION OF LANDSCAPE BUFFER ALONG THE WEST PROPERTY LINE ADJACENT TO THIS PHASE  
 - INSTALLATION OF PAVED DRIVEWAY ACCESS TO SATISFY NC FIRE CODE REQUIREMENTS

**PHASE C:** EACH STRUCTURE WILL BE PERMITTED SEPARATELY  
 RESIDENTIAL UNITS  
 PARKING SPACE QUANTITY WILL COMPLY WITH LUMO REGULATIONS  
 BUILDING PERMITS AND CERTIFICATES OF OCCUPANCY WILL BE ISSUED FOR EACH STRUCTURE INDEPENDENT OF OTHERS IN THE PHASE  
 ISSUANCE OF FIRST CERTIFICATE OF OCCUPANCY IS DEPENDENT ON :  
 - THE INSTALLATION OF A STORM MITIGATION FACILITY SIZED TO TREAT ALL NEW PROPOSED IMPERVIOUS IN THIS PHASE  
 - INSTALLATION OF LANDSCAPE BUFFER ALONG THE ADJACENT POPE ROAD FRONTAGE AND ALONG THE SOUTH PROPERTY LINE ADJACENT TO THIS PHASE  
 - INSTALLATION OF PAVED DRIVEWAY ACCESS TO SATISFY NC FIRE CODE REQUIREMENTS

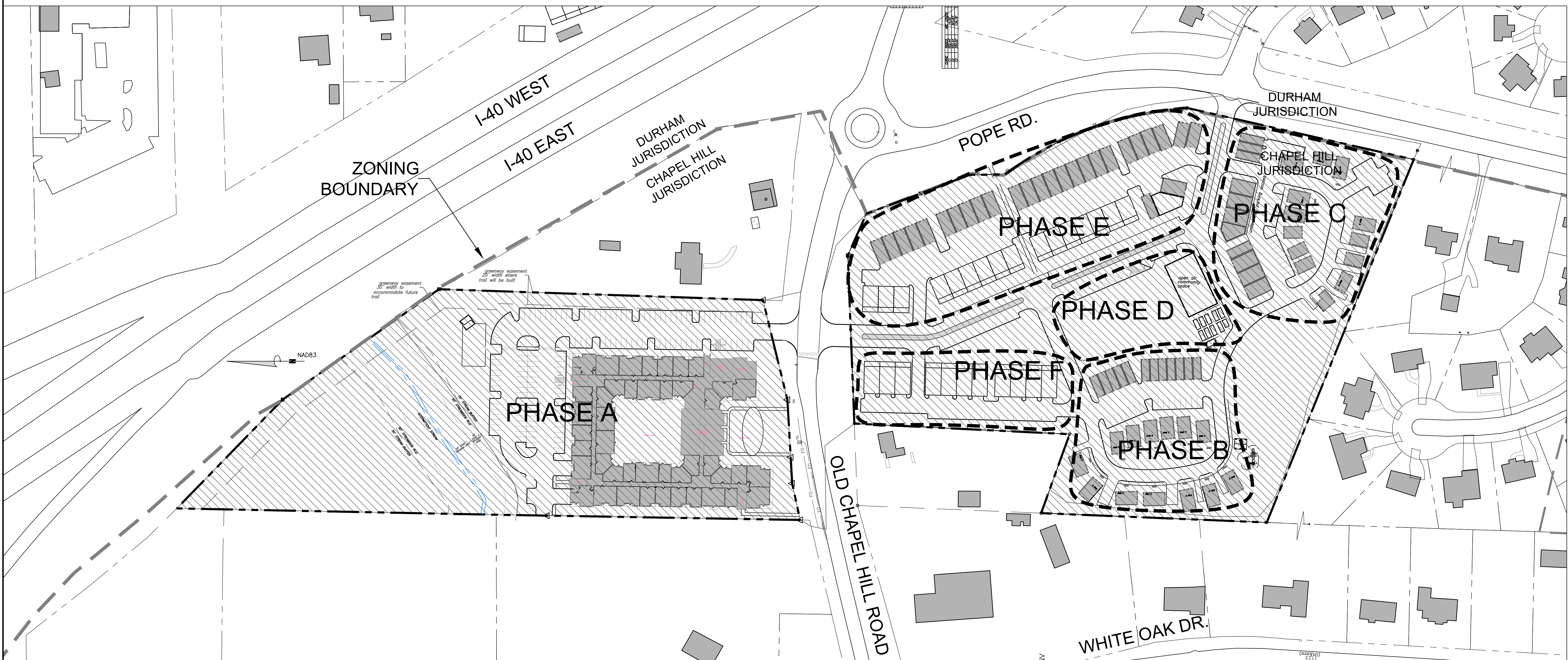
**PHASE D:** CENTRAL GREEN PLAZA AND COMMUNITY SPACE  
 ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY IS DEPENDENT ON:  
 - THE INSTALLATION OF A STORM MITIGATION FACILITY SIZED TO TREAT ALL NEW PROPOSED IMPERVIOUS IN THIS PHASE  
 - INSTALLATION OF PAVED DRIVEWAY ACCESS TO SATISFY NC FIRE CODE REQUIREMENTS

**PHASE E:** EACH STRUCTURE WILL BE PERMITTED SEPARATELY  
 RESIDENTIAL UNITS  
 PARKING SPACE QUANTITY WILL COMPLY WITH LUMO REGULATIONS.  
 BUILDING PERMITS AND CERTIFICATES OF OCCUPANCY WILL BE ISSUED FOR EACH STRUCTURE INDEPENDENT OF OTHERS IN THIS PHASE.  
 ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY IS DEPENDENT ON:  
 - THE INSTALLATION OF A STORM MITIGATION FACILITY SIZED TO TREAT ALL NEW PROPOSED IMPERVIOUS IN THIS PHASE  
 - INSTALLATION OF LANDSCAPE BUFFER ALONG THE POPE ROAD AND OLD CHAPEL HILL ROAD FRONTAGES ADJACENT TO THIS PHASE  
 - INSTALLATION OF PAVED DRIVEWAY ACCESS TO SATISFY NC FIRE CODE REQUIREMENTS

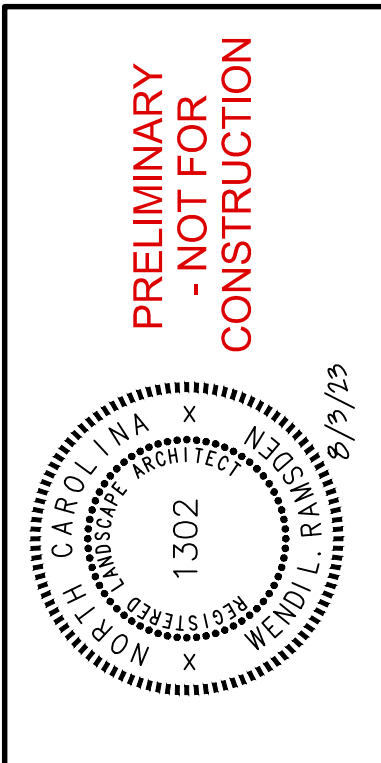
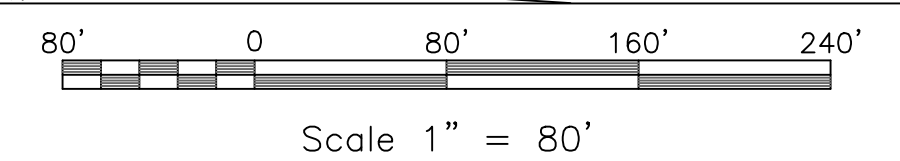
**PHASE F:** EACH STRUCTURE WILL BE PERMITTED SEPARATELY  
 RESIDENTIAL UNITS  
 PARKING SPACE QUANTITY WILL COMPLY WITH LUMO REGULATIONS  
 BUILDING PERMITS AND CERTIFICATES OF OCCUPANCY WILL BE ISSUED FOR EACH BUILDING INDEPENDENT OF OTHERS IN THE PHASE  
 ISSUANCE OF FIRST CERTIFICATE OF OCCUPANCY IS DEPENDENT ON :  
 - THE INSTALLATION OF A STORM MITIGATION FACILITY SIZED TO TREAT ALL NEW PROPOSED IMPERVIOUS IN THIS PHASE  
 - INSTALLATION OF LANDSCAPE BUFFER ALONG THE OLD CHAPEL HILL ROAD FRONTAGE ADJACENT TO THIS PHASE  
 - INSTALLATION OF PAVED DRIVEWAY ACCESS TO SATISFY NC FIRE CODE REQUIREMENTS

**TRIGGERS FOR COMMUNITY FACILITIES:**  
 PRIOR TO CERTIFICATE OF OCCUPANCY FOR MULTI-FAMILY BUILDING NORTH SIDE OLD CHAPEL HILL ROAD:  
 - ALL RECREATION FACILITIES LOCATED ON THAT PARCEL AS INDICATED IN THE APPROVED CONDITIONAL ZONING  
 PRIOR TO FIRST CERTIFICATE OF OCCUPANCY ON SOUTH SIDE:  
 - APPROPRIATE MAIL KIOSK OR MAIL DELIVERY OPTION  
 PRIOR TO APPLICATION FOR CERTIFICATE OF OCCUPANCY FOR 30th UNIT ON SOUTH SIDE (APPROX 25% OF TOTAL UNITS)  
 - INSTALLATION OF PLAYGROUND EQUIPMENT  
 - INSTALLATION OF COMMUNITY GAZEBO  
 PRIOR TO APPLICATION FOR CERTIFICATE OF OCCUPANCY FOR 60TH UNIT ON SOUTH SIDE (APPROXIMATELY 50% OF TOTAL UNITS)  
 - CONSTRUCTION OF HALF OF THE REQUIRED PUBLIC BIKE PARKING FACILITIES  
 - COMPLETION OF AT LEAST 5,000 SF OF RECREATION SPACE OR PAYMENT IN LIEU MADE FOR THAT PORTION  
 - COMPLETION OF HALF THE COMMUNITY GREENSPACE

2 PHASING DETAIL  
 C0.2



1 PHASING PLAN  
 C0.2 SCALE: 1" = 80'



NO.	REVISIONS	DATE
1		

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EB CAPITAL PARTNERS  
 CHAPEL HILL, NC  
 CHAPEL HILL CROSSINGS  
 PHASING PLAN

JOB NO.:	230792
DATE:	8/3/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
APPROVED:	WLR, AMO
SCALE:	1" = 80'

C0.2



- ENSURE ALL EROSION CONTROL MEASURES ARE IN PLACE AND IN WORKING ORDER PRIOR TO THE START OF ANY DEMOLITION AND CONSTRUCTION.
- SEE SITE PLAN SHEET C-2.0 FOR LAYOUT DIMENSIONS OF EXTENT OF DEMOLISHED AREAS. PAVED AREAS NOT INDICATED TO BE DEMOLISHED, ARE TO REMAIN. ALL CONCRETE SAW CUTS ARE TO BE CLEAN, STRAIGHT AND NEAT.
- UTILITIES: SEE UTILITY PLAN C-5.0. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR LOCATION, REMOVAL AND RELOCATION OF ANY UTILITIES. CONTRACTOR RESPONSIBLE FOR DETERMINING EXTENT AND LOCATION OF UTILITIES. THIS MAY INCLUDE CONTACTING "NO-CUTS" TO HELP LOCATE SOME UTILITIES.
- CONTRACTOR TO ADJUST ALL MANHOLES, VALVES, JUNCTION BOXES, CATCH BASINS, CLEAN-OUTS, ETC., AS NECESSARY TO ACCOMMODATE NEW LAYOUT AND GRADES.
- CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE NCDOT AND TOWN OF CHAPEL HILL RIGHTS OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHT OF WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO TOWN OF CHAPEL HILL OR NCDOT STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, SIDEWALKS, CURB AND GUTTER, ASPHALT.
- CONTRACTOR RESPONSIBLE FOR REMOVING EVERYTHING WITHIN THE CLEARING LIMITS AND OFF-SITE WORK ZONE INCLUDING TREES, STUMPS, TRASH, FENCING, OR BUILDING MATERIALS.
- CONTRACTOR TO USE CAUTION WORKING AROUND AND NEAR EXISTING STORM, WATER AND SEWER. CONTRACTOR RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
- ABANDONMENT OF WATER SERVICES SHALL INCLUDE EXCAVATING DOWN TO CORPORATION, TURNING IT OFF AND CUTTING SERVICE LINE FREE FROM CORPORATION. THE METER, IF PRESENT, SHALL BE RETURNED TO OWASA.
- ABANDONMENT OF SANITARY SEWER SERVICE LINES SHALL CONSIST OF PLUGGING THE LATERAL AT THE RIGHT-OF-WAY LINE.
- ALL PAVEMENT PATCHING SHALL BE PERFORMED PER NCDOT SPECIFICATIONS AND STANDARDS.
- A DECONSTRUCTION ASSESSMENT MUST BE CONDUCTED BY OCSW STAFF PRIOR TO THE APPROVAL OF THE DEMOLITION PERMIT FOR THE EXISTING STRUCTURES. CONTACT OCSW ENFORCEMENT STAFF AT 919-968-2788 TO REQUEST THE ASSESSMENT. BUILDINGS TO BE DEMOLISHED MUST BE INSPECTED BY A NC ACCREDITED ASBESTOS PROFESSIONAL. SUBMIT REPORT WITH DEMOLITION PERMIT APPLICATION.
- A SEPARATE DEMOLITION PERMIT IS REQUIRED FOR EACH BUILDING.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL ("ACM") OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
- ANY INVASIVE, EXOTIC PLANT MATERIAL WILL BE REMOVED. A SURVEY OF EXISTING THE LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CLEARING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.
- ASBESTOS ABATEMENT REPORT REQUIRED BEFORE DEMOLITION PERMIT MAY BE ISSUED.
- A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO REMOVE ANY FLAMMABLE / COMBUSTIBLE LIQUIDS FROM UNDERGROUND OR ABOVE-GROUND TANKS OTHER THAN BY THE ON-SITE PUMPS. 2018 NC FIRE CODE SECTION 105.6.17 #5.
- A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO REMOVE ANY UNDERGROUND OR ABOVE-GROUND TANKS THAT CONTAINED FLAMMABLE / COMBUSTIBLE LIQUIDS. 2018 NC FIRE CODE SECTION 105.6.17 #7.
- TREE PROTECTION SEMINAR TO BE COMPLETED BY CONTRACTOR PRIOR TO TREE PROTECTION FENCE INSTALLATION. PLEASE CALL ADAM NICHOLSON AT 919-969-5006

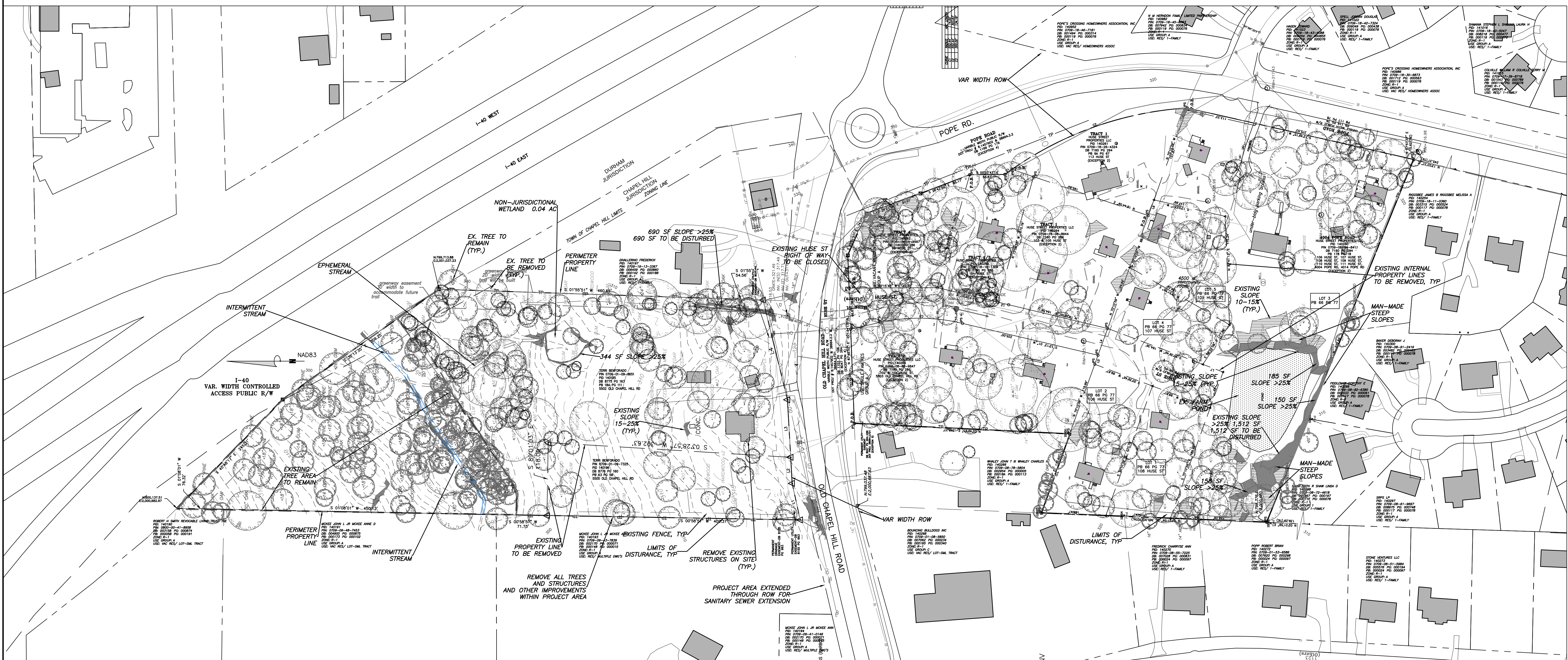
LEGEND

Water Valve	⊗	Utility Pole	⊕
Yard Inlet	⊙	Guy Wire	—○—
Curb Inlet/Catch Basin	⊠	Light Pole	⊙LP
Mail Box	⊠MB	Sewer Cleanout	⊙CO
Traffic Signal Box	⊠TSB	Flared End Section	⊠GV
Electric Transformer	⊠ET	Existing Iron Pipe (3/4" unless noted)	⊙
Electric Junction Box	⊠EJB	1/2" Rebar	⊙
Gas Meter	⊙GM	1/2" Iron Pipe Set	⊙IPS
Sanitary Sewer Manhole	⊙SSM	Existing PK Nail	⊙PKS
Storm Sewer Manhole	⊙SSM	PK Nail Set	⊙PKS
Telephone Manhole	⊙TM	Computed Point	⊙
Electric Manhole	⊙EM	Concrete Monument	⊠
Sign	⊠S	Tree Line	—○—
Telephone Pedestal	⊠TP	Fence	—○—
Fire Hydrant	⊙FH	Underground Electric	—UE—
Fire Department Connection	⊙FDC	Underground Telephone	—UT—
Post Indicator Valve	⊙PIV	Gas Line	—GAS—
Water Meter	⊙WM	Water Line	—W—
Hot Box	⊙HB	Overhead Utilities	—OU—
		Storm Sewer	—SS—
		Sanitary Sewer	—SS—

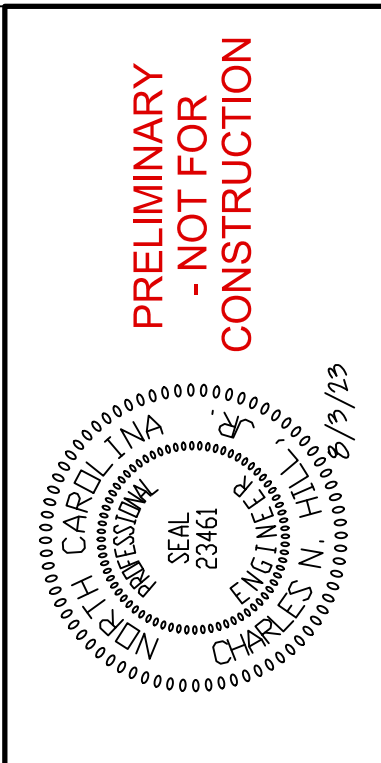
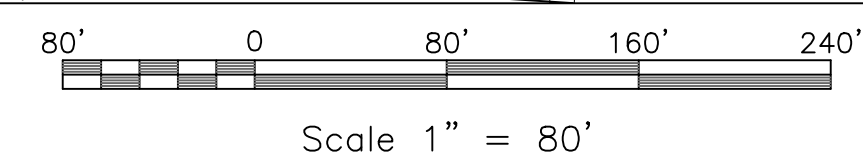
KEY

	SLOPES 10% - 15%
	SLOPES 15% - 25%
	SLOPES > 25%
	EXISTING RARE OR SPECIMEN TREE WITH CRITICAL ROOT SAVE AREA

2 DEMOLITION NOTES  
C-1.0



1 EXISTING CONDITIONS AND DEMOLITION  
D-1.1 SCALE: 1" = 80'



NO.	BY	DATE

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**EB CAPITAL PARTNERS**  
CHAPEL HILL, NC  
CHAPEL HILL CROSSINGS  
EXISTING CONDITIONS AND DEMOLITION

JOB NO.: J-30792  
DATE: 8/3/23  
DRAWN: WLR, AMO, MTC  
DESIGNED: WLR, AMO  
APPROVED: WLR, AMO  
SCALE: 1" = 80'

D1.1



1. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
2. DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
3. LAY OUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
4. REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
5. ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-8 OR R7-8A RESERVED PARKING SIGN AND R7-8D MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDICAP CODE. ADA RAMPS SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
6. REFERENCE EXISTING CONDITION SHEET C-1.0 FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, DRIVEWAYS, PAVEMENT, BOLLARDS, WALKWAYS, UTILITIES, AND VEGETATION.
7. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
8. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL ("ACM") OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
9. KEY BOXES FOR FIRST RESPONDERS WILL BE REQUIRED NEAR THE FRONT DOOR AND SPRINKLER RISER ROOM AREAS. 2012 NC FIRE CODE, SECTION 506.
10. MECHANICAL EQUIPMENT MUST BE PLACED AT OR ABOVE BASE FLOOD ELEVATION + 2 FEET.
11. PRIOR TO PERFORMING WORK IN THE NCDOT R/W, THE APPLICANT WILL NEED TO OBTAIN THE FOLLOWING:
  - (1) APPROVED NCDOT DRIVEWAY PERMITS FOR PROPOSED ACCESSES TO NC 1838.
  - (2) APPROVED NCDOT THREE-PARTY ENCROACHMENT AGREEMENT WITH TOCH FOR PROPOSED / STIPULATED SIDEWALK AND APPURTENANCES.
  - (3) APPROVED NCDOT THREE-PARTY ENCROACHMENT AGREEMENT WITH OWASA FOR PROPOSED WATER AND SEWER CONNECTIONS.
12. PRIOR TO ISSUANCE OF THE DRIVEWAY PERMITS AND ENCROACHMENT AGREEMENTS, THE APPLICANT WILL NEED TO PROVIDE COMPLETE AND DETAILED DESIGN PLANS PER NCDOT, TOCH, AND OWASA REQUIREMENTS FOR REVIEW AND APPROVAL.

### ADA route notes apply to all sheets

FOR ALL SIDEWALKS THE FOLLOWING APPLIES:

1. SIDEWALK SLOPES TO BE A MAXIMUM 4.8%.
2. SIDEWALK CROSS SLOPES TO BE A MAXIMUM 1.8%.
3. MINIMUM 1' SHOULDER AT MAXIMUM 2% SLOPE ADJACENT TO ADA PAVED ROUTES UNLESS A HANDRAIL IS CALLED OUT.
4. ADA PARKING TO BE A MAXIMUM 1.8% SLOPE IN ANY DIRECTION FOR ENTIRE AREA - PARKING SPACES AND AISLES.
5. ALL DOORS EXITING THE BUILDING REQUIRE AN ADA ACCESSIBLE COMPLIANT ROUTE TO A PUBLIC WAY.
6. PARKING - NUMBER OF SPACES TO COMPLY WITH NCBC 2012 SECTION 1106.1.1 PER 6 COMPLIANT SPACES OR PORTION THEREOF MUST BE VAN ACCESSIBLE, NO SLOPE TO EXCEED 2% IN ANY DIRECTION. SIGNAGE PER NC REQUIREMENTS, MUT-CD AND ICC A 117.1.
7. CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1.2009 ED. CROSS SLOPE LIMITED TO 2%, CALL FOR INSPECTION BEFORE PLACEMENT OF CONCRETE.
8. SLOPE GREATER THAN 5% REQUIRES CONSTRUCTION AS A RAMP.

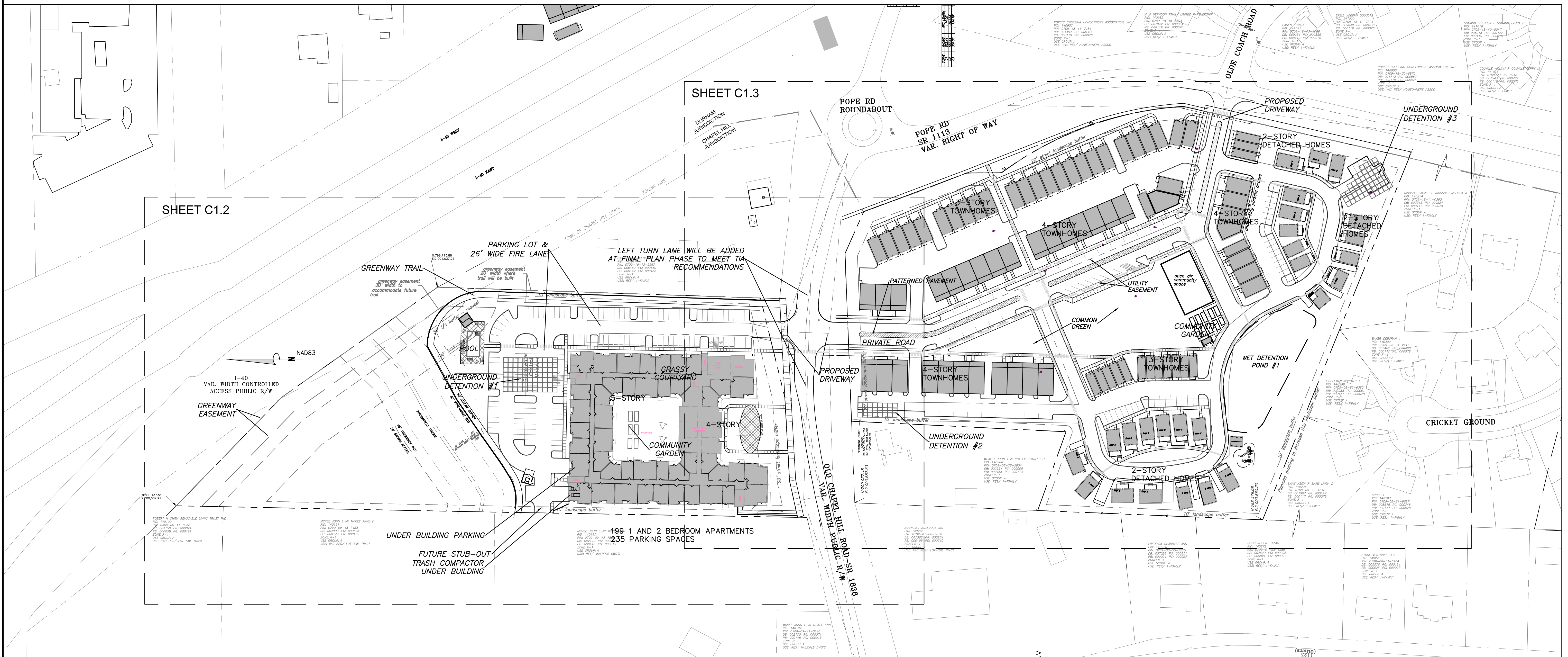
Water Valve		Utility Pole	
Yard Inlet		Gas Wire	
Curb Inlet/Catch Basin		Light Pole	
Mail Box		Sewer Cleanout	
Traffic Signal Box		Flared End Section	
Electric Transformer		Gas Valve	
Electric Junction Box		Existing Iron Pipe (3/4" unless noted)	
Gas Meter		1/2" Rebar	
Sanitary Sewer Manhole		1/2" Iron Pipe Set	
Storm Sewer Manhole		Existing PK Nail	
Telephone Manhole		PK Nail Set	
Sign		Computed Point	
Telephone Pedestal		Concrete Monument	
Fire Hydrant		Tree Line	
Fire Department Connection		Fence	
Post Indicator Valve		Underground Electric	
Water Meter		Underground Telephone	
Hot Box		Gas Line	
		Water Line	
		Overhead Utilities	
		Storm Sewer	
		Sanitary Sewer	

## 2 SITE LAYOUT NOTES

C1.1

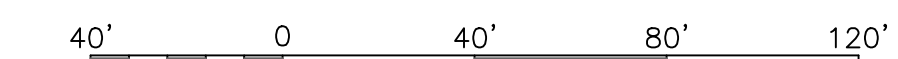
## 3 ADA NOTES

C1.1

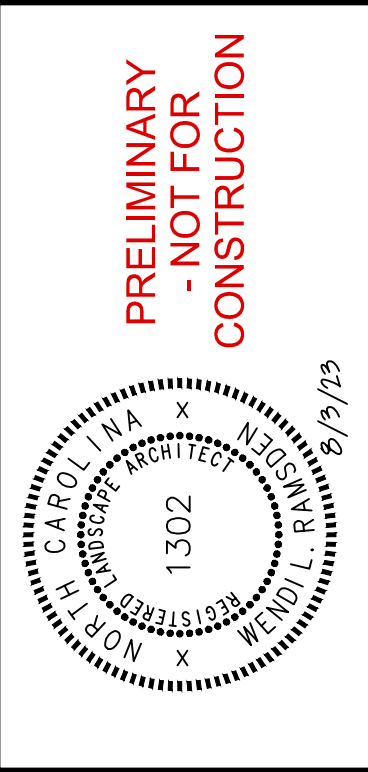


## 1 SITE PLAN - OVERALL

C1.1 SCALE: 1"=40'



Scale 1"=40'



NO.	REVISIONS	DATE
1		

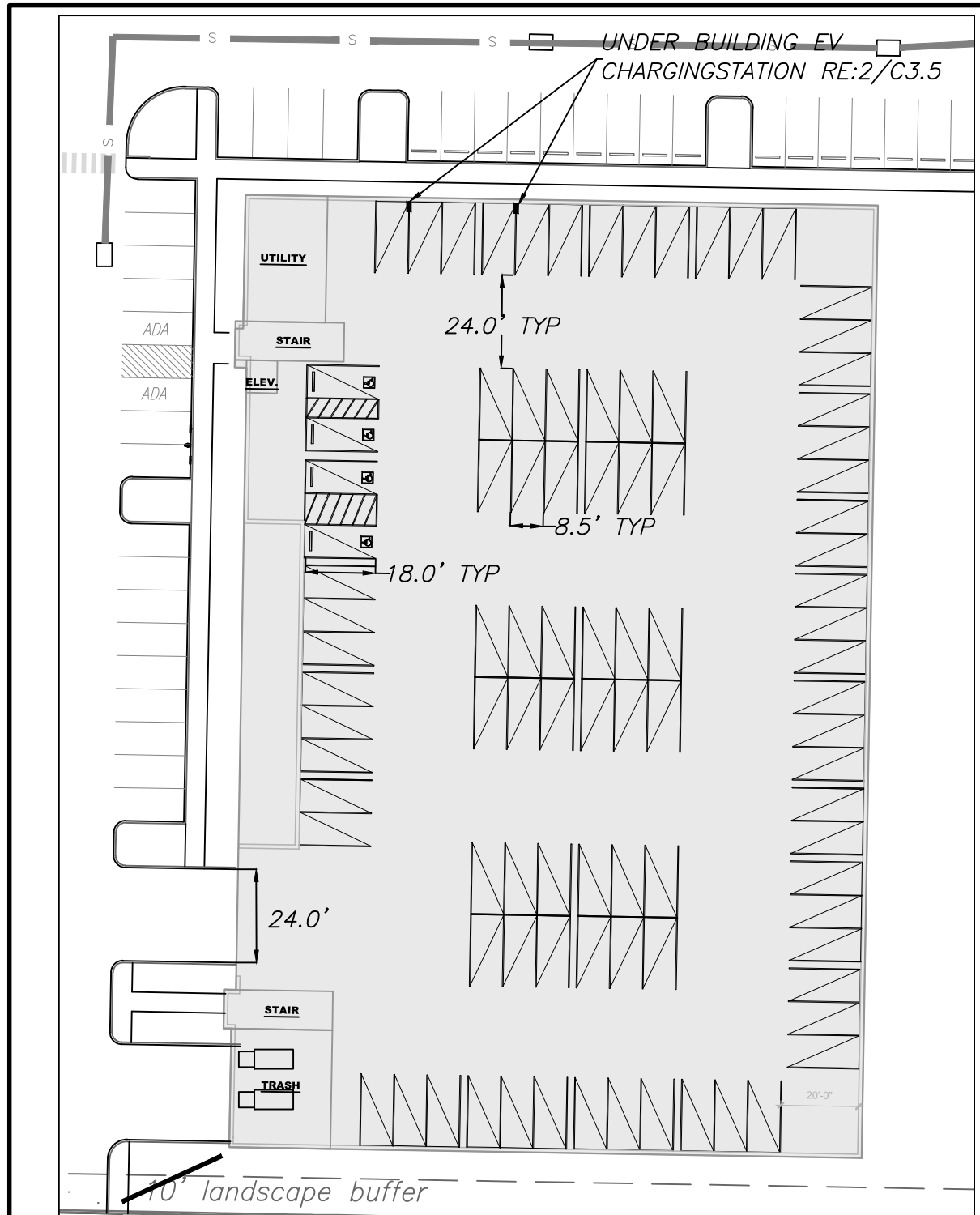
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**EB CAPITAL PARTNERS**  
 CHAPEL HILL, NC  
 CHAPEL HILL CROSSINGS  
 SITE PLAN - OVERALL

JOB NO: J-30792  
 DATE: 8/3/23  
 DRAWN: WLR, AMO, MTC  
 DESIGNED: WLR, AMO  
 REVIEWED: WLR, AMO  
 APPROVED:  
 SCALE: 1"=40'

**C1.1**





**3 RECREATION SPACE CALCULATIONS**

**TOTAL PROJECT CALCULATION**  
GROSS SITE AREA NORTH: 312,157 SF  
GROSS SITE AREA SOUTH: 468,837 SF  
TOTAL GROSS SITE AREA: 780,994 SF

**MULTIFAMILY RESIDENTIAL RECREATION RATIO = .050**  
TOTAL REQUIRED RECREATION SPACE = 39,050 SF

**ACTIVE RECREATION SPACE PROVIDED:**  
POOL AREA NORTH 3,100 SF  
COMMUNITY GARDEN N 1,100 SF  
GREENWAY TRAIL NORTH 9,250 SF  
FITNESS CENTER NORTH 2,200 SF  
FITNESS CENTER SOUTH 2,500 SF  
COMMUNITY GARDEN S 2,700 SF  
PLAYGROUND/SHELTER 1,750 SF  
PAVED WALKING CIRCUIT 16,500 SF  
**TOTAL: 39,120 SF**

**TOTAL PROJECT RECREATION SPACE REQUIREMENT:** 39,050 SF  
**25% PAYMENT IN LIEU = 9,762.5 SF**  
= 39,050 SF x .25 = 9,762.5 SF  
9,762.5 SF x \$12 RATE = \$117,150

MODIFICATION REQUEST TO PROVIDE RECREATION AMENITIES AND ELIMINATE PAYMENT IN LIEU

**NORTH SIDE CALCULATION:**  
GROSS SITE AREA NORTH: 312,157 SF

**MULTIFAMILY RESIDENTIAL RECREATION RATIO = .050**  
TOTAL REQUIRED RECREATION SPACE = 15,608 SF

**ACTIVE RECREATION SPACE PROVIDED:**  
POOL AREA 3,100 SF  
COMMUNITY GARDEN N 1,100 SF  
GREENWAY TRAIL 9,250 SF  
FITNESS CENTER NORTH 2,200 SF  
**TOTAL NORTH SIDE: 15,650 SF**

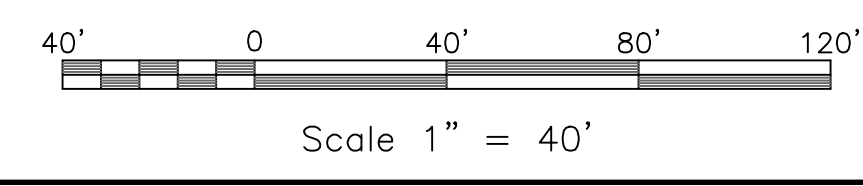
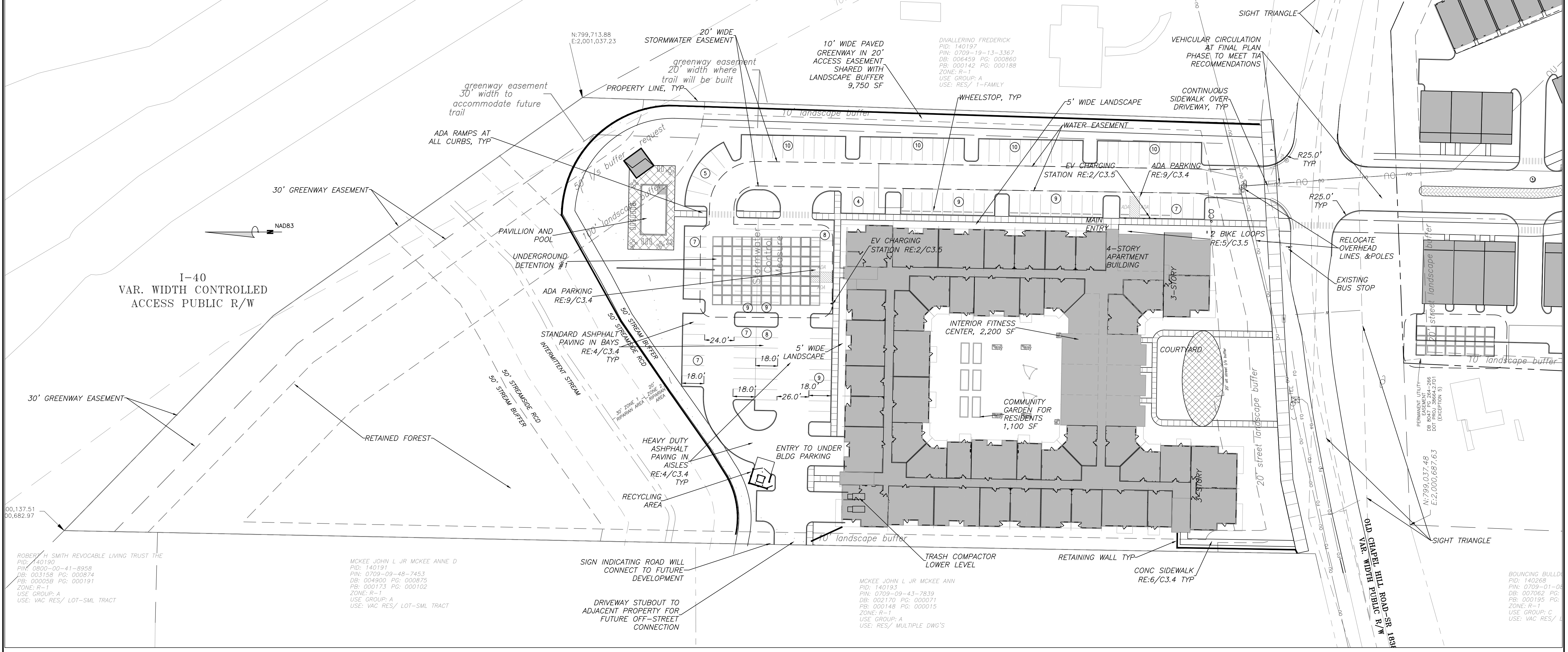
**SOUTH SIDE CALCULATION:**  
GROSS SITE AREA SOUTH: 468,837 SF

**MULTIFAMILY RESIDENTIAL RECREATION RATIO = .050**  
TOTAL REQUIRED RECREATION SPACE = 23,442 SF

**ACTIVE RECREATION SPACE PROVIDED:**  
FITNESS AREA/GAZEBO 2,500 SF  
PLAYGROUND/SHELTER 1,750 SF  
COMMUNITY GARDEN S 2,700 SF  
PAVED WALKING CIRCUIT OVER 3300 LF ON SITE 16,500 SF  
**TOTAL SOUTH SIDE: 23,450 SF**

- |                            |                        |  |
|----------------------------|------------------------|--|
| Water Valve                | Utility Pole           | IP                                     |
| Yard Inlet                 | Guy Wire               | OLP                                    |
| Curb Inlet/Catch Basin     | Light Pole             | OC                                     |
| Mail Box                   | Sewer Cleanout         | OC                                     |
| Traffic Signal Box         | Flared End Section     | GV                                     |
| Electric Transformer       | Gas Valve              | Existing Iron Pipe (3/4" unless noted) |
| Electric Junction Box      | Gas Meter              | 1/2" Rebar                             |
| Gas Meter                  | Sanitary Sewer Manhole | 1/2" Iron Pipe Set                     |
| Storm Sewer Manhole        | Storm Sewer Manhole    | Existing PK Nail                       |
| Electric Manhole           | Telephone Manhole      | PK Nail Set                            |
| Electric Manhole           | Telephone Manhole      | Concrete Monument                      |
| Sign                       | Telephone Pedestal     | Tree Line                              |
| Fire Hydrant               | Underground Electric   | Underground Telephone                  |
| Fire Department Connection | Underground Telephone  | Gas Line                               |
| Post Indicator Valve       | Water Line             | Overhead Utilities                     |
| Water Meter                | Storm Sewer            | Sanitary Sewer                         |
| Hot Box                    |                        |  |

**2 SITE PLAN - NORTH - UNDERGROUND PARKING**  
SCALE: 1" = 40'



**1 SITE PLAN - NORTH**  
SCALE: 1" = 40'

**PRELIMINARY - NOT FOR CONSTRUCTION**

C1.2

NO.	BY	DATE

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CHAPEL HILL, NC

CHAPEL HILL CROSSINGS

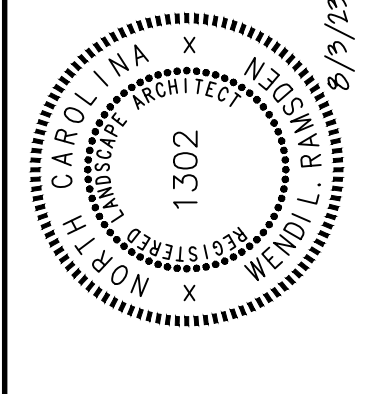
SITE PLAN - NORTH

JOB NO:	J-30792
DATE:	8/3/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	1" = 40'

JOB NO:	J-30792
DATE:	8/3/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	1" = 40'



**PRELIMINARY  
-NOT FOR  
CONSTRUCTION**



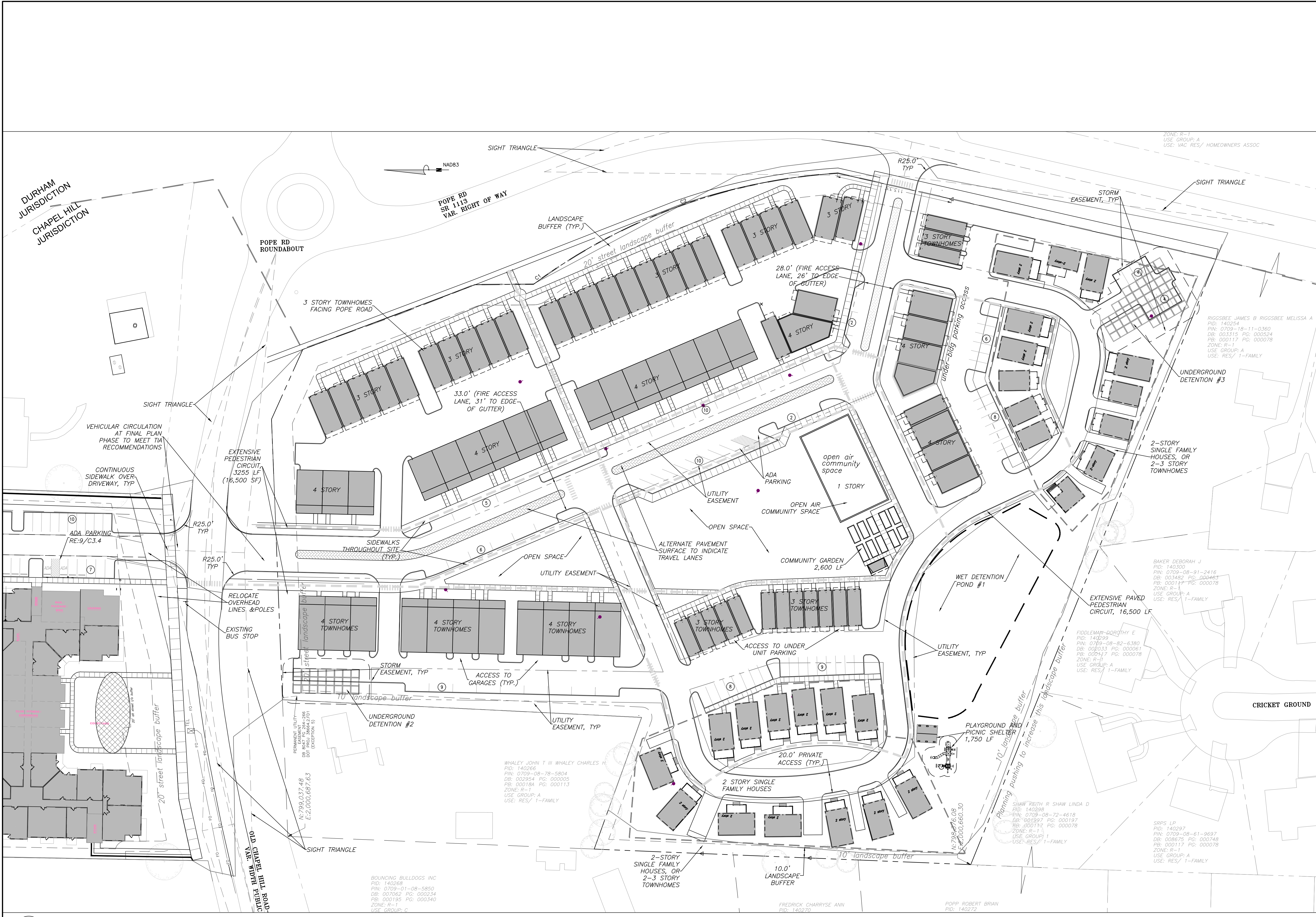
NO.	REVISIONS	BY	DATE
1			

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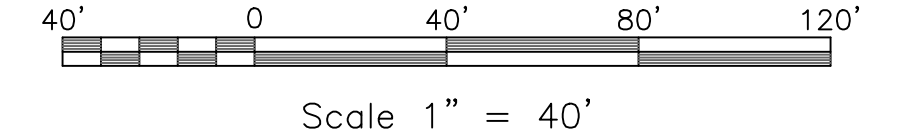
**EB CAPITAL PARTNERS**  
 CHAPEL HILL, NC  
 CHAPEL HILL CROSSINGS  
 SITE PLAN - SOUTH

JOB NO:	J: 30792
DATE:	8/3/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	1" = 40'

**C1.3**

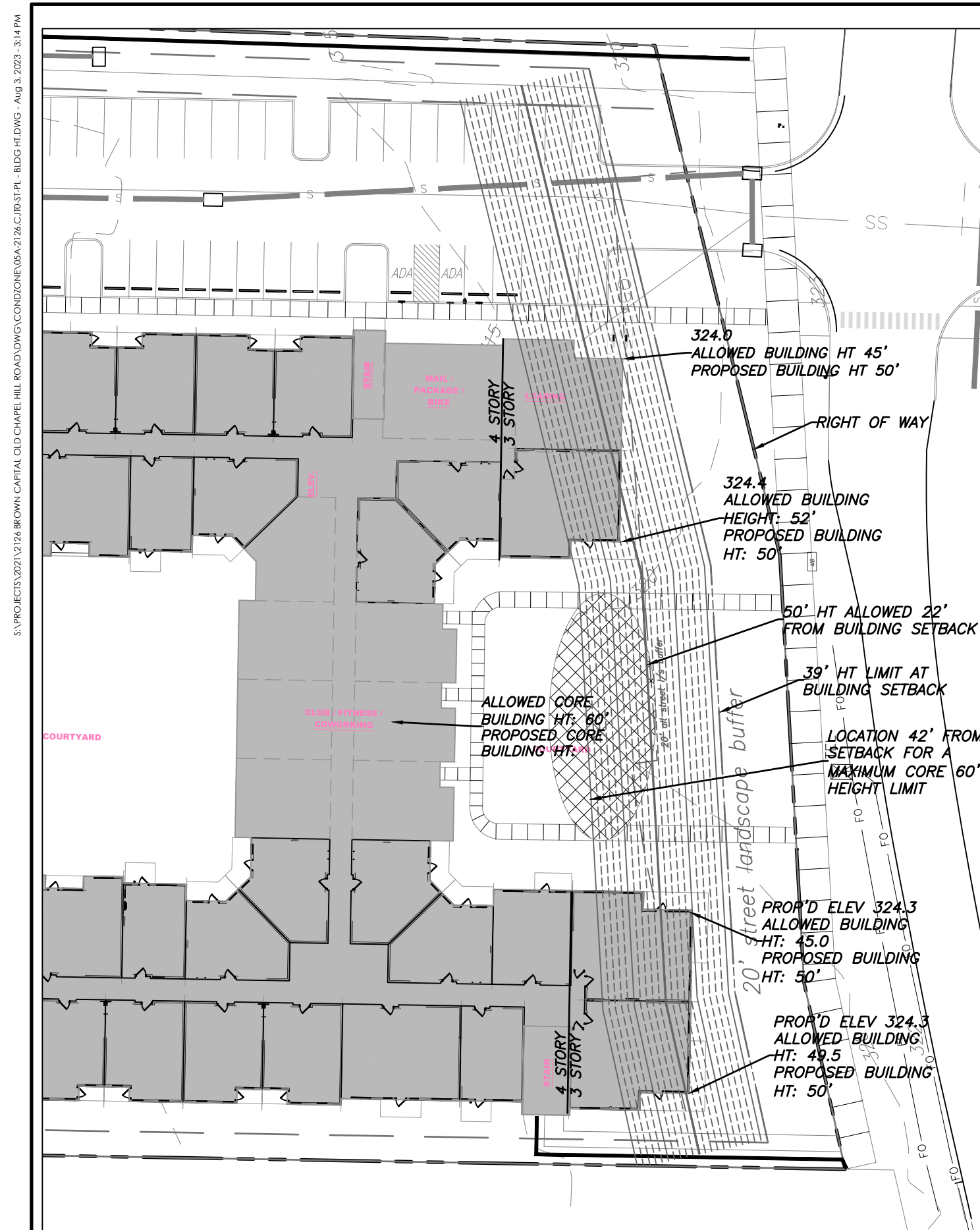


**1** SITE PLAN - SOUTH  
 C1.3 SCALE: 1" = 40'

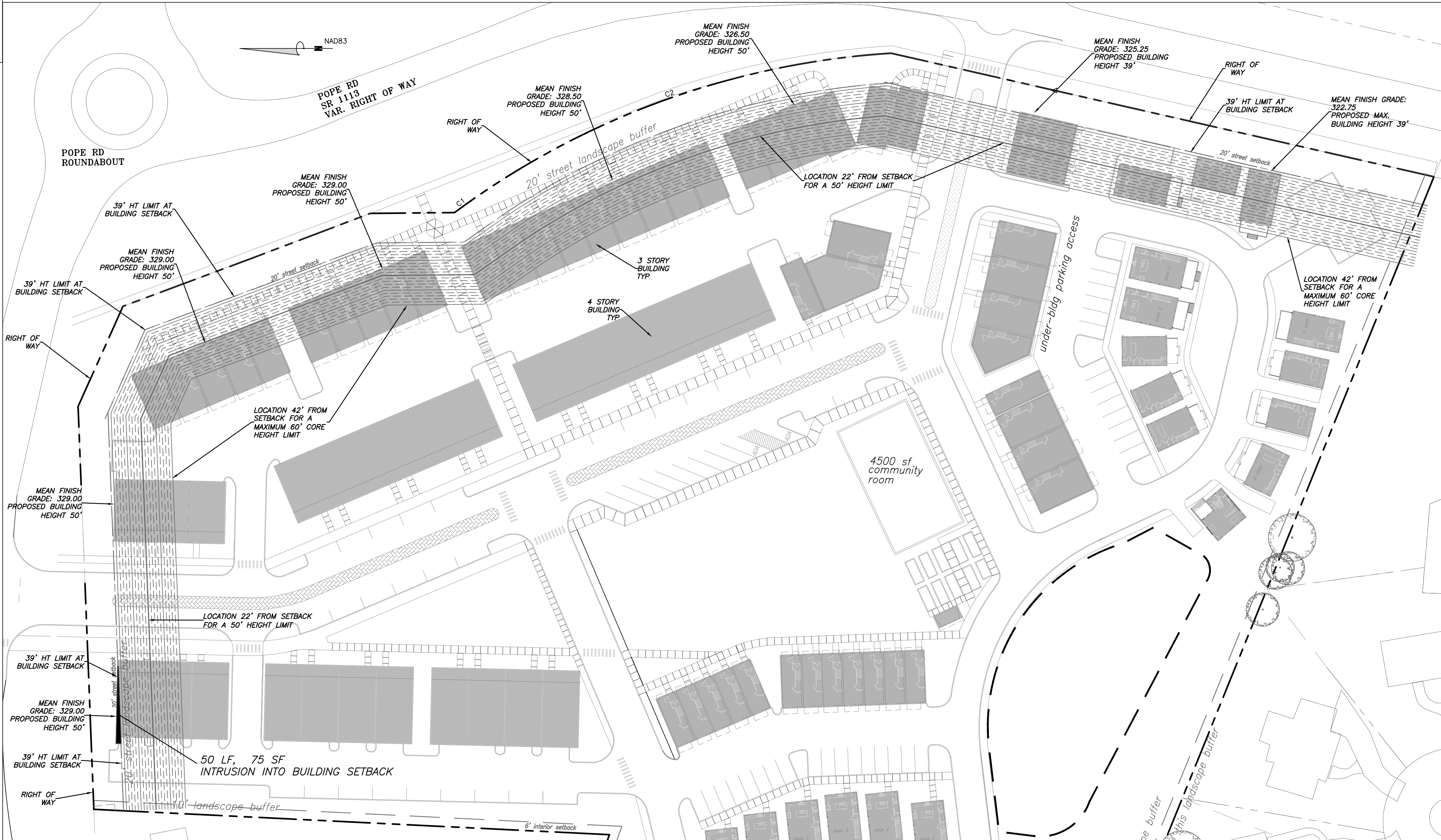


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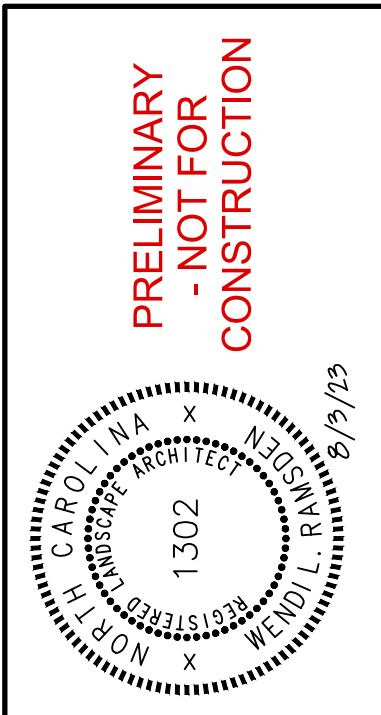




**1** HEIGHT AND SETBACK - NORTH  
SCALE: 1" = 40'



**2** HEIGHT AND SETBACK - SOUTH  
SCALE: 1" = 40'



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EB CAPITAL PARTNERS  
CHAPEL HILL, NC  
CHAPEL HILL CROSSINGS  
BUILDING HEIGHT PLAN

JOB NO.: J-30792  
DATE: 8/3/23  
DRAWN: WLR, AMO, MTC  
DESIGNED: WLR, AMO  
REVIEWED: WLR, AMO  
APPROVED:  
SCALE: 1" = 40'

**C1.4**



- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY OWASA.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND OWASA STANDARDS AND SPECIFICATIONS.
- ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
- BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN; TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
- RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).
- PROVIDE 10'-FT OF HORIZONTAL SEPARATION BETWEEN PROPOSED NEW WATER AND SEWER MAINS
- WELL AND SEPTIC TO BE ABANDONED OR REMOVED IN ACCORDANCE WITH N.C. ENVIRONMENTAL HEALTH STANDARDS.

SANITARY SEWER:

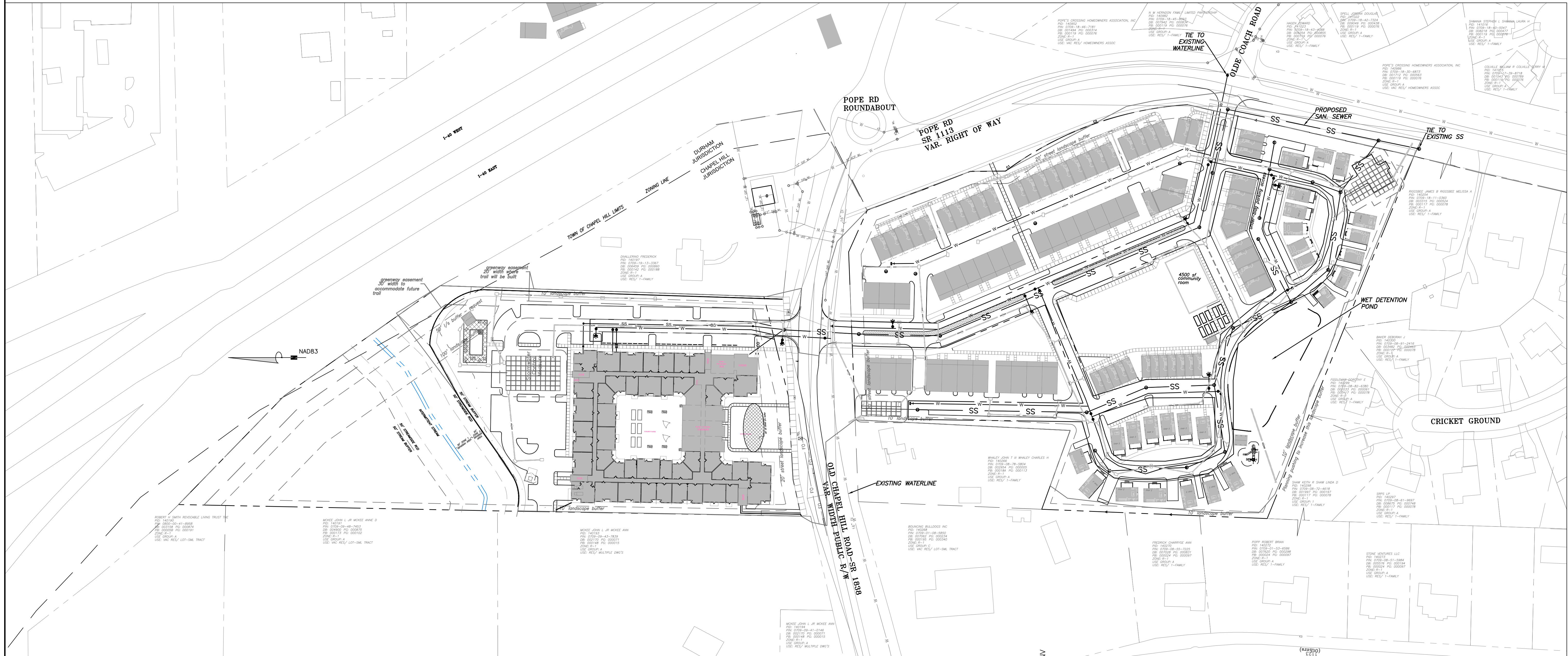
- BACKFLOW PREVENTORS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
- MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
- MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
- MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

WATER:

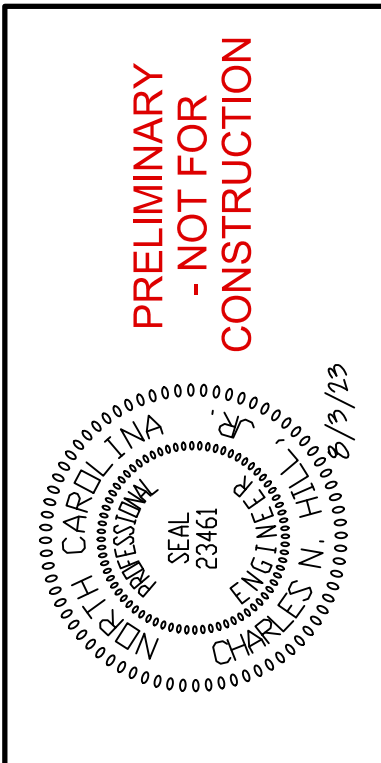
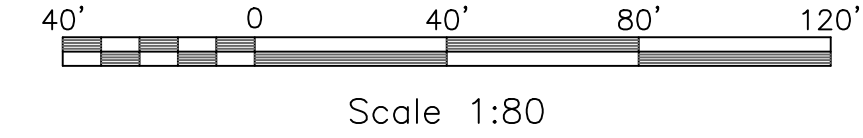
- WATERLINES WILL BE 3' OFF CURB AND GUTTER UNLESS SHOWN OTHERWISE.
- LAY WATER MAINS AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
- WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
- MAINTAIN A MINIMUM COVER OF 36" AND MAXIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.

- ALL FDC(S) AND HYDRANT(S) SHALL BE SIAMESE CONNECTIONS AND MEET TOWN OF CHAPEL HILL AND OWASA STANDARDS.
- A FIRE SPRINKLER SYSTEM WILL BE REQUIRED FOR THE HOTEL.
- A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO INSTALL ANY UNDERGROUND OR ABOVE-GROUND TANKS THAT CONTAINED FLAMMABLE/COMBUSTIBLE LIQUIDS. 2018 NC FIRE CODE SECTION 105.6.17.

2 WATER AND SEWER PLAN NOTES  
C2.1



1 WATER AND SEWER PLAN - OVERALL  
C2.1 SCALE: 1:80



NO.	REVISIONS	BY	DATE

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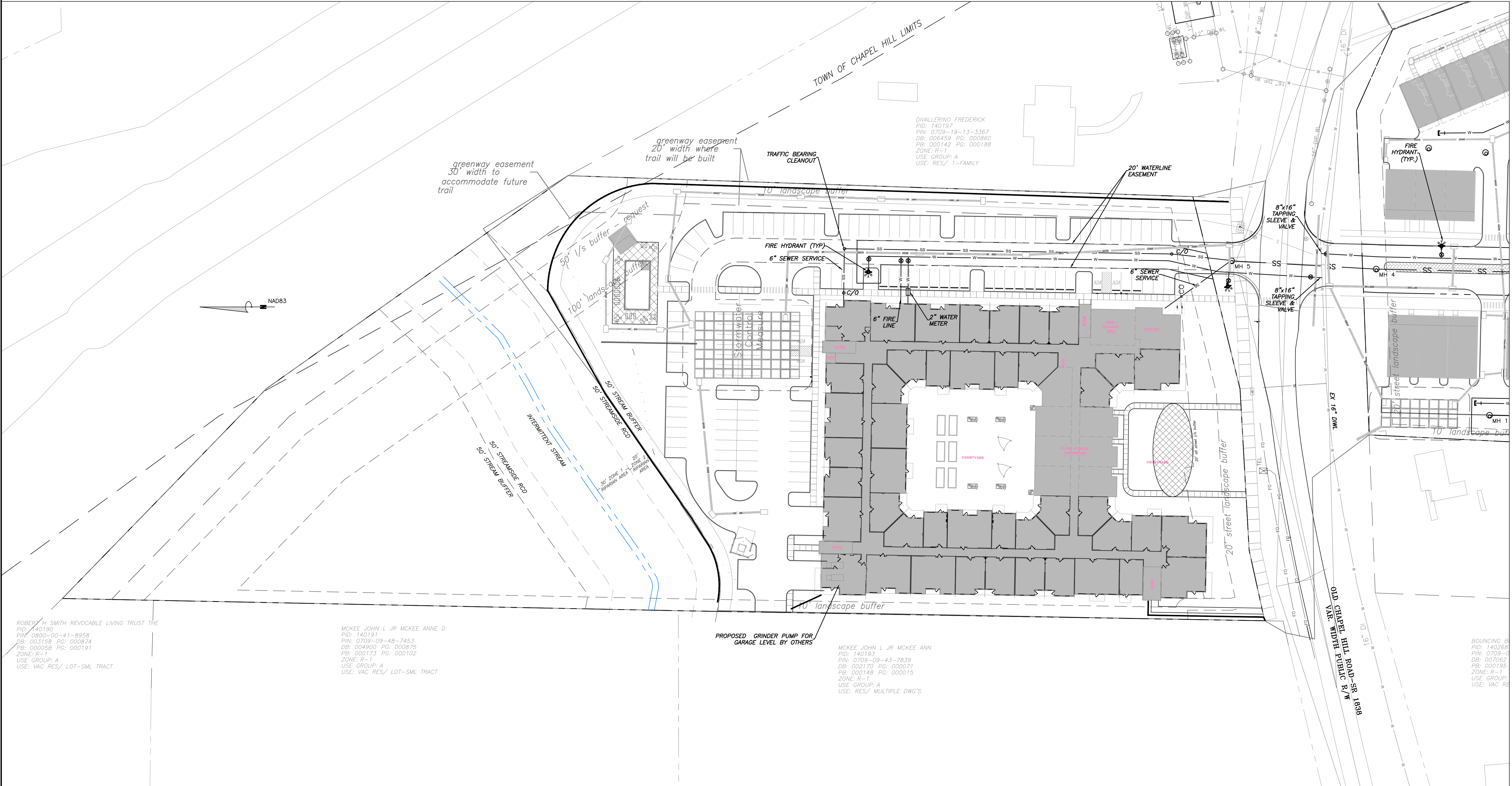
**EB CAPITAL PARTNERS**  
 CHAPEL HILL, NC  
 CHAPEL HILL CROSSINGS  
 WATER AND SEWER PLAN - OVERALL

JOB NO.:	J-30792
DATE:	8/3/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
APPROVED:	
SCALE:	1:80

**C2.1**



S:\PROJECTS\2021\2101\DWG\CAPITAL\CD\CHAPEL\_HILL\_SOLIDWING\CD\CHAPEL\_HILL\_SOLIDWING.dwg - Aug 13, 2025 1:34 PM



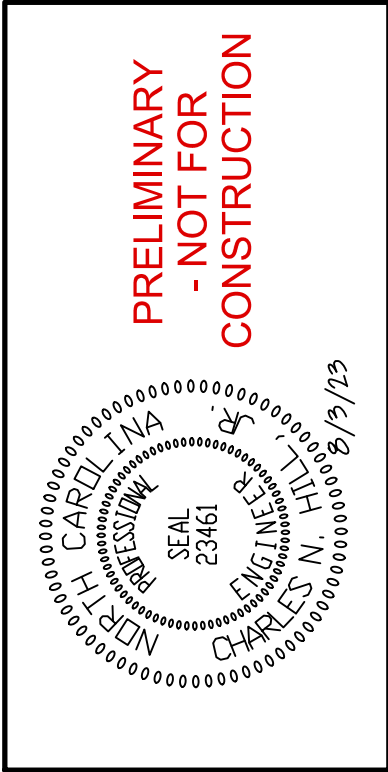
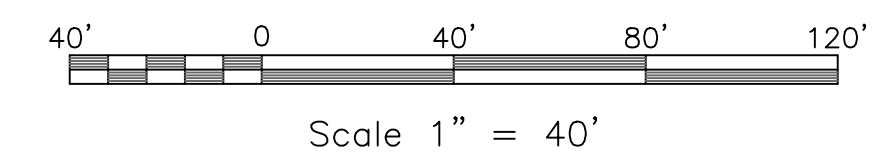
ROBERT H. SMITH REVOCABLE LIVING TRUST THE  
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 DB: 003158 PG: 000874  
 PB: 00005B PG: 000191  
 ZONE: R-1  
 USE GROUP: A  
 USE: VAC RES/ LOT-SML TRACT

MCKEE JOHN L JR MCKEE ANNE D  
 PID: 140191  
 PIN: 0709-09-48-7453  
 DB: 004900 PG: 000875  
 PB: 000173 PG: 000102  
 ZONE: R-1  
 USE GROUP: A  
 USE: VAC RES/ LOT-SML TRACT

MCKEE JOHN L JR MCKEE ANN  
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 DB: 002170 PG: 000071  
 PB: 000148 PG: 000015  
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 USE GROUP: A  
 USE: RES/ MULTIPLE DWG'S

BOUNCING B  
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 DB: 007062 PG: 000195  
 ZONE: R-1  
 USE GROUP: A  
 USE: VAC RES

1 WATER AND SEWER PLAN - NORTH  
 C2.2 SCALE: 1" = 40'



NO.	REVISIONS	BY	DATE

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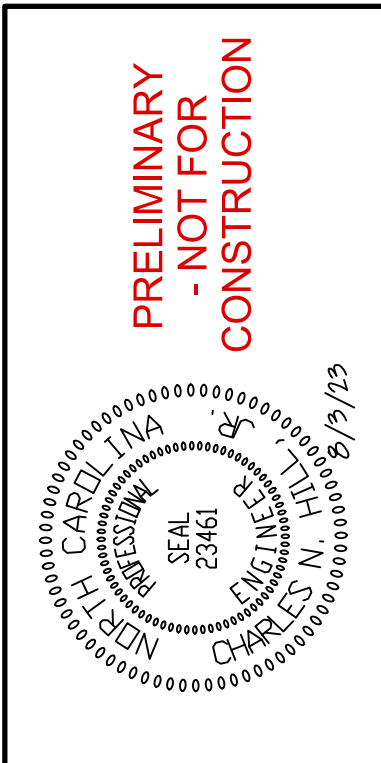
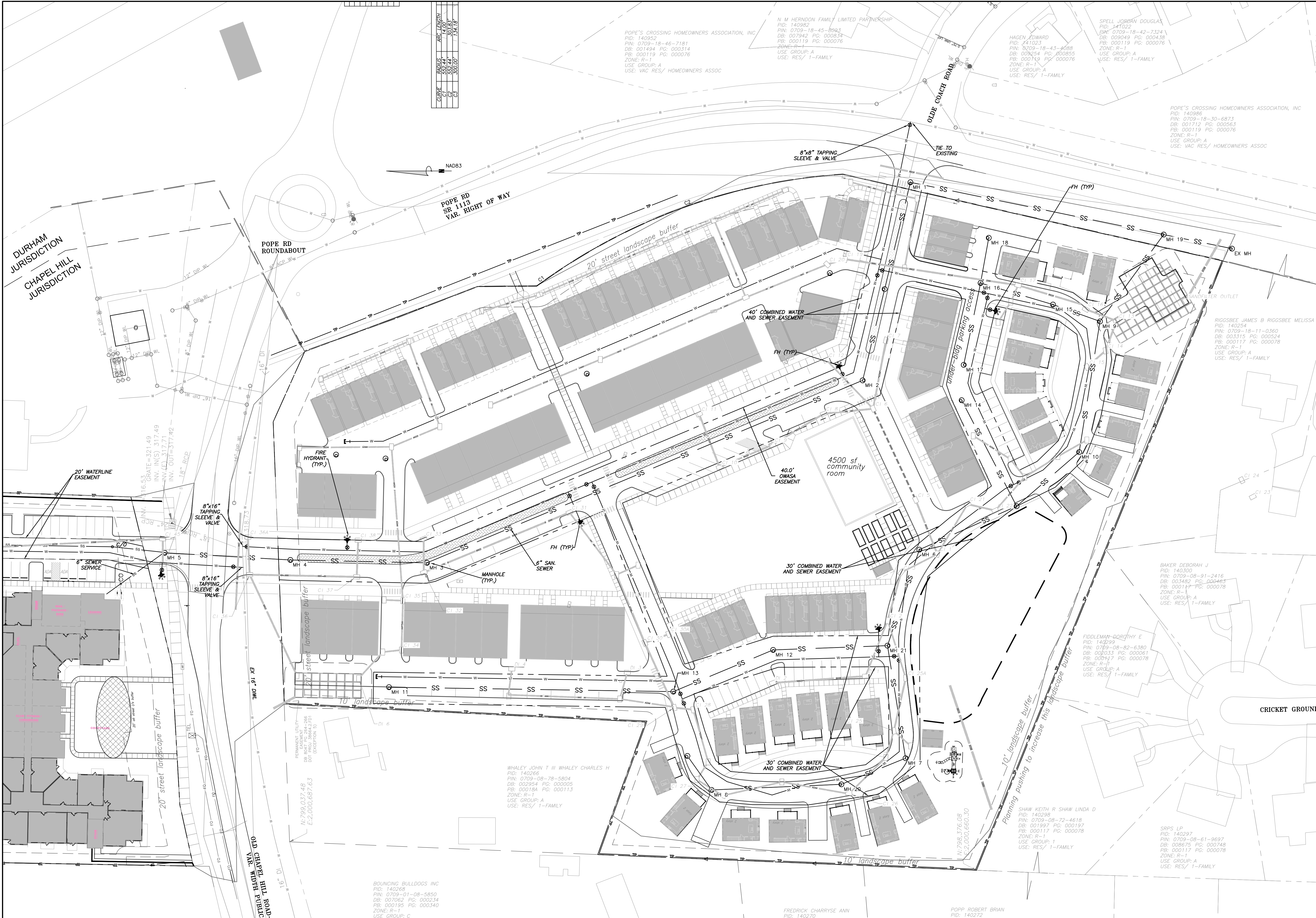
EB CAPITAL PARTNERS  
 CHAPEL HILL, NC  
 CHAPEL HILL CROSSINGS  
 WATER AND SEWER PLAN - NORTH

JOB NO: J-30792  
 DATE: 8/3/23  
 DRAWN: WLR, AMO, MTC  
 DESIGNED: WLR, AMO  
 REVIEWED: WLR, AMO  
 APPROVED: WLR, AMO  
 SCALE: 1" = 40'

**C2.2**



PROJECT NO. 2023-0101 BROWNS CAPITAL, CDD CHAPEL HILL CROSSINGS CHAPEL HILL CROSSINGS DEVELOPMENT, 3070 BROWN ST., WAKE FOREST, NC 27157



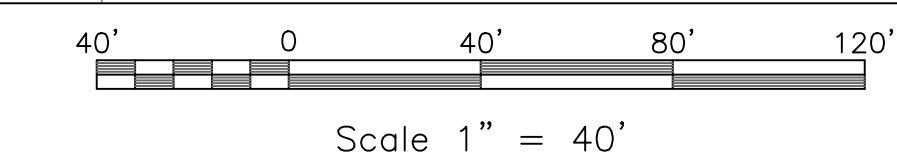
NO.	REVISIONS	BY	DATE
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**EB CAPITAL PARTNERS**  
 CHAPEL HILL, NC  
 CHAPEL HILL CROSSINGS  
 WATER AND SEWER PLAN - SOUTH

JOB NO.:	J-30792
DATE:	8/3/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	1" = 40'

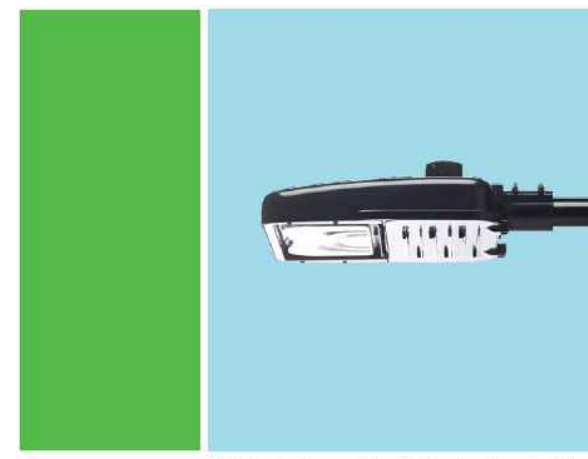
**1 WATER AND SEWER PLAN - SOUTH**  
 C2.3 SCALE: 1" = 40'



**C2.3**



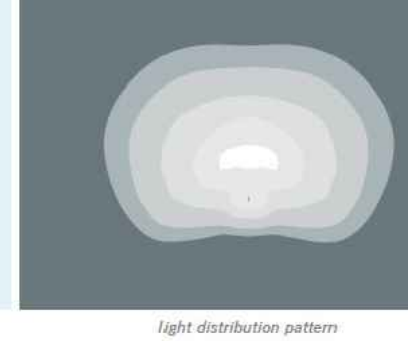
\\PROJ\PROJECTS\2021\2121\BROWNS CAPITAL CHAPEL HILL SHEDDING\CONSTRUCTION\2021\2121\LIGHTING\DWG - 11111111.dwg - Aug 3, 2023 1:34 PM



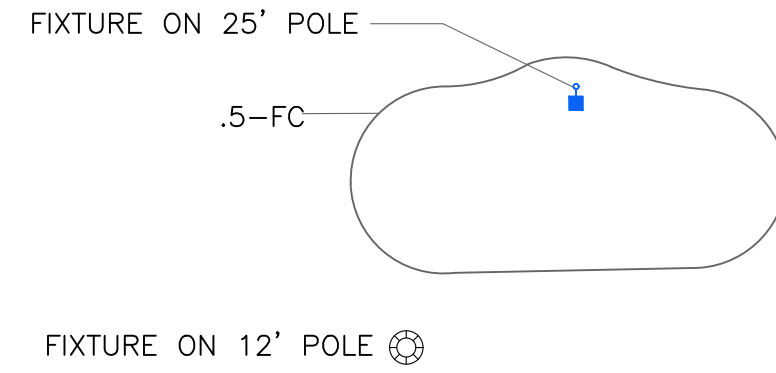
Subject to cabinet from manufacturer. Contact us for specific details.

LED 220 | 420 watts  
(Light Emitting Diode)  
Mounting heights 25', 30', 35'

Light source: LED (white)  
Wattage: 220 | 420  
Lumens: 18,500 | 43,000  
Light pattern: IESNA Type IV (forward throw)  
IESNA cutoff classification: Cutoff  
Color temperature: ~~3000K~~ LED LIGHT COLOR WILL BE 3000 K



LIGHTING KEY



2 DUKE LED SHOEBOX LIGHT  
C2.4

LIGHTING CONDUIT

LIGHTING CONDUIT SHALL MEET THE FOLLOWING GUIDELINES.

- CONDUIT DESIGN MUST BE APPROVED BY DUKE ENERGY PRIOR TO INSTALLATION. CHANGING THE CONDUIT LAYOUT CAN CAUSE CONDUCTOR LENGTH TO EXCEED ACCEPTABLE VOLTAGE LEVEL WHICH WILL AFFECT THE LIGHT'S ABILITY TO OPERATE.
- ALL CONDUITS ARE TO BE 2" SCHEDULE 40 GRAY ELECTRICAL PVC.
- ALL JOINTS ARE TO BE GLUED.
- ALL ENDS ARE TO BE MARKED WITH SCRAP CONDUIT OR A BOARD (PAINTING THE GROUND WITH MARKING PAINT IS NOT ACCEPTABLE). IT IS STRONGLY SUGGESTED THAT THE ENDS SHOULD BE IDENTIFIED BY GPS COORDINATES.
- ALL ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
- ALL CONDUITS MORE THAN 30' IN LENGTH SHALL HAVE A STRING INSTALLED.
- TO COMPLY WITH NESC; ALL CONDUIT ARE TO BE INSTALLED AT A MINIMUM DEPTH OF 30" FROM FINISH GRADE TO TOP OF CONDUIT. CONDUITS THAT CAN NOT MEET THIS CRITERIA MUST BE INCASED IN 3" MINIMUM CONCRETE ENVELOPE. (FLOWABLE FILL IS ACCEPTABLE IN PLACE OF CONCRETE).
- IF CONCRETE ENCASED CONDUIT IS REQUIRED AT ANY POINT, IT MUST BE ENCASED IN CONCRETE UNTIL PIPE IS BACK DOWN TO REQUIRED DEPTH.
- PEDESTAL AREAS WHERE MULTIPLE CONDUIT ENDS TERMINATE ARE TO HAVE THE CONDUIT ENDS WITHIN 12" OF EACH OTHER.
- DIRECT BURIED LIGHT POLE AREAS ARE TO HAVE CONDUITS TERMINATE 36" APART AND 12" BACK OF POLE LOCATION.
- CONDUITS SERVING LIGHTS ON CONCRETE REVEALS ARE TO BE CONTINUOUS FROM REVEAL TO REVEAL.

3 LIGHTING NOTES  
C2.4

LIGHTING NOTES

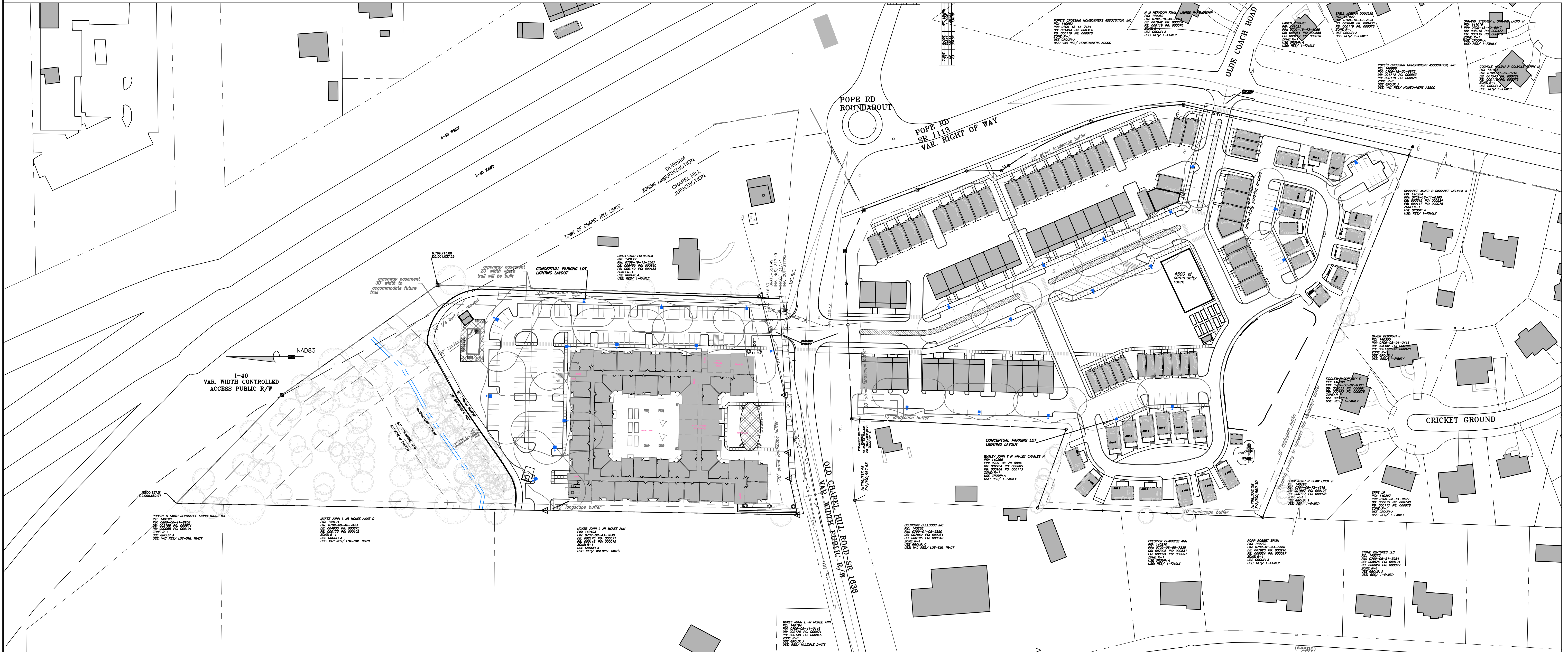
- MEASURES SHALL BE PROVIDED TO PREVENT LIGHT SPILLOVER ONTO ADJACENT PROPERTIES AND GLARE TOWARD MOTOR VEHICLE OPERATORS. EXTERIOR LIGHTS SHALL BE SHIELDED SO THEY DO NOT CAST DIRECT LIGHT BEYOND THE PROPERTY LINE.
- PROVIDE 2" PVC CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AS NECESSARY, AND AS DETERMINED BY DUKE ENERGY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES. COORDINATE WITH DUKE ENERGY TO FINALIZE CONDUIT LOCATIONS AND LENGTHS.

SPECIAL COORDINATION NOTES:

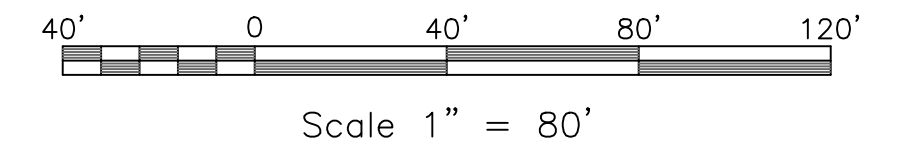
- CONTRACTOR IS TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS WITH DUKE ENERGY PRIOR TO INSTALLATION OF WALLS AND PAVING.
- ABOVE GROUND PEDESTALS AND LIGHT POLES WILL BE PROVIDED AND INSTALLED BY DUKE ENERGY.
- CONTRACTOR IS TO REFER TO DUKE ENERGY SPECIFICATIONS FOR CONDUIT INSTALLATION.
- CONDUIT IS TO BE FURNISHED AND INSTALLED BY CONTRACTOR.

FINAL LIGHTING NOTES:

- LIGHTING LAYOUT SHOWN IS CONCEPTUAL. PARKING LOT LIGHTING WILL BE PROVIDED. SIDEWALK LIGHTING WILL BE PROVIDED.
- LIGHTING FOR PARKING LOTS WILL BE PROVIDED AND INSTALLED BY DUKE ENERGY. ADDITIONAL PEDESTRIAN SCALE LIGHTING WILL BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR.
- ALL LIGHTING WILL BE WARM COLOR LED LIGHTING.
- ALL LIGHTING WILL COMPLY WITH LUMO REQUIREMENTS.
- LIGHTING PLAN WITH FOOTCANDLE LIGHT DISTRIBUTION WILL BE PROVIDED AT FINAL PLAN STAGE.



1 LIGHTING PLAN - OVERALL  
C2.4 SCALE: 1" = 80'



**PRELIMINARY - NOT FOR CONSTRUCTION**

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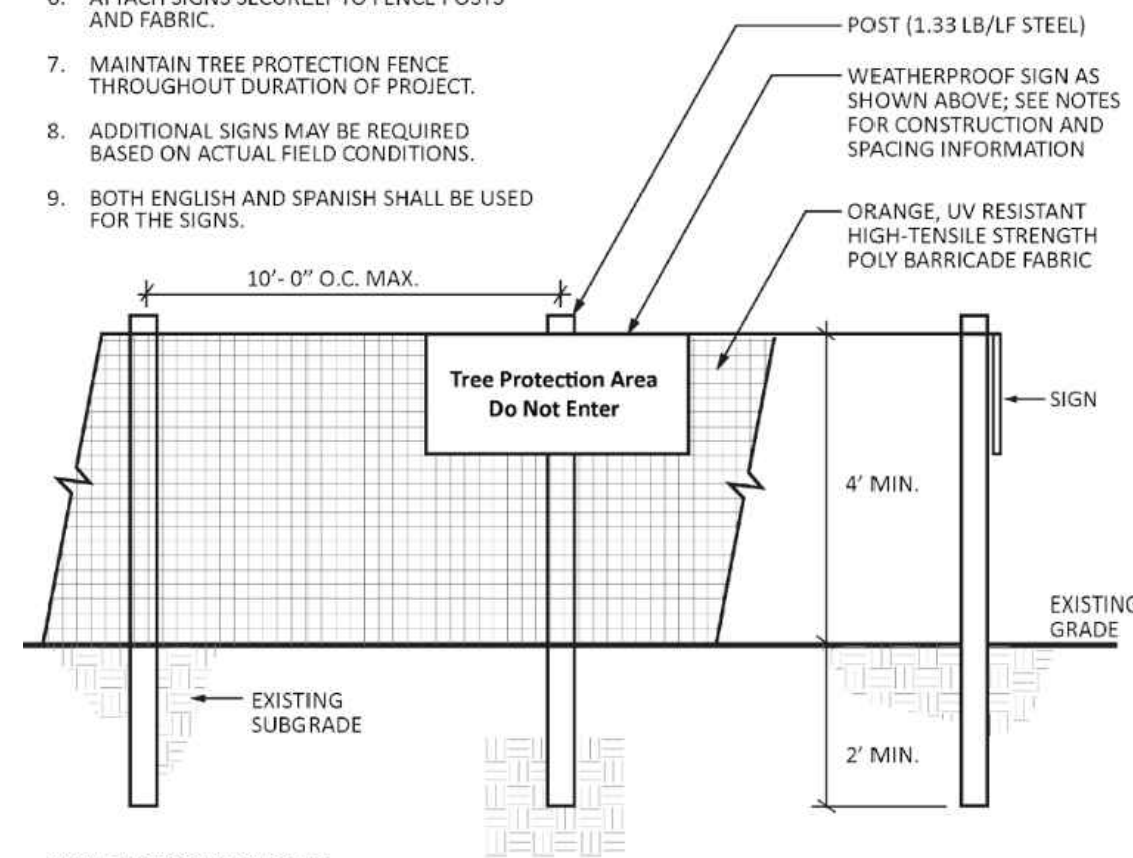
**EB CAPITAL PARTNERS**  
CHAPEL HILL, NC  
CHAPEL HILL CROSSINGS  
LIGHTING PLAN - OVERALL

JOB NO.: J-30792  
DATE: 8/3/23  
DRAWN: WLR, AMO, MTC  
DESIGNED: WLR, AMO  
APPROVED:  
SCALE: 1" = 80'

**C2.4**



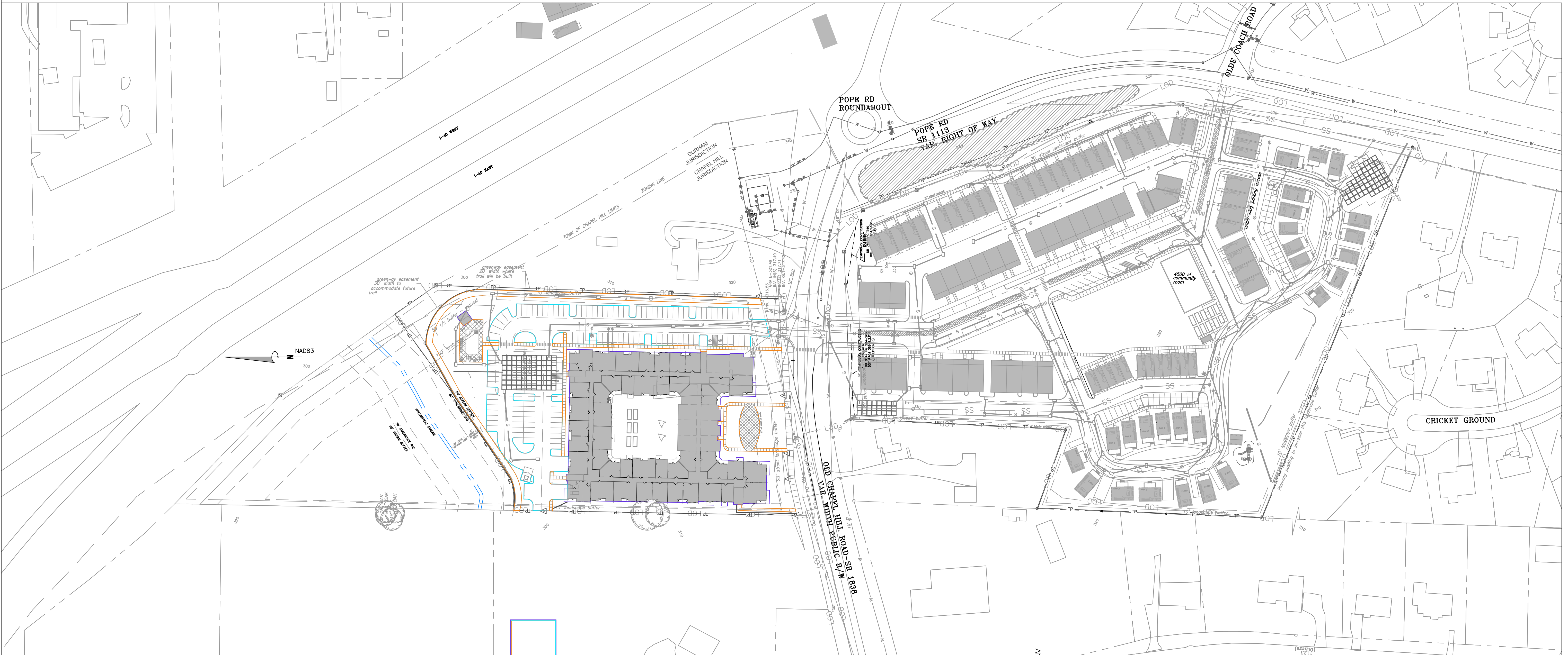
- NOTES:**
1. WARNING SIGNS SHALL BE MADE OF DURABLE WEATHERPROOF MATERIAL.
  2. LETTERS SHALL BE 3" HIGH MINIMUM, CLEARLY LEGIBLE, AND SPACED AS SHOWN.
  3. SIGNS ARE TO BE PLACED NO GREATER THAN 100 FT. ON CENTER.
  4. PLACE SIGN AT EACH END OF LINEAR TREE PROTECTION AREAS AND 100 FT. ON-CENTER THEREAFTER.
  5. FORE TREE PROTECTION AREAS LESS THAN 100 FT. IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER AREA.
  6. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
  7. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
  8. ADDITIONAL SIGNS MAY BE REQUIRED BASED ON ACTUAL FIELD CONDITIONS.
  9. BOTH ENGLISH AND SPANISH SHALL BE USED FOR THE SIGNS.



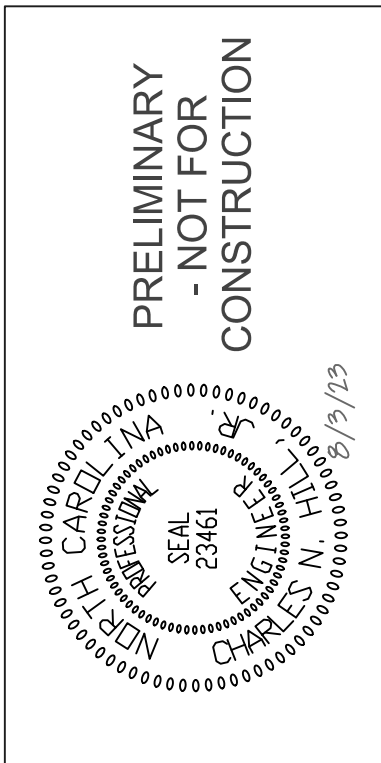
**2** TREE PROTECTION FENCING DETAIL  
C3.0

1. PRE-CONSTRUCTION CONFERENCE. PRIOR TO THE COMMENCEMENT OF ANY ACTIVITIES REQUIRING A ZONING COMPLIANCE PERMIT, A PRE-CONSTRUCTION CONFERENCE WITH THE TOWN'S URBAN FORESTER OR LANDSCAPE ARCHITECT SHALL TAKE PLACE TO REVIEW PROCEDURES FOR PROTECTION AND MANAGEMENT OF ALL PROTECTED LANDSCAPE ELEMENTS IDENTIFIED ON THE LANDSCAPE PROTECTION PLAN.
2. THE FOLLOWING ON-SITE SUPERVISION IS REQUIRED:
  - I. THE APPLICANT SHALL DESIGNATE AS LANDSCAPE PROTECTION SUPERVISORS ONE OR MORE PERSONS WHO HAVE COMPLETED INSTRUCTION IN LANDSCAPE PROTECTION PROCEDURES WITH THE TOWN.
  - II. IT SHALL BE THE DUTY OF THE LANDSCAPE PROTECTION SUPERVISOR TO ENSURE THE PROTECTION OF NEW OR EXISTING LANDSCAPE ELEMENTS, AS DEFINED IN THE LANDSCAPE PROTECTION PLAN. THE APPROVED LANDSCAPE PROTECTION SUPERVISOR SHALL SUPERVISE ALL SITE WORK TO ASSURE THAT DEVELOPMENT ACTIVITY CONFORMS TO PROVISIONS OF THE APPROVED LANDSCAPE PROTECTION PLAN. AT LEAST ONE (1) IDENTIFIED LANDSCAPE PROTECTION SUPERVISOR SHALL BE PRESENT ON THE DEVELOPMENT SITE AT ALL TIMES WHEN ACTIVITY THAT COULD DAMAGE OR DISTURB SOIL AND ADJACENT LANDSCAPE ELEMENTS OCCURS SUCH AS:
    - CLEARING AND GRUBBING;
    - ANY EXCAVATION, GRADING, TRENCHING OR MOVING OF SOIL;
    - REMOVAL, INSTALLATION, OR MAINTENANCE OF ALL LANDSCAPE ELEMENTS AND LANDSCAPE PROTECTION DEVICES; OR
    - DELIVERY, TRANSPORTING, AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT ON SITE.
3. LANDSCAPING ACTIVITIES TAKING PLACE AFTER THE REMOVAL OF PROTECTIVE FENCING SHALL BE ACCOMPLISHED WITH LIGHT MACHINERY OR HAND LABOR AND IN ACCORDANCE WITH THE TOWN'S LANDSCAPING STANDARDS AND SPECIFICATIONS.

**3** TREE PROTECTION NOTES  
C3.0



**1** LANDSCAPE PROTECTION PLAN  
C3.0



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CHAPEL HILL CROSSINGS  
LANDSCAPE PROTECTION PLAN

JOB NO:	J-30792
DATE:	8/3/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	1" = 80'

**C3.0**



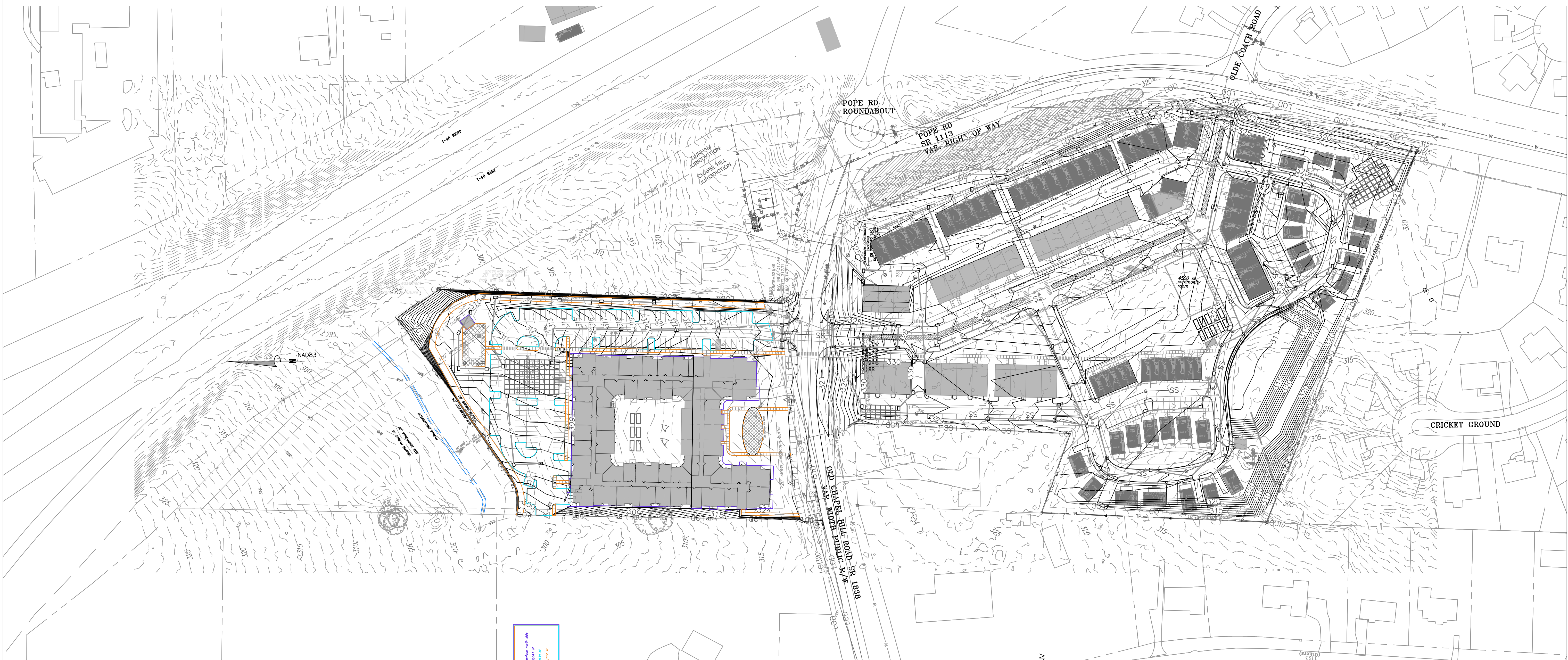
15 PROJECT LOCATION: 1000 W. MAIN STREET, CHAPEL HILL, NC 27514. DATE: 8/3/23. 1:1"=80'

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL AND NCDOT STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
- ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
- ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.8% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.
- CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
- CURB INLETS: PROVIDE PRE-CAST CURB INLET HOODS AND COVERS STATING, "DUMP NO WASTE! DRAINS TO JORDAN LAKE", IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN STANDARD DETAIL SD-5A, FOR ALL NEW CURB INLETS FOR PRIVATE, TOWN AND STATE RIGHTS-OF-WAY.
- BW (BOTTOM OF WALL) ELEVATION IS FINISH GRADE, NOT THE FOOTING. REFERENCE RETAINING WALL PLANS/DETAILS FOR DEPTH OF FOOTING.
- ANY DISTURBANCE WITHIN THE FORESTED "NO LAND DISTURBANCE AREA" WILL REQUIRE AN UPDATE TO THE JORDAN ACCOUNTING TOOL.

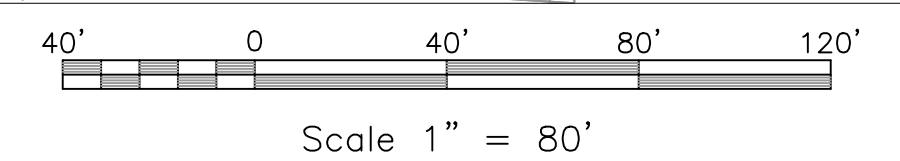
- ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND NCDOT STANDARDS.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- RISER STRUCTURES WITH MULTIPLE BARREL SECTIONS SHALL HAVE GASKETTED JOINTS, AND EACH SECTION SHALL BE BOLTED TO ADJACENT SECTIONS WITH STAINLESS STEEL STRAPS.

**2** GRADING NOTES  
C3.1

**3** STORMWATER NOTES  
C3.1



**1** GRADING AND DRAINAGE PLAN - OVERALL  
C3.1 SCALE: 1" = 80'



PRELIMINARY  
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CONSTRUCTION

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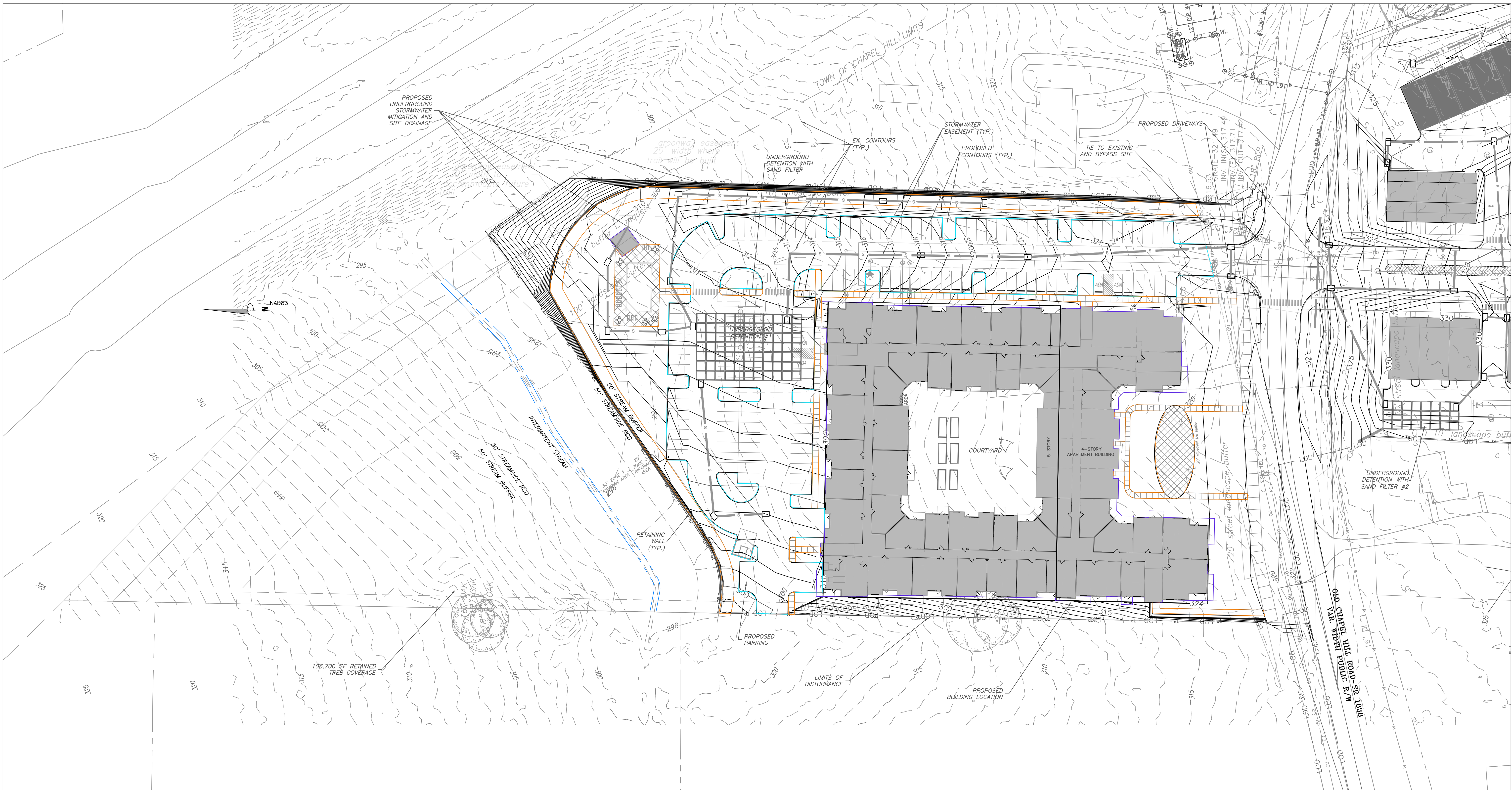
EB CAPITAL PARTNERS  
CHAPEL HILL, NC  
CHAPEL HILL CROSSINGS  
GRADING AND DRAINAGE PLAN - OVERALL

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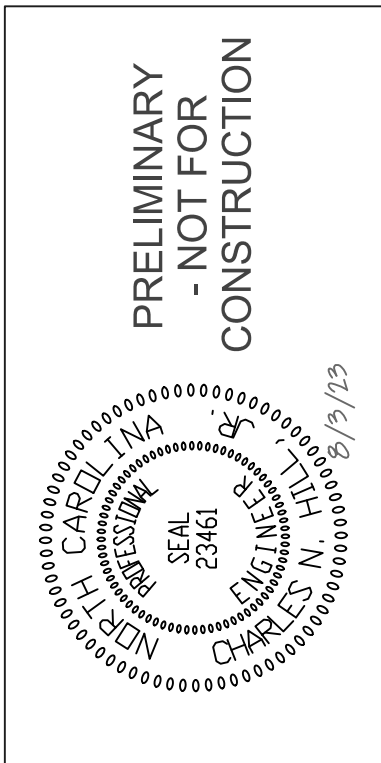
**C3.1**



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Water Valve		Utility Pole	
Yard Inlet		Guy Wire	
Curb Inlet/Catch Basin		Light Pole	
Mail Box		Sewer Cleanout	
Traffic Signal Box		Flared End Section	
Electric Transformer		Gas Valve	
Electric Junction Box		Existing Iron Pipe (3/4" unless noted)	
Gas Meter		1/2" Rebar	
Sanitary Sewer Manhole		1/2" Iron Pipe Set	
Storm Sewer Manhole		Existing PK Nail	
Telephone Manhole		PK Nail Set	
Electric Manhole		Computed Point	
Sign		Concrete Monument	
Telephone Pedestal		Tree Line	
Fire Hydrant		Fence	
Fire Department Connection		Underground Electric	
Post Indicator Valve		Underground Telephone	
Water Meter		Gas Line	
Hot Box		Water Line	
		Overhead Utilities	
		Storm Sewer	
		Sanitary Sewer	



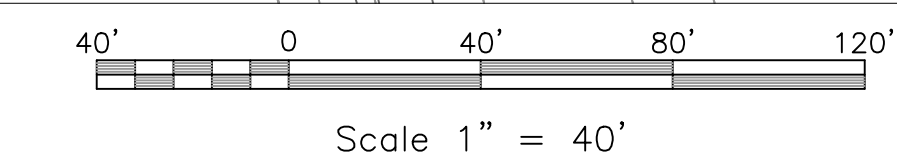
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EB CAPITAL PARTNERS  
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 GRADING AND DRAINAGE PLAN - NORTH

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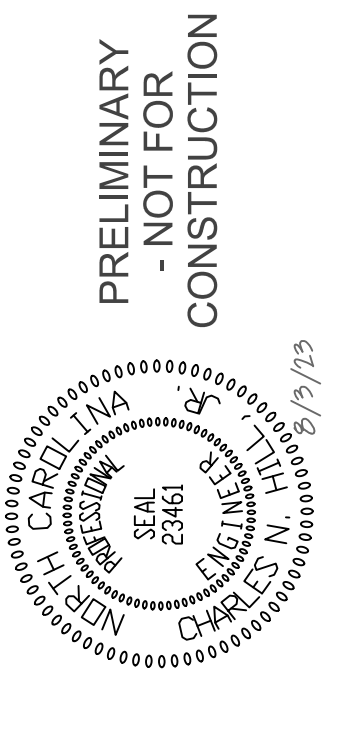
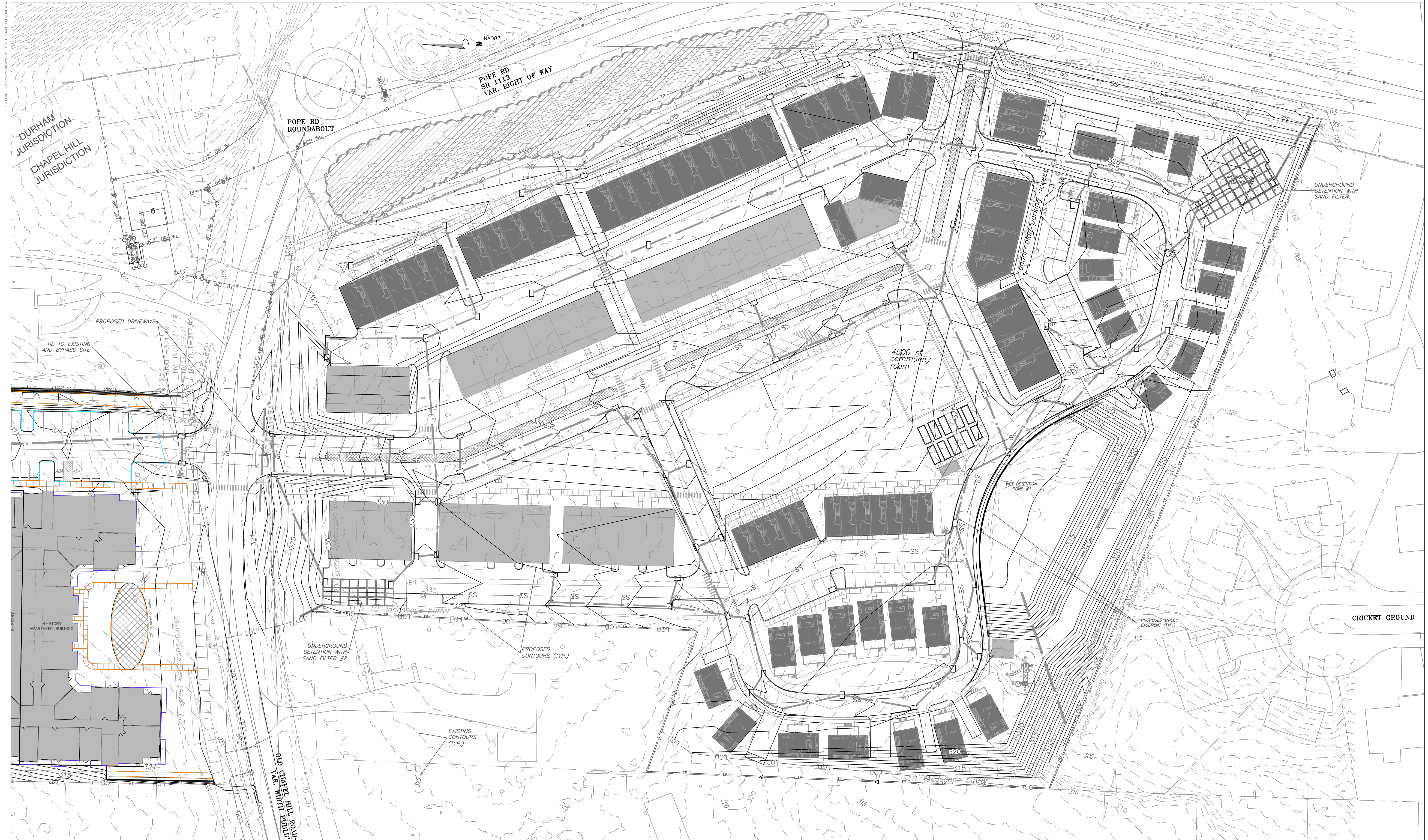
**1** GRADING AND DRAINAGE PLAN - NORTH  
 C3.2 SCALE: 1" = 40'



**C3.2**



Water Valve	Utility Pole	Manhole
Yard Inlet	Guy Wire	Light Pole
Curb Inlet/Catch Basin	Sewer Cleanout	Electric Transformer
Mold Box	Flared End Section	Gas Valve
Traffic Signal Box	Existing Iron Pipe (3/4" unless noted)	1/2" Rebar
Electric Transformer	1/2" Iron Pipe Set	Existing PK Nail
Electric Junction Box	PK Nail Set	Computed Point
Gas Meter	Concrete Monument	Tree Line
Sanitary Sewer Manhole	Fence	Underground Electric
Storm Sewer Manhole	Underground Telephone	Gas Line
Telephone Manhole	Water Line	Water Line
Electric Manhole	Overhead Utilities	Storm Sewer
Sign	Telephone Pedestal	Fire Hydrant
Telephone Pedestal	Fire Department Connection	Post Indicator Valve
Fire Hydrant	Water Meter	Hot Box



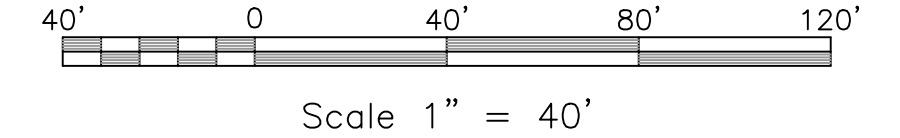
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 CHAPEL HILL, NC  
 CHAPEL HILL CROSSINGS  
 GRADING AND DRAINAGE PLAN - SOUTH

JOB NO:	J-30792
DATE:	8/3/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
APPROVED:	WLR, AMO
SCALE:	1" = 40'

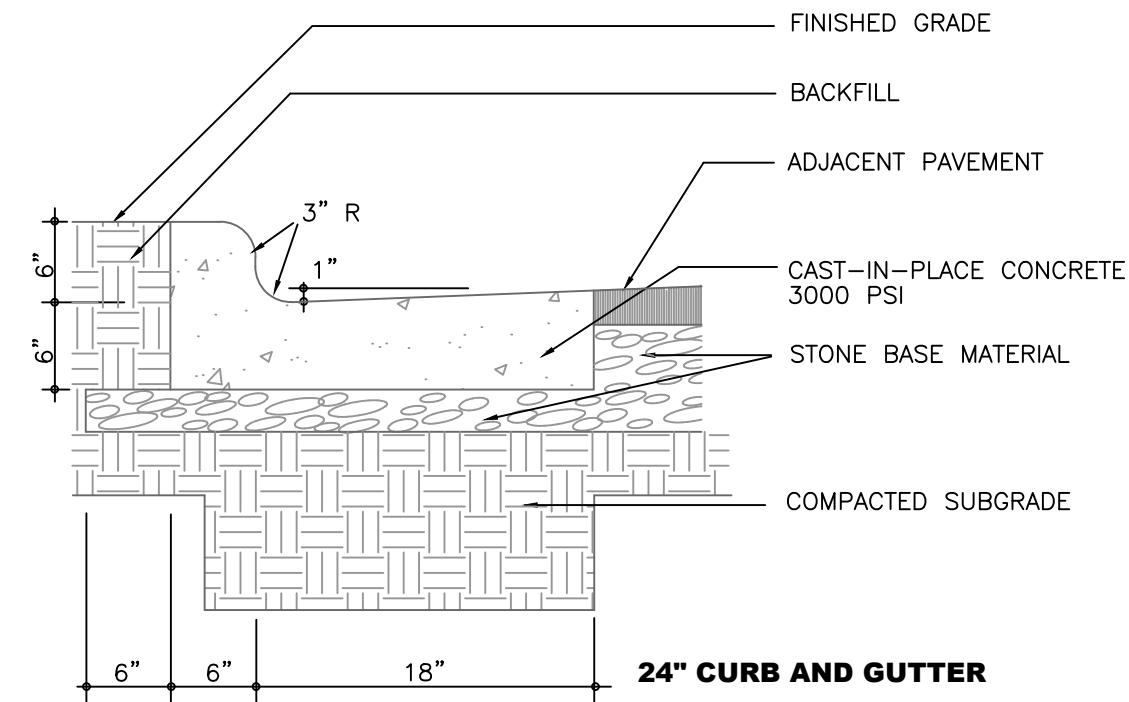
**1** GRADING AND DRAINAGE PLAN - SOUTH  
 C3.3 SCALE: 1" = 40'



**C3.3**



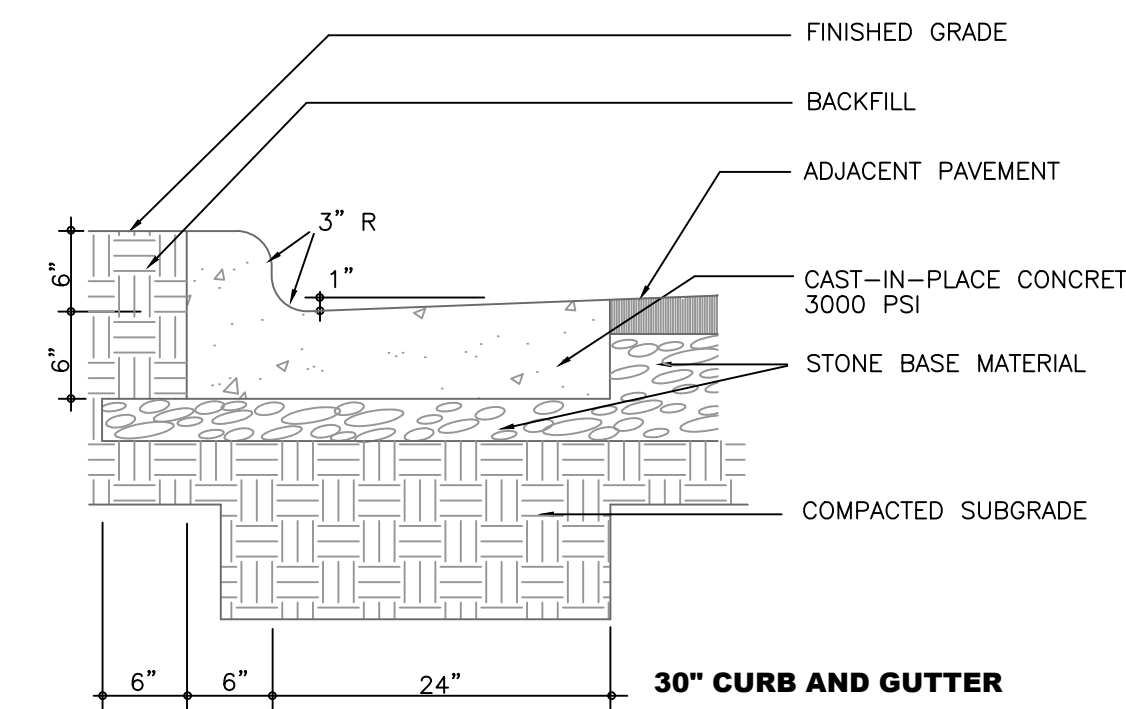
-CONTRACTION JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS. EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.  
 -CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE MAINTAINED.  
 -ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT FILLER.  
 -JOINTS SHALL MATCH LOCATIONS WITH JOINT IN ADJUTING SIDEWALK.  
 -EXPANSION JOINTS SHALL BE SPACED AT 90 FOOT INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.



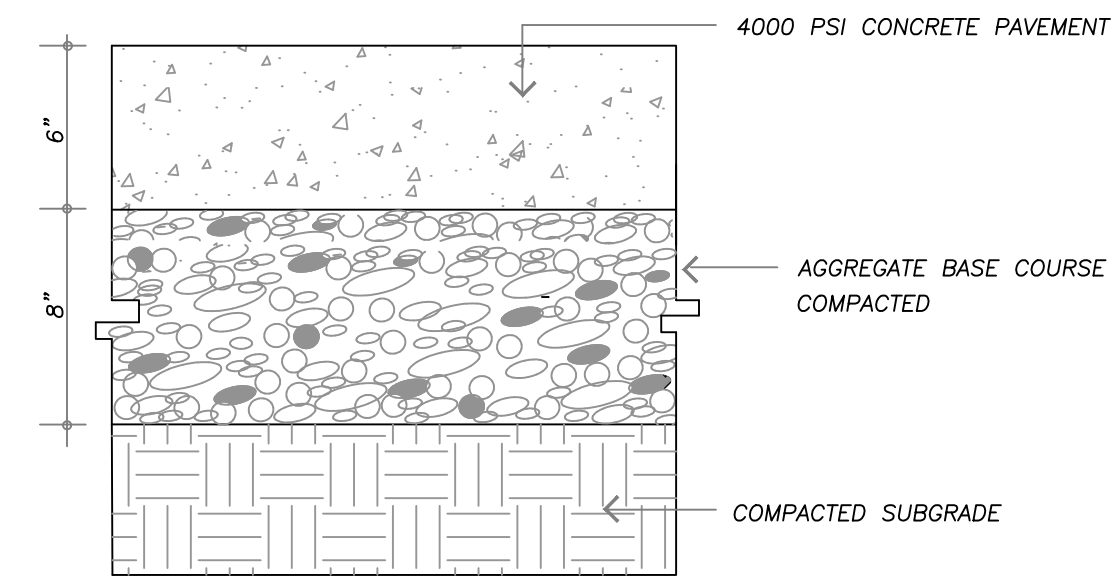
NOTE THAT THIS DETAIL DOES NOT MEET NC DOT REQUIREMENTS. ANY CURB AND GUTTER TO BE CONSTRUCTED IN THE HOMESTEAD ROAD RIGHT OF WAY IS TO FOLLOW NC DOT STANDARDS RE: 2/C800

**1**  
C3.4 ON SITE CURB & GUTTER  
no scale

-CONTRACTION JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS. EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.  
 -CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE MAINTAINED.  
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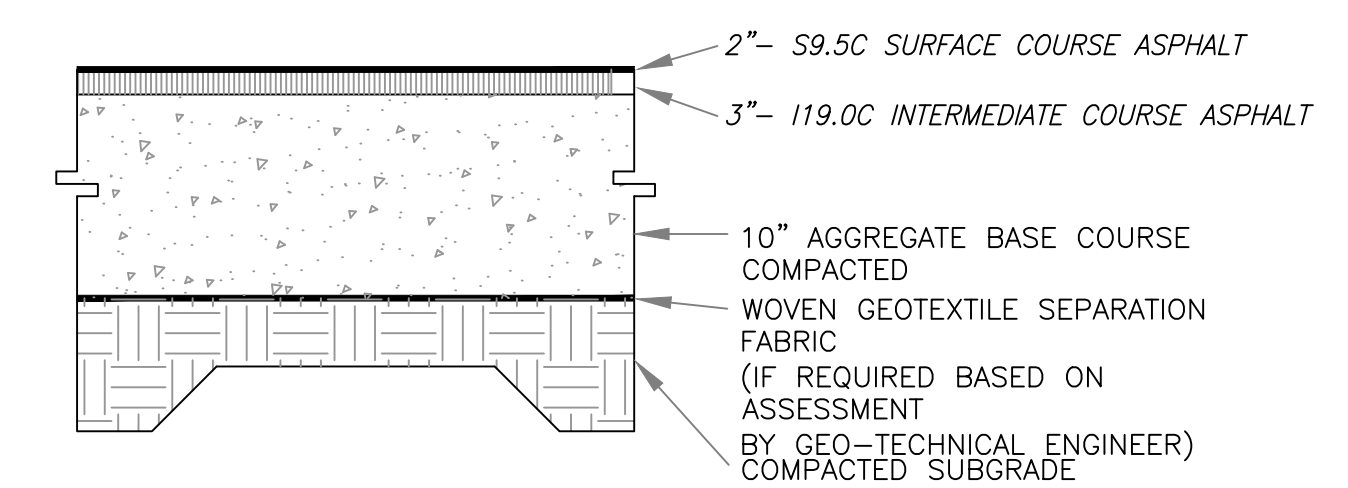


**2**  
C3.4 OFF SITE CURB & GUTTER  
no scale



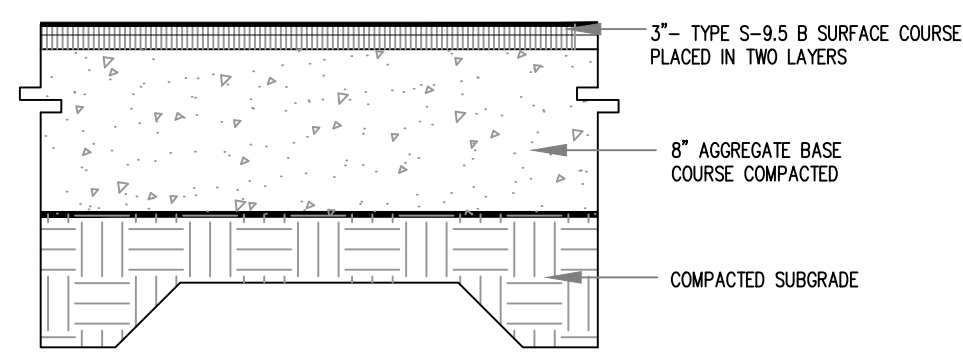
NOTES:  
 1. ALL CONCRETE TO 4000 PSI, PROPERLY AIR ENTRAINED FOR EXTERIOR GRADE CONCRETE MIXES.  
 2. C&G BASE AND SOIL SUBGRADE TO BE COMPACTED TO 98% OF THE ASTM D-698 STD. PROCTOR MDD IN ACCORDANCE WITH THE REPORT BY THE GEOTECHNICAL ENGINEER AND PROOFROLLED AND APPROVED BY GEOTECHNICAL PERSONNEL.  
 3. CONTRACTOR SHALL INSTALL CONTRACTION AND EXPANSION JOINTS AS NECESSARY TO MINIMIZE CRACKING. CONTRACTION JOINTS SHALL BE SPACED AT 10' MAXIMUM EACH WAY WITH ACTUAL PATTERN BASED ON FIELD CONDITIONS. JOINTS SHALL BE TOOLED OR SAW CUT TO A MINIMUM DEPTH OF 2". EXPANSION JOINTS SHALL BE INSTALLED BETWEEN PAVEMENT AND ANY RIGID OBJECTS AND SPACED AS SPECIFIED IN LATEST VERSION OF ACI STANDARDS.  
 4. ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH LATEST VERSION OF ACI STANDARDS AND THE REPORT BY THE GEOTECHNICAL ENGINEER.

**3**  
C3.4 HEAVY DUTY CONCRETE PAVING  
no scale



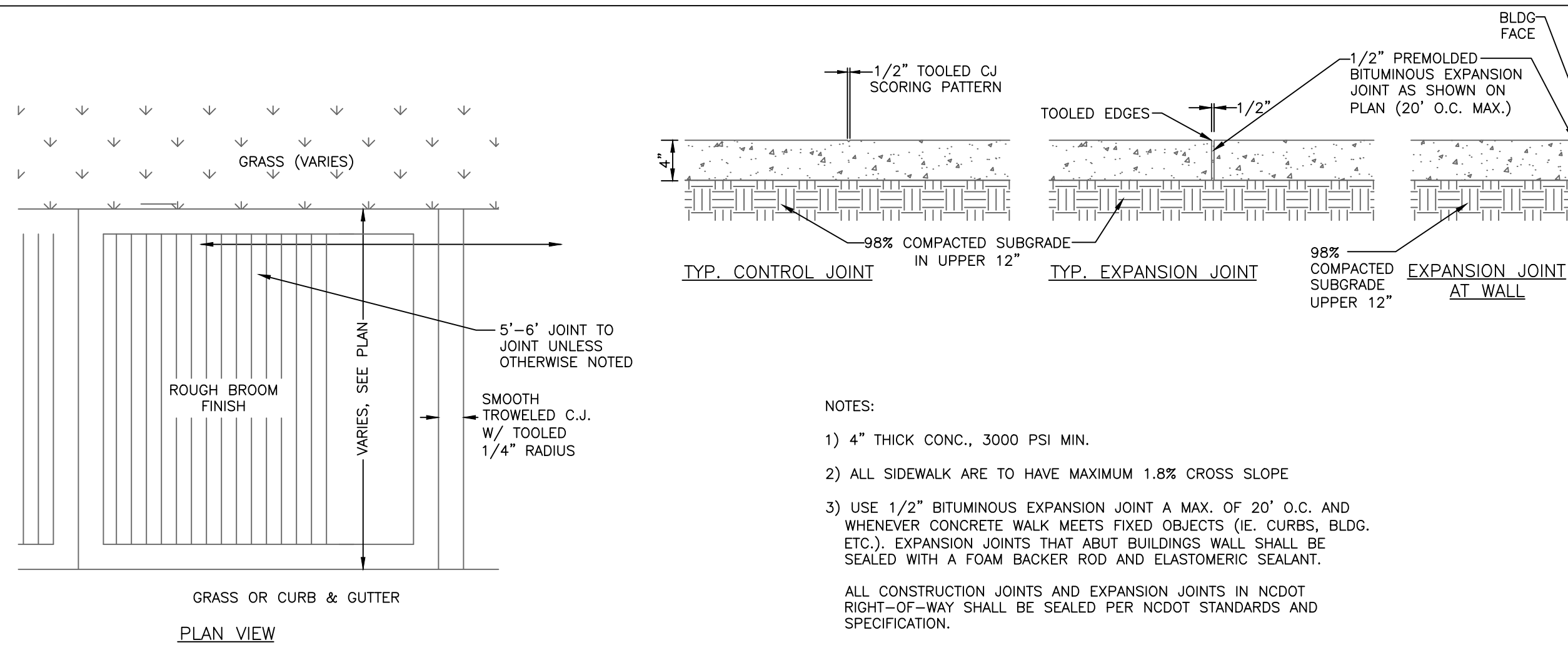
FINAL PAVEMENT SECTION IS PROVIDED BY GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC GEO-TECHNICAL REPORT

**3**  
C3.4 HEAVY DUTY ASPHALT PAVING  
no scale



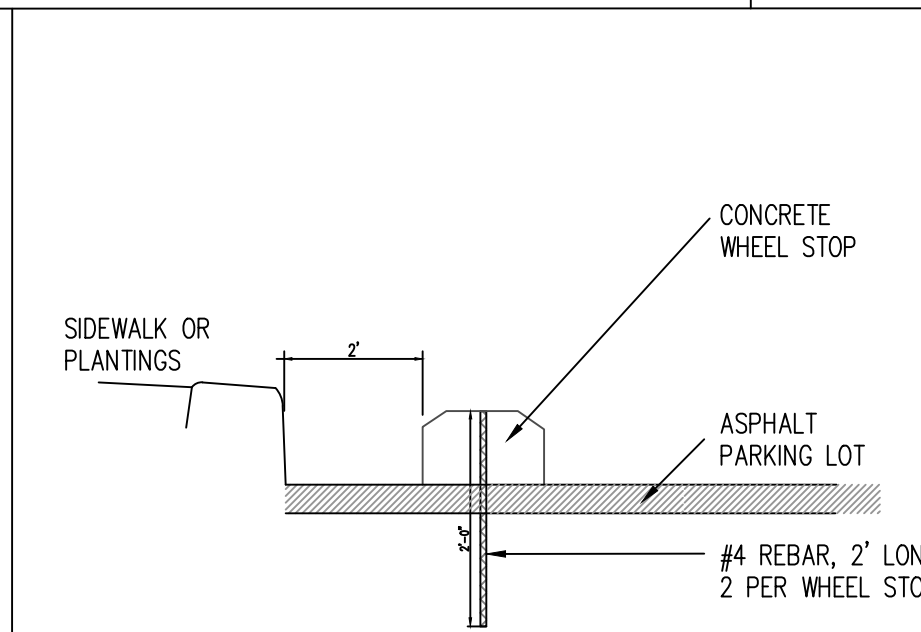
FINAL PAVEMENT SECTION IS PROVIDED BY GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC GEO-TECHNICAL REPORT

**5**  
C3.4 STANDARD ASPHALT PAVING  
no scale



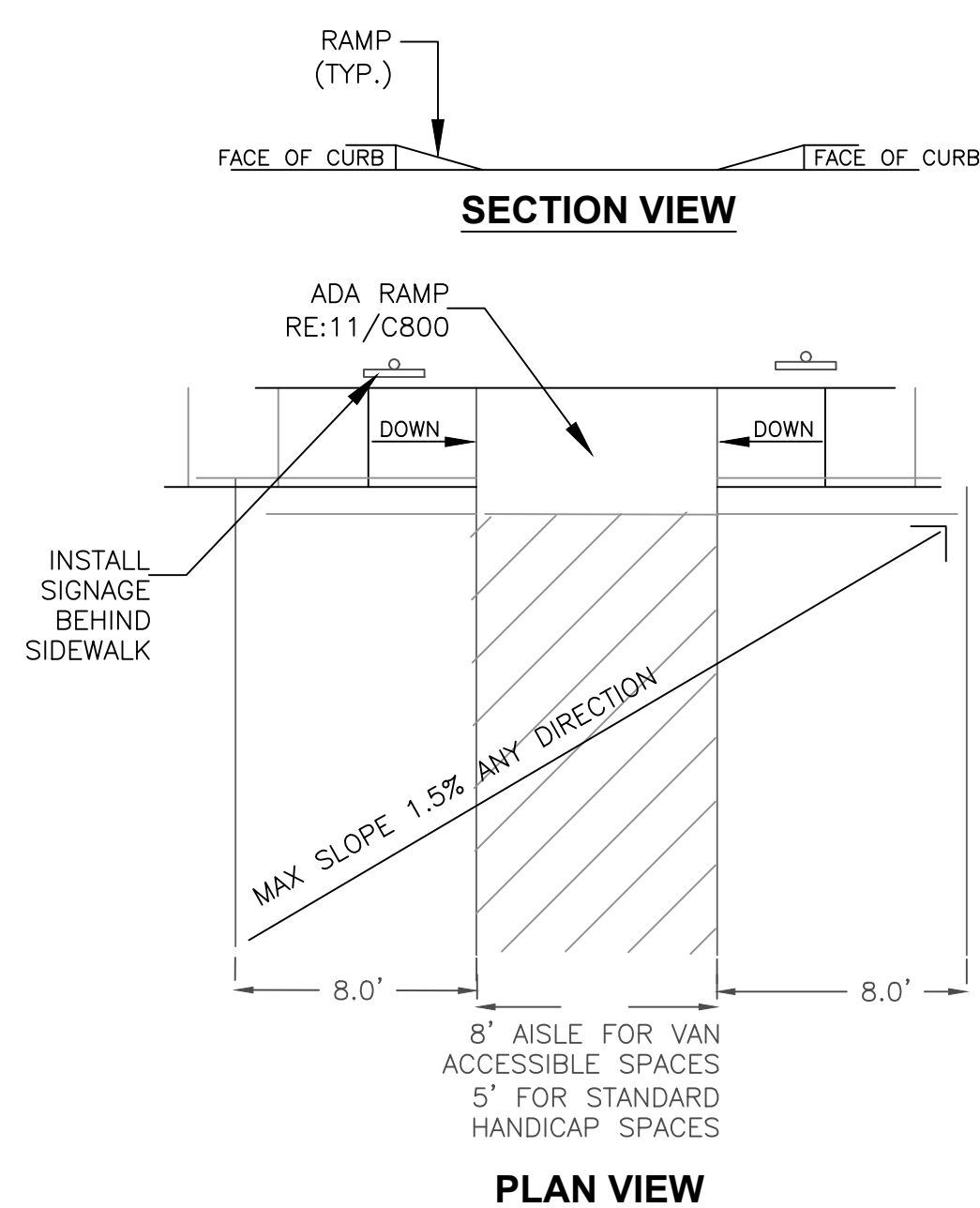
NOTES:  
 1) 4" THICK CONC., 3000 PSI MIN.  
 2) ALL SIDEWALK ARE TO HAVE MAXIMUM 1.8% CROSS SLOPE  
 3) USE 1/2" BITUMINOUS EXPANSION JOINT A MAX. OF 20' O.C. AND WHENEVER CONCRETE WALK MEETS FIXED OBJECTS (I.E. CURBS, BLDG. ETC.), EXPANSION JOINTS THAT ABUT BUILDINGS WALL SHALL BE SEALED WITH A FOAM BACKER ROD AND ELASTOMERIC SEALANT.  
 ALL CONSTRUCTION JOINTS AND EXPANSION JOINTS IN NCDOT RIGHT-OF-WAY SHALL BE SEALED PER NCDOT STANDARDS AND SPECIFICATION.  
 4) ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.

**6**  
C3.4 ON SITE CONCRETE SIDEWALK  
no scale

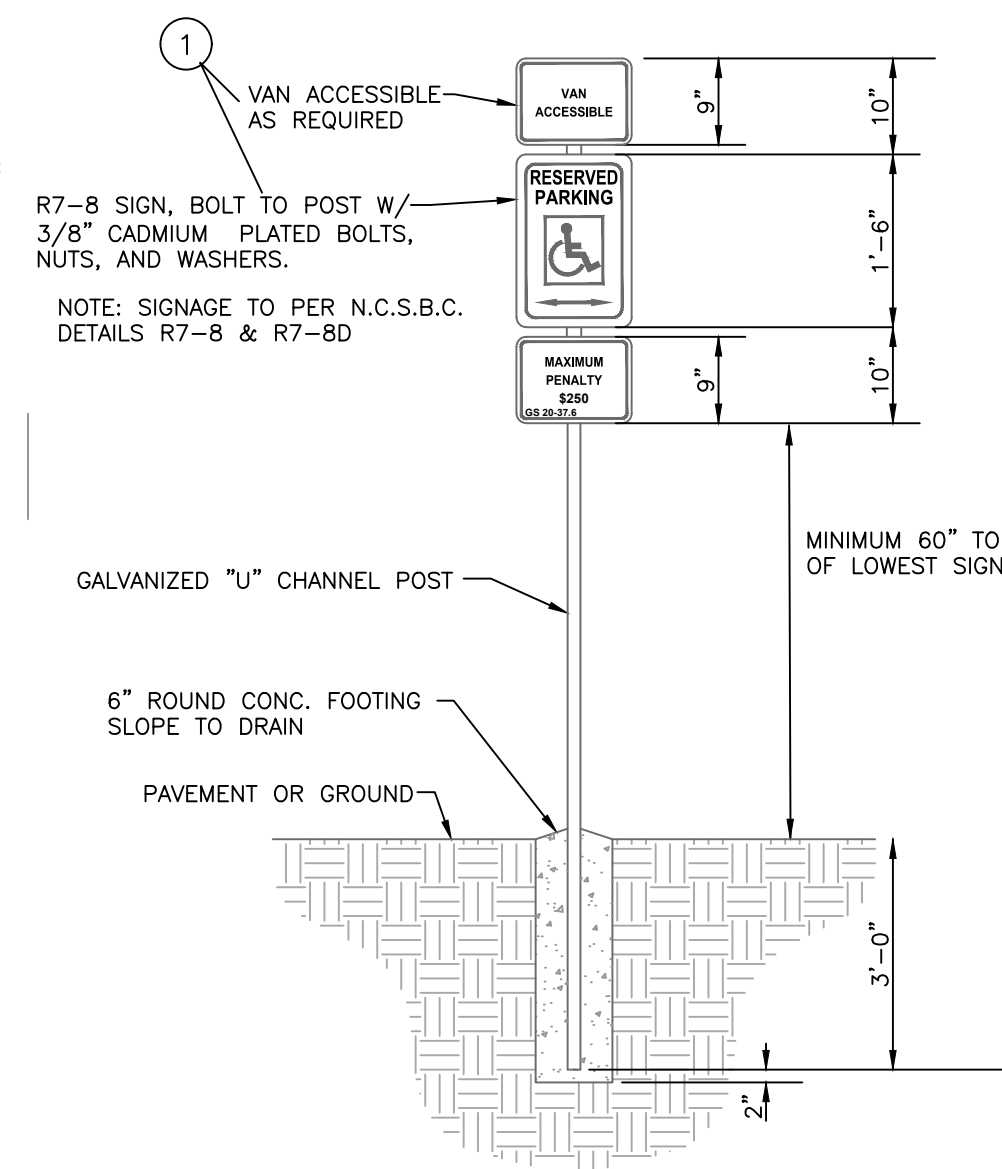


**7**  
C3.4 WHEELSTOP  
no scale

**8**  
C3.4 NOT USED  
no scale

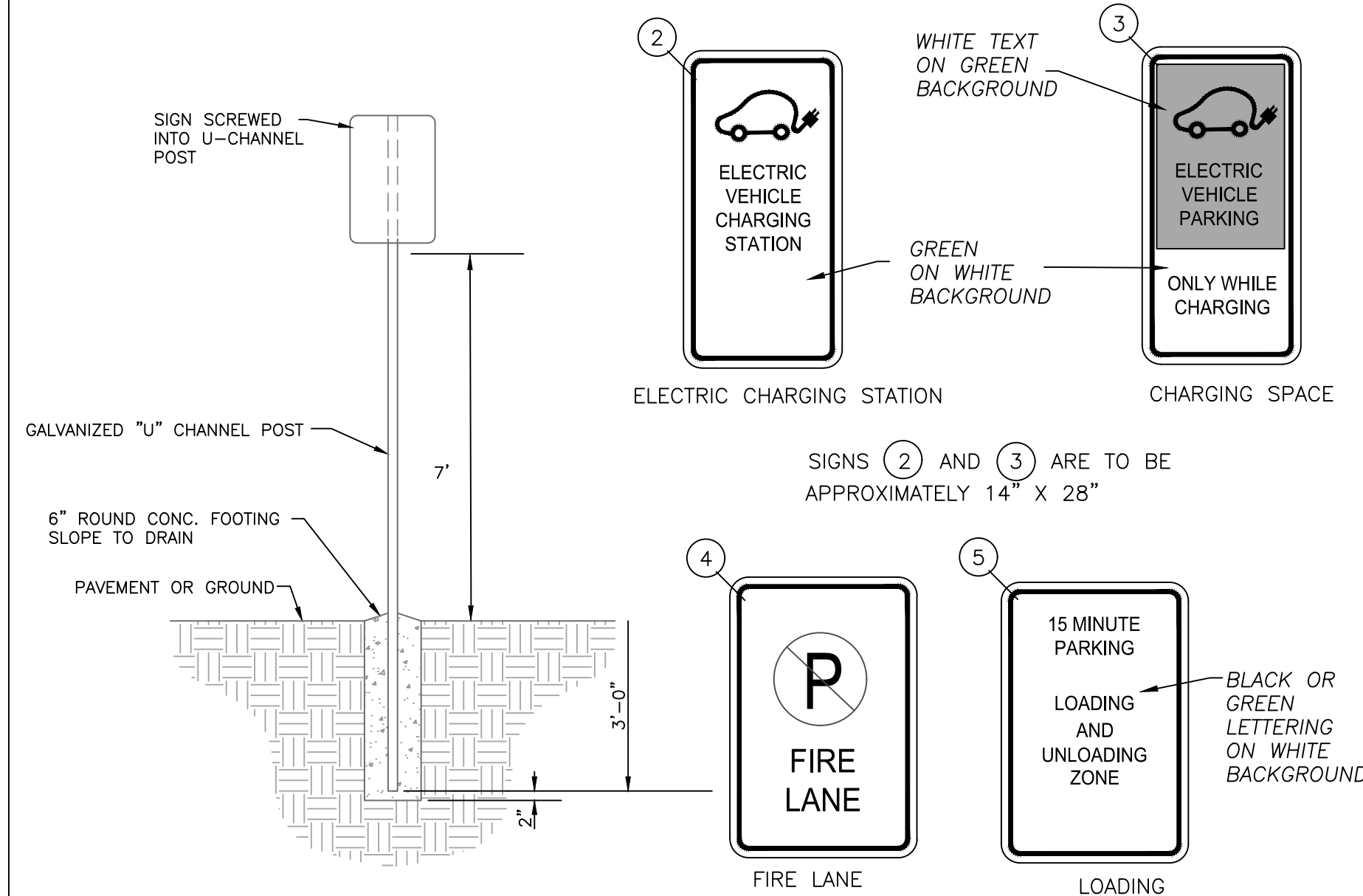


**9**  
C3.4 ADA PARKING  
no scale



GENERAL NOTES:  
 1. REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE-GROUND SIGNS ONLY.  
 2. NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS.  
 3. ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY; BLUE COLORING IS NOT NECESSARY NOR REQUIRED.  
 4. STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT. (N.C.D.O.T.)

**10**  
C3.4 PARKING AREA SIGNAGE  
no scale



**10**  
C3.4 PARKING AREA SIGNAGE  
no scale

**11**  
C3.4 NOT USED  
no scale

PRELIMINARY  
 - NOT FOR  
 CONSTRUCTION  
 CAROLINA  
 SEAL  
 23461  
 CHAPEL HILL, N.C.  
 05/15/23

NO.	REVISIONS	DATE
1		

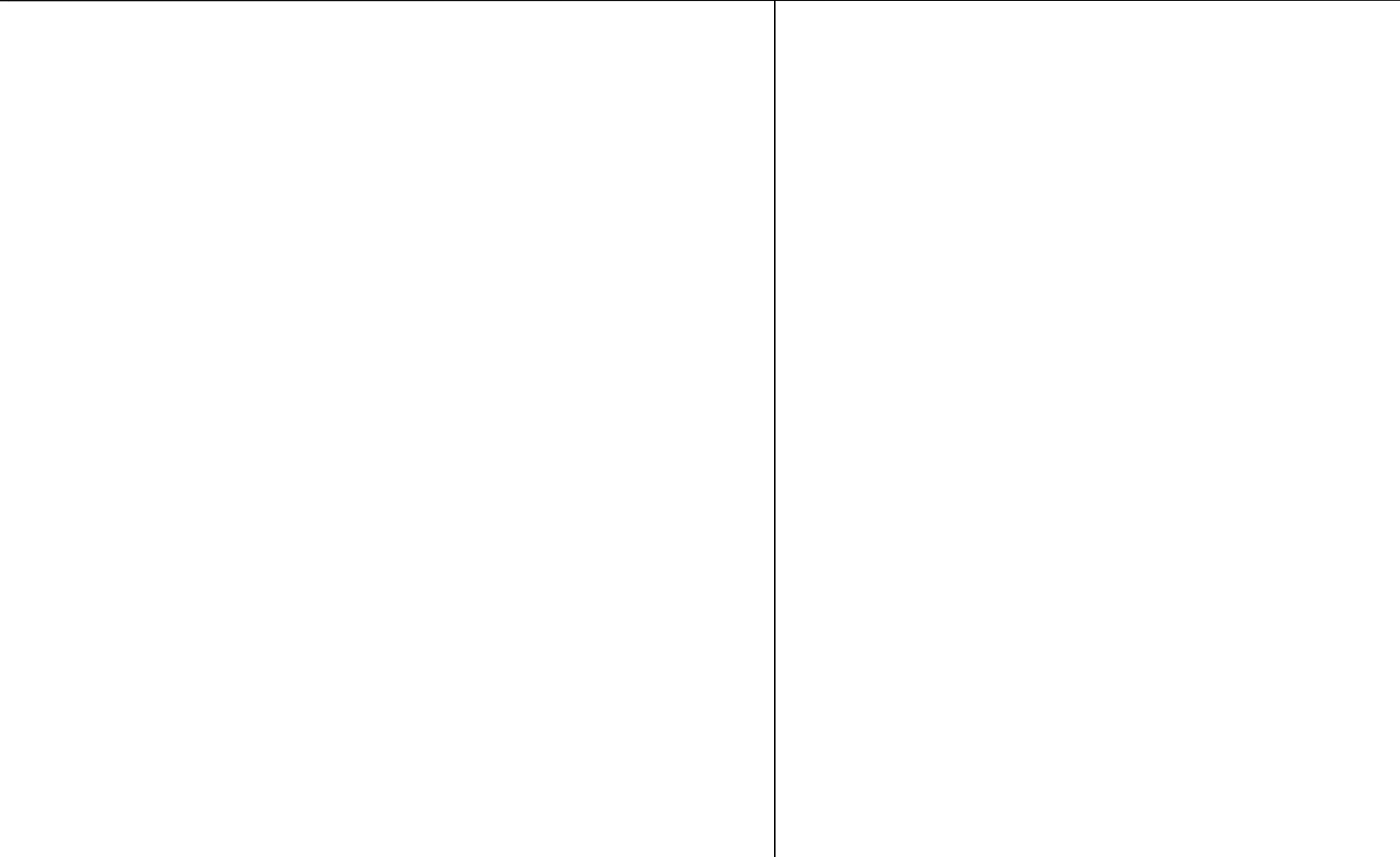
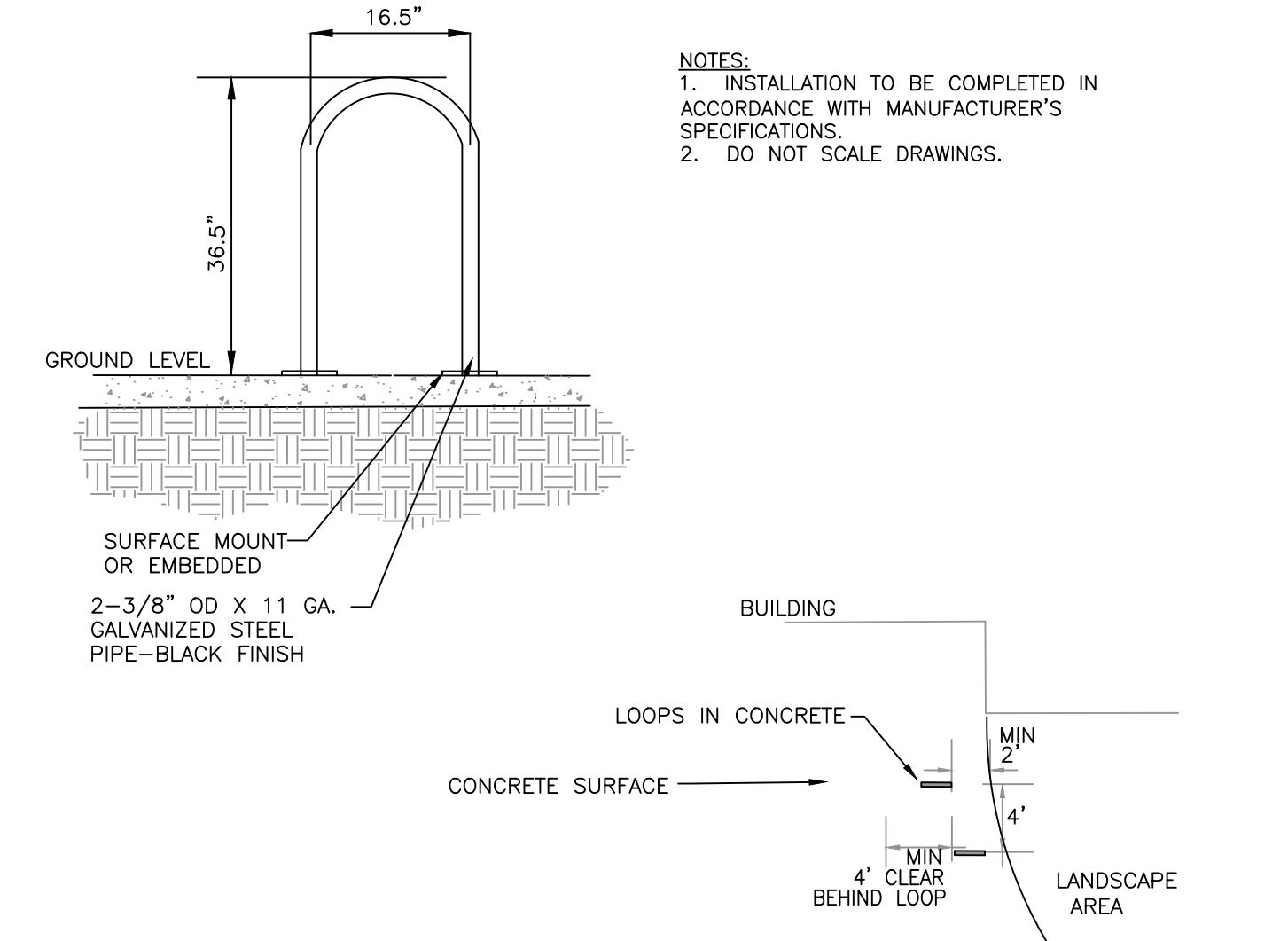
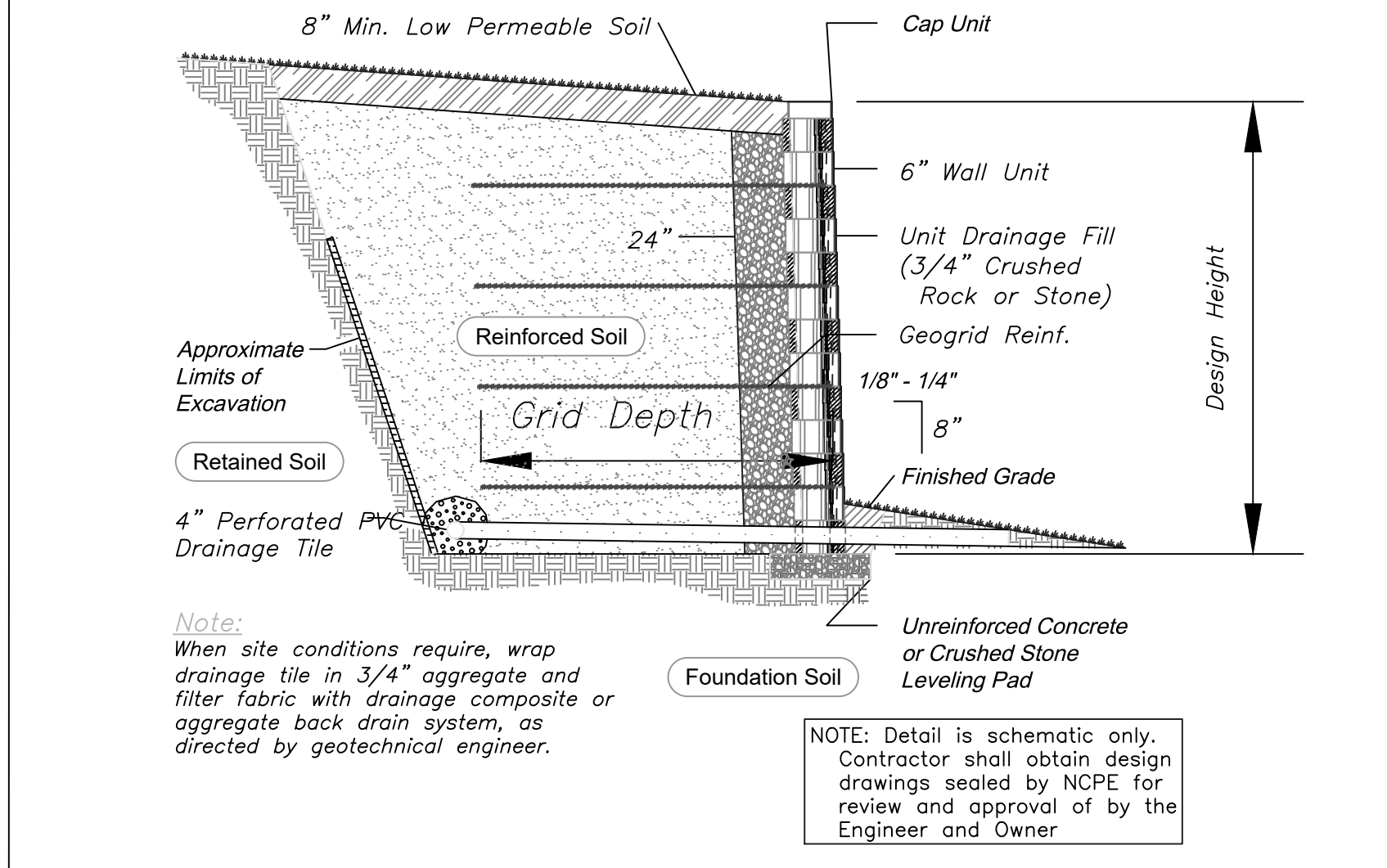
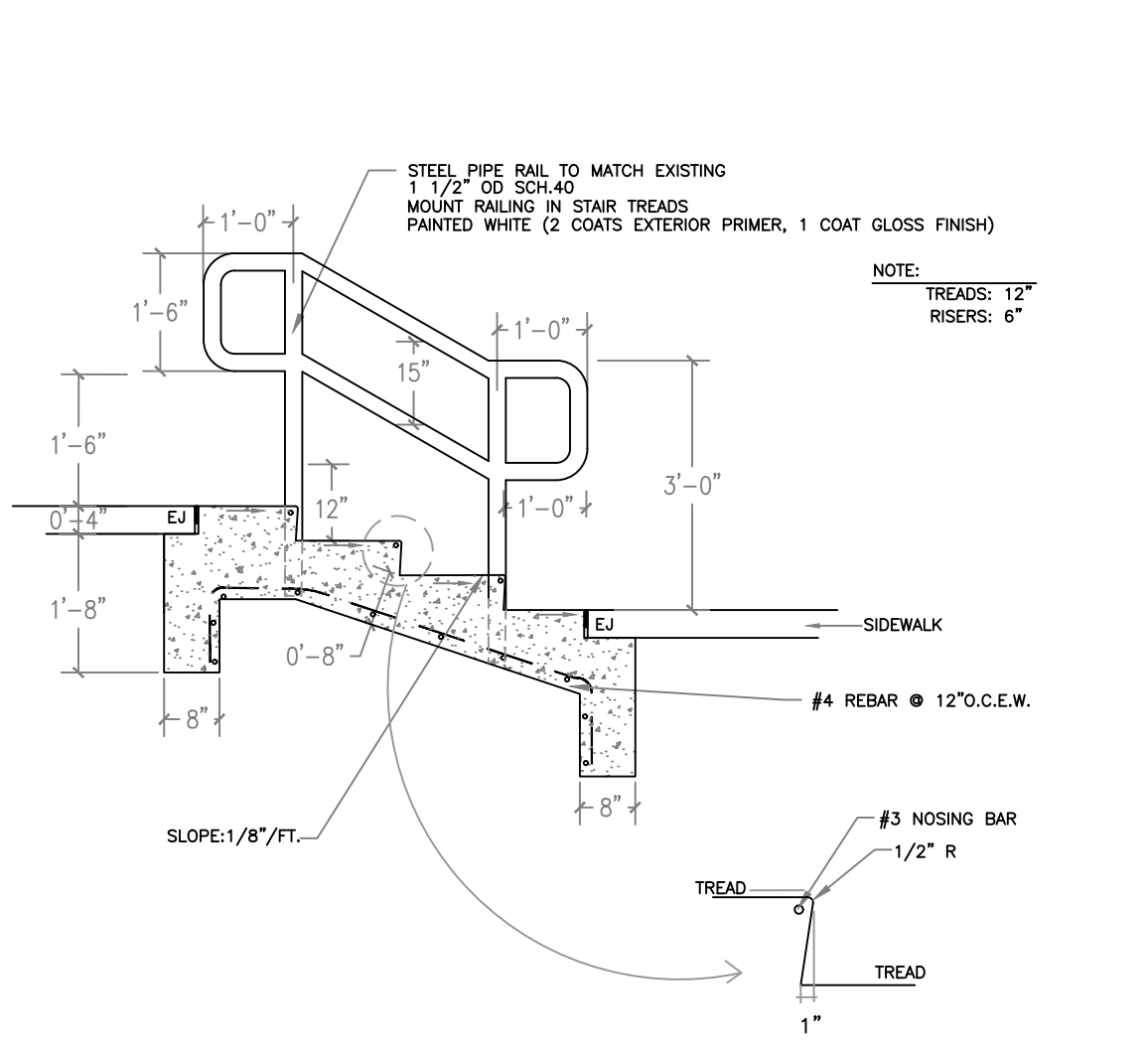
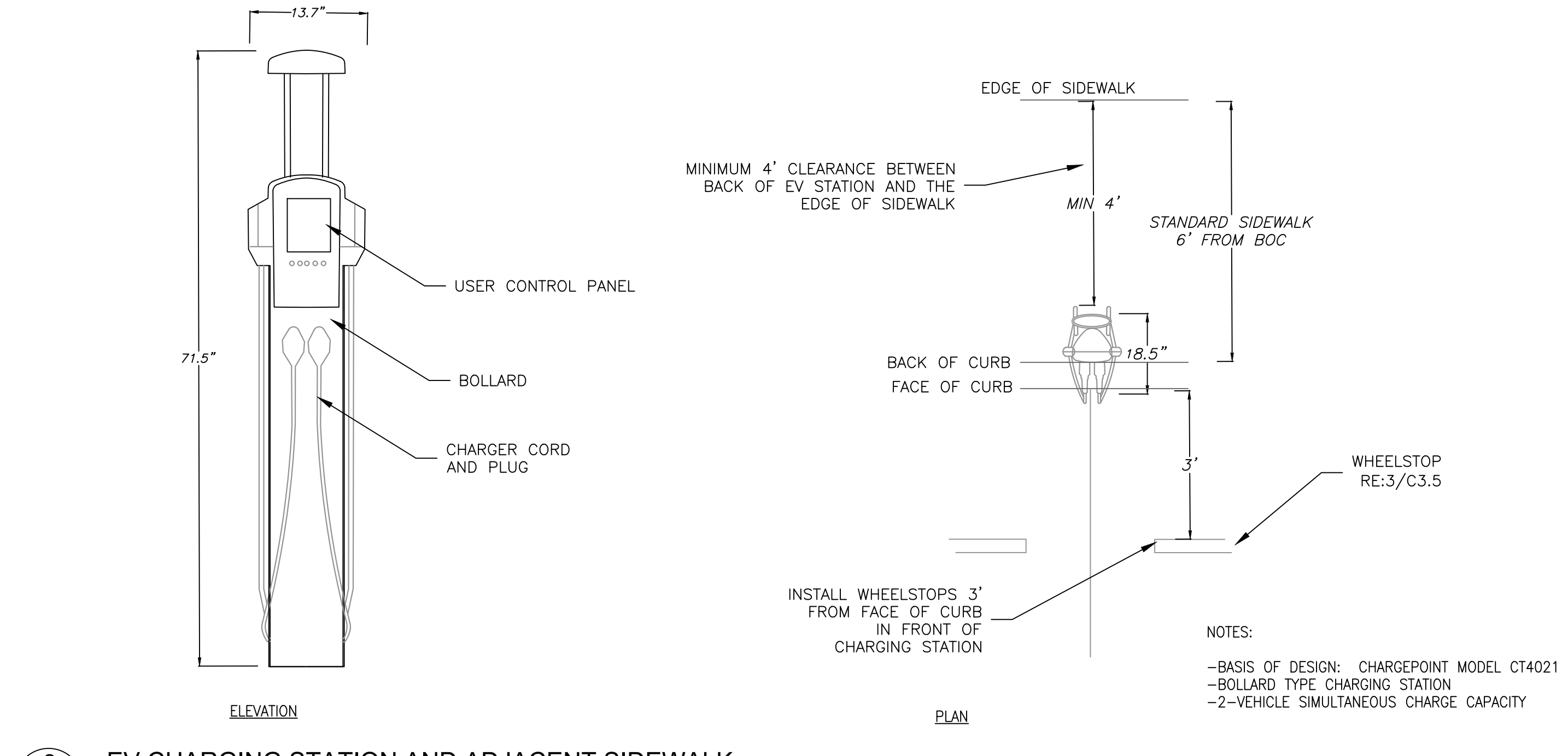
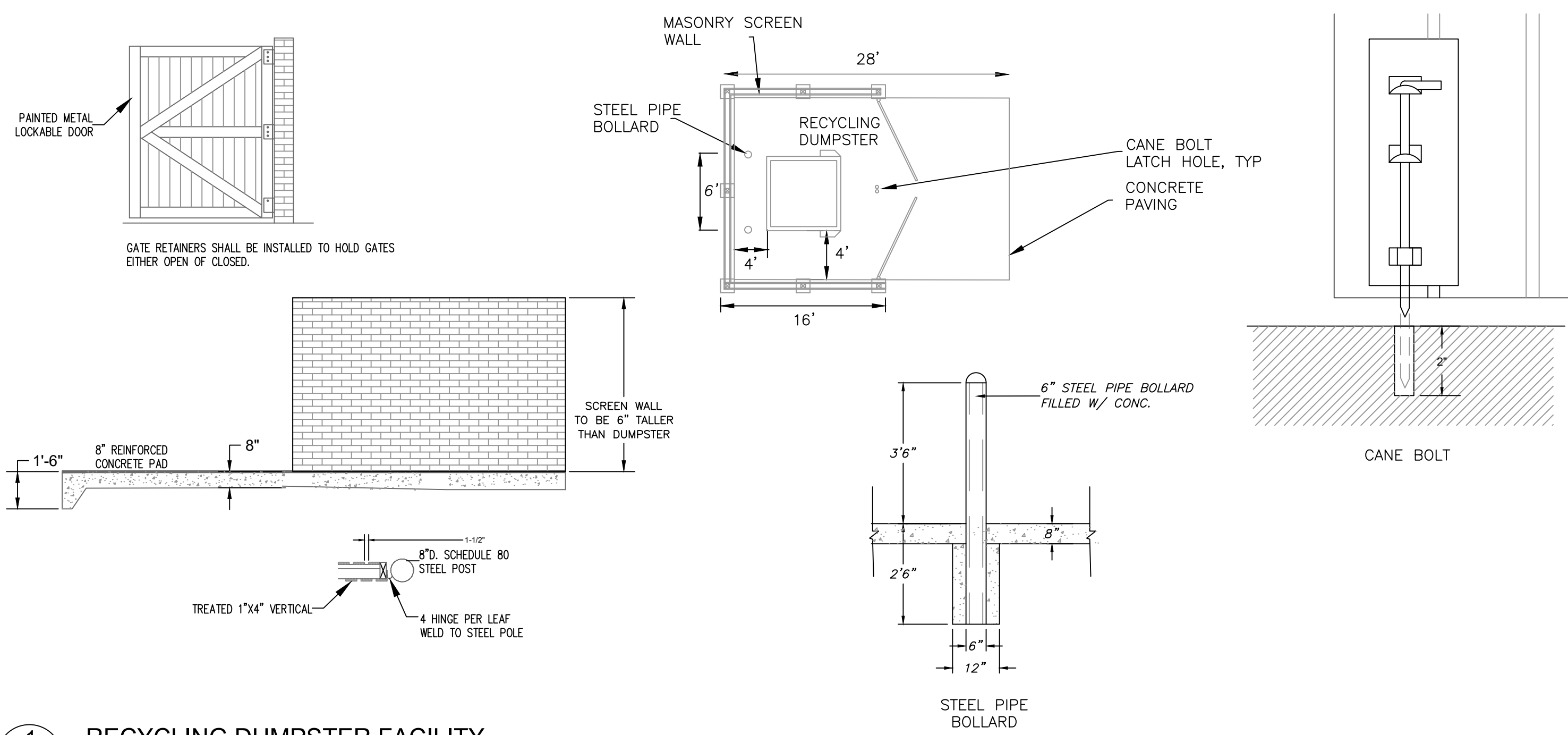
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EB CAPITAL PARTNERS  
 CHAPEL HILL, NC  
 CHAPEL HILL CROSSINGS  
 SITE DETAILS

JOB NO: J-30792  
 DATE: 8/3/23  
 DRAWN: WLR, AMO, MTC  
 DESIGNED: WLR, AMO  
 REVIEWED: WLR, AMO  
 APPROVED:  
 SCALE: NTS

**C3.4**





PRELIMINARY  
 - NOT FOR  
 CONSTRUCTION

CAROLINA  
 SEAL  
 23461  
 CHAPEL HILL, N.C. 27514

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1			

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EB CAPITAL PARTNERS  
 CHAPEL HILL, NC  
 CHAPEL HILL CROSSINGS  
 SITE DETAILS

JOB NO.:	J-30792
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DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	NTS

**C3.5**



- LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
- IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
- BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
- IN LAWN AREAS, 2" TOPSOIL/COMPOST SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING. IN LANDSCAPE BEDS, 3" TOPSOIL/COMPOST SHALL BE TILLED INTO THE TOP 6" OF GROUND PRIOR TO PLANT INSTALLATION. ALL COMPACTED SOIL IS TO BE LOOSENEED TO A DEPTH OF 12".
- CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
- CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
- MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
- ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
- IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
- ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.
- LINE OF SIGHT NOTE: NO PROPOSED LANDSCAPING WITHIN THE LINE OF SIGHT EASEMENT SHALL EXCEED 24" AT MATURITY. ANY NEW TREES SHALL BE LIMBED TO 7' ABOVE FINISHED GRADE.
- ANY INVASIVE, EXOTIC PLANT MATERIAL WILL BE REMOVED FROM LANDSCAPE BUFFERS. A SURVEY OF EXISTING LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CLEARING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.

	NORTH	SOUTH
SITE AREA	283,682 SF	426,201 SF
LESS STORM EASEMENTS	14,625 SF	50,700 SF
LESS UTILITY EASEMENTS	0	67,600 SF
NET AREA BASE	269,057 SF	307,901 SF
PERCENT COVERAGE	30%	30%
COVERAGE REQUIRED	80,717 SF	92,370 SF
RETAINED TREE AREA:	82,500 SF	0 SF
PROPOSED TREE	50 trees x 500 sf	185 trees x 500 sf
INSTALLATION:	25,000 SF	92,500 SF
TOTAL TREE COVERAGE:	107,500 SF	92,500 SF

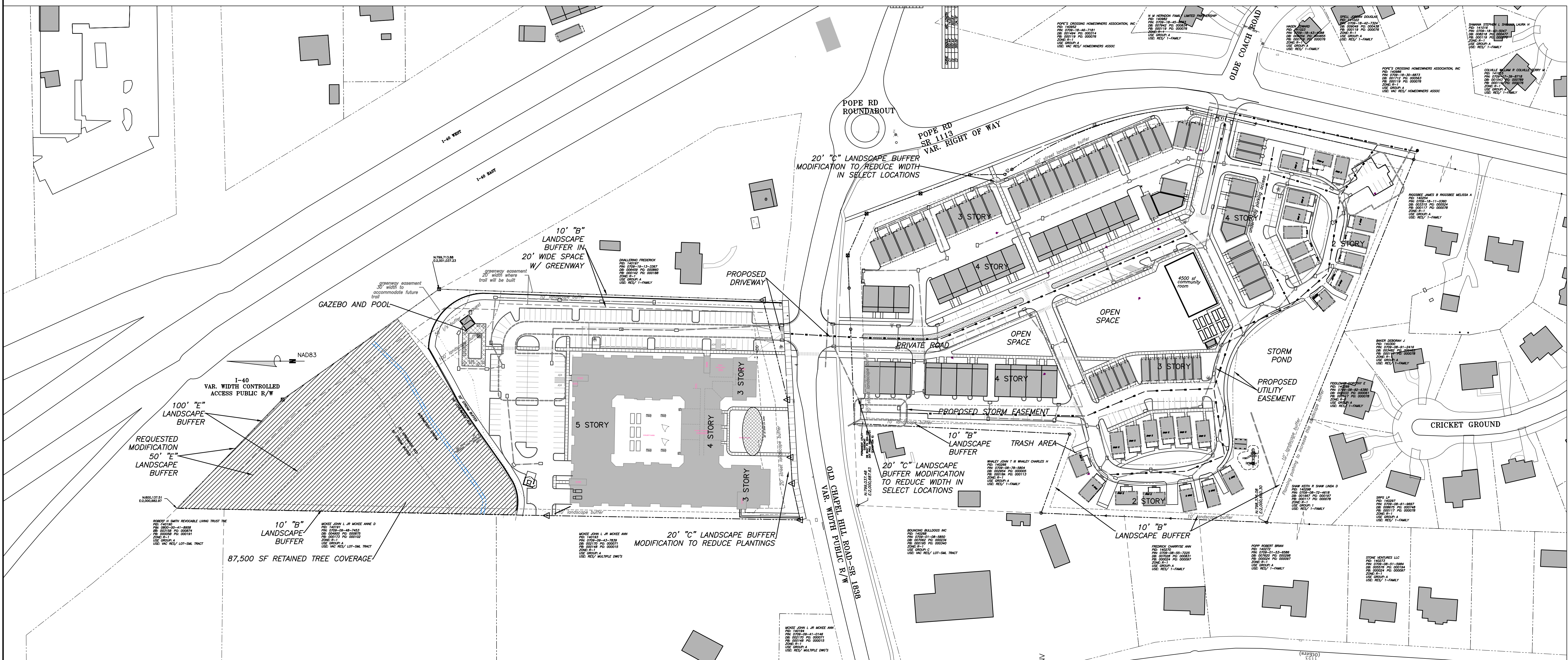
TOTAL TREE COVERAGE REQUIRED: 173,087  
 TREE AREA RETAINED: 82,500 SF  
 PROPOSED TREE INSTALLATION: 117,500 SF CREDIT  
 TOTAL PROPOSED TREE COVERAGE: 200,000 SF

- PROJECT LANDSCAPE PLAN WILL COMPLY WITH TOWN UPDATED LANDSCAPE STANDARDS EXCEPT FOR . DETAILS FOR AMENDED SOILS AND VOLUME REQUIREMENTS WILL BE INCLUDED IN FINAL PLANS.
- FINAL PLANS WILL INCLUDE CARE/MAINTENANCE PRACTICES.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
- IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
- 

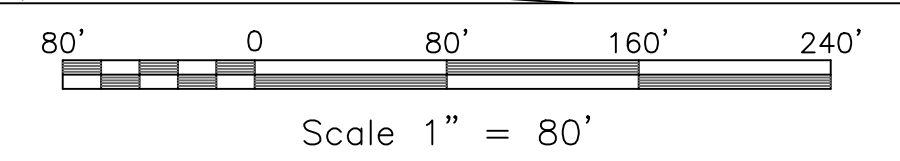
**2** LANDSCAPING NOTES  
L1.1

**3** TREE COVERAGE CALCULATIONS  
L1.1

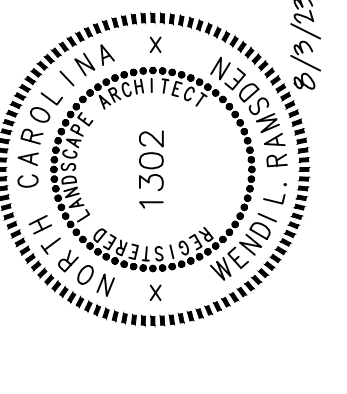
**4** COMPLIANCE WITH TOWN LANDSCAPE GUIDELINES  
L1.1



**1** LANDSCAPE PLAN - OVERALL  
L1.1  
SCALE: 1"=80'



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**EB CAPITAL PARTNERS**  
CHAPEL HILL, NC  
CHAPEL HILL CROSSINGS  
LANDSCAPE PLAN - OVERALL

JOB NO.:	J-30792
DATE:	8/3/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
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SCALE:	1" = 80'

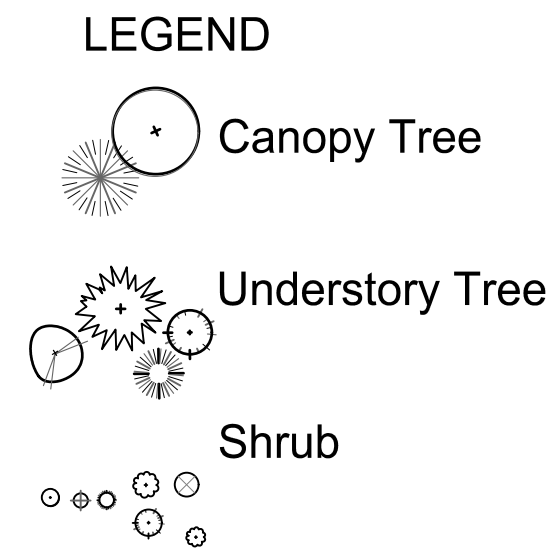
**L1.1**



NORTH			
	# Required per 100'	Required Plantings:	Plantings Provided
<b>NorthWest Buffer "B" - Adjacent to vacant residential</b>			
Existing forest to remain. No additional plantings proposed.			
10' Wide	4 Large Tree = 22.0	22 Large Trees	0 Large Tree
550 LF	7 Small Tree = 38.5	39 Small Trees	0 Small Tree
(Internal)	12 Shrubs = 66.0	66 Shrubs	0 Shrub
<b>SouthWest Buffer "B" - Adjacent to vacant residential</b>			
10' Wide	4 Large Tree = 18.3	19 Large Trees	19 Large Trees
457 LF	7 Small Tree = 32.0	32 Small Trees	32 Small Trees
(Internal)	12 Shrubs = 54.9	55 Shrubs	55 Shrubs
<b>North Buffer "E" - I-40</b>			
Existing forest to remain. No additional plantings proposed.			
100' Wide	10 Large Tree = 12.0	12 Large Trees	12 Large Trees
120 LF	15 Small Tree = 18.0	18 Small Trees	18 Small Trees
(External)	70 Shrubs = 84.0	84 Shrubs	84 Shrubs
<b>East Buffer "B" - Adjacent to residential</b>			
10' Wide	4 Large Tree = 20.7	21 Large Trees	21 Large Trees
516 LF	7 Small Tree = 36.2	37 Small Trees	37 Small Trees
(Internal)	12 Shrubs = 62.0	62 Shrubs	62 Shrubs
<b>South Buffer "C" - Old Chapel Hill Road</b>			
Modification to reduce plant quantity to 30% required plant material			
10' Wide	5 Large Tree = 18.1	19 Large Trees	5 Large Trees
362 LF	10 Small Tree = 36.2	37 Small Trees	11 Small Trees
(External)	36 Shrubs = 130.4	131 Shrubs	39 Shrubs
<b>Parking Lot Shading</b>			
Lot	Paved Area	# Required per 2000 SF	Plantings Provided
North	34,643 SF	17.32	18 Large Trees
West	17,145 SF	8.57	9 Large Trees
Front	4,346 SF	2.17	3 Large Trees

TREES						
QTY	KEY	SCIENTIFIC NAME	COMMON NAME	MINIMUM SIZE*	SPACING	REMARKS
8	ARC	Acer rubrum 'Columbere'	Columbar Red Maple	B & B : 3"-3.5" CAL	AS SHOWN	Full, matching
9	ASL	Acer saccharum 'Legacy'	Legacy Sugar Maple	B & B : 3"-3.5" CAL	AS SHOWN	Full, Matching
25	AA	Amelanchier arborea	Downy Serviceberry	B & B OR CONT. : 8'-10' HT	AS SHOWN	Full
15	BN	Betula nigra 'Heritage'	'Heritage' River Birch	B & B : 10' HT	AS SHOWN	Specimen, 3 multi-trunk, matching
10	CC	Cercis canadensis	Eastern Redbud	B & B OR CONT. : 8'-10' HT	AS SHOWN	Single trunk, matching
12	CF	Cornus florida	Flowering Dogwood	B & B OR CONT. : 8'-10' HT	AS SHOWN	Full, White flowering
14	IO	Ilex opaca	American Holly	B & B OR CONT. : 8'-10' HT	AS SHOWN	Full, Matching
2	INS	Ilex x 'Nellie R. Stevens'	Nellie Stevens Holly	B & B OR CONT. : 8'-10' HT	AS SHOWN	Specimen, full to ground
8	LT	Liriodendron tulipifera	Tulip Poplar	B & B : 3"-3.5" CAL	AS SHOWN	Full
16	MLG	Magnolia 'Little Gem'	Sweet Bay Magnolia	B & B OR CONT. : 8'-10' HT	AS SHOWN	Full, Matching
7	NS	Nyssa sylvatica	Black Gum	B & B : 3"-3.5"	AS SHOWN	Specimen, Matching
23	OXF	Osmanthus x fortunei	Fortune's Tea Olive	CONT. : 6' HT	AS SHOWN	Specimen, full to ground
6	OA	Oxydendrum orboreum	Sourwood	B & B OR CONT. : 8' HT	AS SHOWN	Full
8	PV	Pinus virginiana	Virginia Pine	B & B OR CONT. : 10'-12' HT	AS SHOWN	Full, matching
7	PCM	Prunus caroliniana 'Morus'	Bright n Tight Carolina Laurel	B & B OR CONT. :	AS SHOWN	Full, Matching
4	QP	Quercus phellos	Willow Oak	B & B OR CONT. : 3"-3.5" CAL	AS SHOWN	Full
11	QS	Quercus shumardii	Shumard Oak	B & B : 3"-3.5" CAL	AS SHOWN	Full, Matching
9	UP	Ulmus americana 'Princeton'	Princeton American Elm	B & B : 3"-3.5" CAL	AS SHOWN	Full, Matching

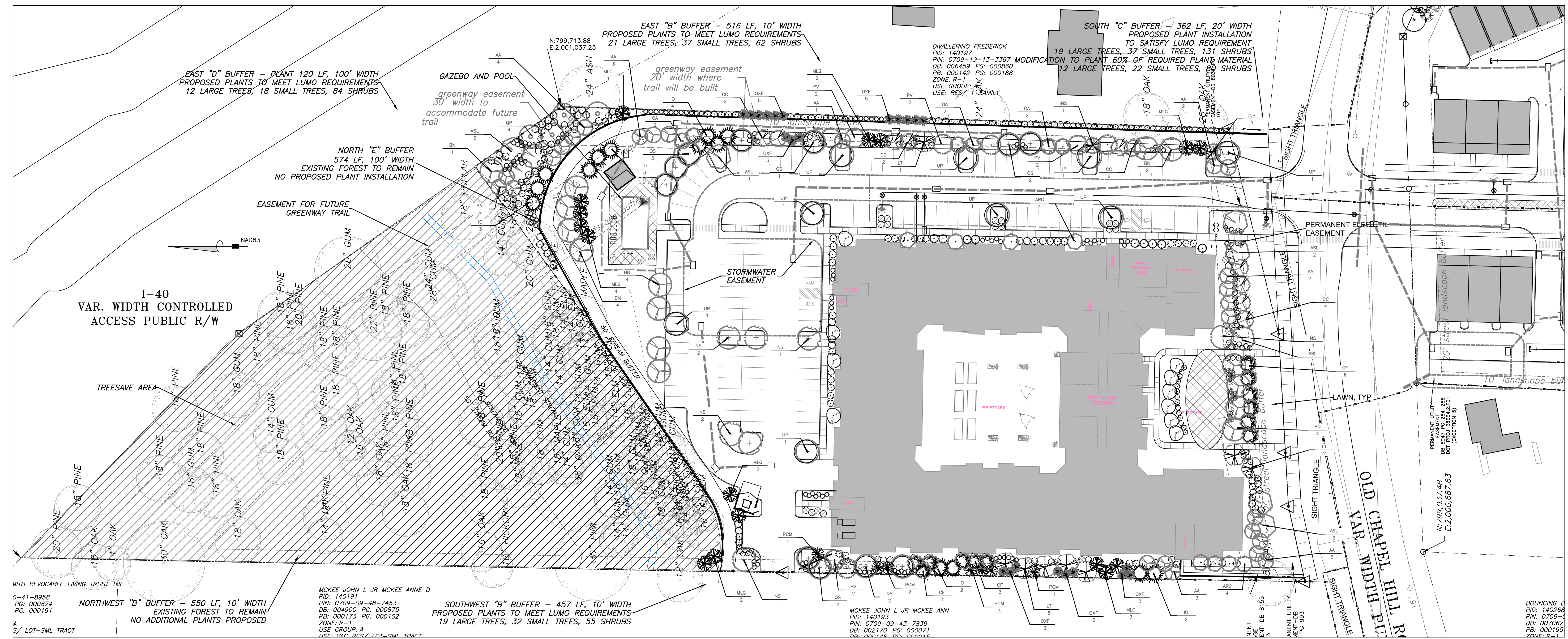
SHRUBS						
QTY	KEY	SCIENTIFIC NAME	COMMON NAME	MINIMUM SIZE*	SPACING	REMARKS
		Azalea 'Autumn Twist'	Autumn Twist Encore Azalea	24"	AS SHOWN	FULL AND MATCHING
		Callicarpa americana	American Beautyberry	24"	AS SHOWN	FULL AND MATCHING
		Distylium 'Emerald Heights'	Emerald Heights Distylium	24"	AS SHOWN	FULL AND MATCHING
		Cornus alba 'Sibirica'	Red Twig Dogwood	30"	AS SHOWN	FULL AND MATCHING
		Euonymus fortunei 'Emerald Gaiety'	Emerald Gaiety Euonymus	24"	AS SHOWN	FULL AND MATCHING
		Fothergilla 'Mt Airy'	Mt Airy Fothergilla	30"	AS SHOWN	FULL AND MATCHING
		Gardenia jasminoides 'August Beauty'	August Beauty Gardenia	30"	AS SHOWN	FULL AND MATCHING
		Gardenia jasminoides 'Kleims Hardy'	Kleims Hardy Gardenia	24"	AS SHOWN	FULL AND MATCHING
		Hydrangea quercifolia	Oakleaf Hydrangea	36"	AS SHOWN	FULL AND MATCHING
		Ilex glabra	Inkberry Holly	30"	AS SHOWN	FULL AND MATCHING
		Ilex verticillata	Winterberry	6'	AS SHOWN	FULL
		Illicium floridanum	Florida Anise	30"	AS SHOWN	FULL AND MATCHING
		Myrica cerifera	Southern waxmyrtle	5'	AS SHOWN	FULL AND MATCHING
		Sarcococca ruscifolia	Sweetbox	24"	5' O.C.	FULL AND MATCHING
		Viburnum dentatum	Arrowwood Viburnum	36"	6' O.C.	FULL AND MATCHING
		Viburnum juddei	Judd Viburnum	36"	5' O.C.	FULL AND MATCHING
GROUND COVER/GRASSES						
		Panicum virginiana	Switchgrass	1 GAL	3' O.C.	FULL AND MATCHING
		Pennisetum alopecuroides	Pennisetum	1 GAL	3' O.C.	FULL AND MATCHING



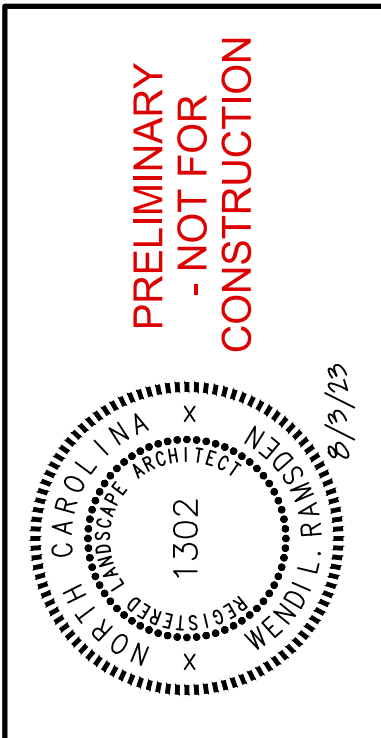
NOTE: SHRUBS ARE SHOWN ON THE PLAN. QUANTITIES WILL COMPLY WITH REQUIREMENT AS SHOWN IN THE CALCULATION TABLE.

**2 PLANT CALCULATIONS NORTH**  
L1.2

**3 PLANT LIST - NORTH**  
L1.2 PLANT LIST MAY BE EXPANDED AT FINAL PLAN PHASE



**1 LANDSCAPE PLAN - NORTH**  
L1.2 SCALE: 1"=40'



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**EB CAPITAL PARTNERS**  
CHAPEL HILL, NC  
CHAPEL HILL CROSSINGS  
LANDSCAPE PLAN - NORTH

JOB NO.:	J-30792
DATE:	8/3/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	1"=40'

**L1.2**



SOUTH	# Required per 100'	Required Plantings:	Plantings Provided
<b>North Buffer "C" - Old Chapel Hill Road</b>			
20' Wide	5 Large Tree = 17.3	18 Large Trees	18 Large Trees
346 LF (Internal)	10 Small Tree = 34.6 36 Shrubs = 124.6	35 Small Trees 125 Shrubs	35 Small Trees 125 Shrubs
<b>East Buffer "C" - Pope Road</b>			
20' Wide	5 Large Tree = 46.4	47 Large Trees	47 Large Trees
928 LF (Internal)	10 Small Tree = 92.8 36 Shrubs = 334.1	93 Small Trees 335 Shrubs	93 Small Trees 335 Shrubs
<b>South Buffer "B" - Adjacent to residential</b>			
10' Wide	4 Large Tree = 25.4	26 Large Trees	26 Large Trees
633 LF (External)	7 Small Tree = 44.4 12 Shrubs = 76.0	45 Small Trees 76 Shrubs	45 Small Trees 76 Shrubs
<b>SouthWest Buffer "B" - Adjacent to residential</b>			
10' Wide	4 Large Tree = 10.5	11 Large Trees	11 Large Trees
261 LF (Internal)	7 Small Tree = 18.3 12 Shrubs = 31.4	19 Small Trees 32 Shrubs	19 Small Trees 32 Shrubs
<b>MidWest Buffer "B" - Adjacent to recreation business</b>			
10' Wide	4 Large Tree = 4.2	5 Large Trees	5 Large Trees
105 LF (Internal)	7 Small Tree = 7.4 12 Shrubs = 12.6	8 Small Trees 13 Shrubs	8 Small Trees 13 Shrubs
<b>NorthWest Buffer "B" - Adjacent to residential</b>			
10' Wide	4 Large Tree = 19.4	20 Large Trees	20 Large Trees
484 LF (External)	7 Small Tree = 33.9 12 Shrubs = 58.1	34 Small Trees 59 Shrubs	34 Small Trees 59 Shrubs
<b>Parking Lot Shading</b>	1 canopy tree		
Lot	Paved Area	# Required per 2000 Sf	Plantings Provided
Townhome	6,050 SF	3.03	4 Large Trees
Bulldog Lot	7,365 SF	3.68	4 Large Trees
Pope Lot	6,680 SF	3.34	4 Large Trees
Pope Corner	2,765 SF	1.38	2 Large Trees

2 PLANT CALCULATIONS - SOUTH  
L1.3

LEGEND

- Canopy Tree
- Understory Tree
- Shrub

NOTE: SHRUBS ARE SHOWN ON THE PLAN. QUANTITIES WILL COMPLY WITH REQUIREMENT AS SHOWN IN THE CALCULATION TABLE.

PLANT SCHEDULE						
QTY	KEY	SCIENTIFIC NAME	COMMON NAME	MINIMUM SIZE*	SPACING	REMARKS
3	ARC	Acer rubrum 'Columnare'	Columnar Red Maple	B & B : 3"-3.5" CAL	AS SHOWN	Full, matching
21	ASL	Acer saccharum 'Legacy'	Legacy Sugar Maple	B & B : 3"-3.5" CAL	AS SHOWN	Full, Matching
32	AA	Amelanchier arborea	Downy Serviceberry	B & B OR CONT. : 8'-10' HT	AS SHOWN	Full
6	BN	Betula nigra 'Heritage'	'Heritage' River Birch	B & B : 10' HT	AS SHOWN	Specimen, 3 multi-trunk, matching
20	CC	Cercis canadensis	Eastern Redbud	B & B OR CONT. : 8'-10' HT	AS SHOWN	Single trunk, matching
29	CV	Chionanthus virginicus	Fringetree	B & B OR CONT. : 8'-10' HT	AS SHOWN	Full, Multi-Stem
48	CF	Cornus florida	Flowering Dogwood	B & B OR CONT. : 8'-10' HT	AS SHOWN	Full, White flowering
17	IO	Ilex opaca	American Holly	B & B OR CONT. : 8'-10' HT	AS SHOWN	Full, Matching
35	INS	Ilex 'Nellie R Stevens'	Nellie Stevens Holly	B & B OR CONT. : 8'-10' HT	AS SHOWN	Specimen, full to ground
13	LT	Liriodendron tulipifera	Tulip Poplar	B & B : 3"-3.5" CAL	AS SHOWN	Full
28	MLG	Magnolia 'Little Gem'	Sweet Bay Magnolia	B & B OR CONT. : 8'-10' HT	AS SHOWN	Full, Matching
18	MG	Magnolia grandiflora	Southern Magnolia	B & B : 3"-3.5" CAL	AS SHOWN	Full
5	NS	Nyssa sylvatica	Black Gum	B & B : 3"-3.5" CAL	AS SHOWN	Specimen, Matching
19	PV	Pinus virginiana	Virginia Pine	B & B OR CONT. : 10'-12' HT	AS SHOWN	Full, matching
40	PCM	Prunus caroliniana 'Morus'	Bright n Tigh Carolina Laurel	B & B OR CONT. :	AS SHOWN	Full, Matching
13	QS	Quercus shumardi	Shumard Oak	B & B : 3"-3.5" CAL	AS SHOWN	Full, Matching
10	UP	Ulmus americana 'Princeton'	Princeton American Elm	B & B : 3"-3.5" CAL	AS SHOWN	Full, Matching

SHRUBS					
Azalea 'Autumn Twist'	Autumn Twist Encore Azalea	24"	AS SHOWN	FULL AND MATCHING	
Calliopsis americana	American Beautyberry	24"	AS SHOWN	FULL AND MATCHING	
Distylium 'Emerald Heights'	Emerald Heights Distylium	24"	AS SHOWN	FULL AND MATCHING	
Cornus alba 'Sibirica'	Red Twigs Dogwood	30"	AS SHOWN	FULL AND MATCHING	
Euonymus fortunei 'Emerald Gaiety'	Emerald Gaiety Euonymus	24"	AS SHOWN	FULL AND MATCHING	
Fothergilla 'Mt Airy'	Mt Airy Fothergilla	30"	AS SHOWN	FULL AND MATCHING	
Gardenia jasminoides 'August Beauty'	August Beauty Gardenia	30"	AS SHOWN	FULL AND MATCHING	
Gardenia jasminoides 'Kleims Hardy'	Kleims Hardy Gardenia	24"	AS SHOWN	FULL AND MATCHING	
Hydrangea quercifolia	Oakleaf Hydrangea	36"	AS SHOWN	FULL AND MATCHING	
Ilex glabra	Inkberry Holly	30"	AS SHOWN	FULL AND MATCHING	
Ilex verticillata	Winterberry	6'	AS SHOWN	FULL	
Illicium floridanum	Florida Anise	30"	AS SHOWN	FULL AND MATCHING	
Myrica cerifera	Southern waxmyrtle	5'	AS SHOWN	FULL AND MATCHING	
Sarcococca ruscifolia	Sweetbox	24"	5' O.C.	FULL AND MATCHING	
Viburnum dentatum	Arrowwood Viburnum	36"	6' O.C.	FULL AND MATCHING	
Viburnum juddii	Judd Viburnum	36"	5' O.C.	FULL AND MATCHING	

GROUND COVER/GRASSES					
Panicum virginiana	Switchgrass	1 GAL	3' O.C.	FULL AND MATCHING	
Pennisetum alopecuroides	Pennisetum	1 GAL	3' O.C.	FULL AND MATCHING	

SOUTH "B" BUFFER  
633 LF, 10' WIDTH  
PROPOSED PLANT  
INSTALLATION TO MEET  
UDO REQUIREMENTS  
26 LARGE TREES,  
45 SMALL TREES,  
76 SHRUBS

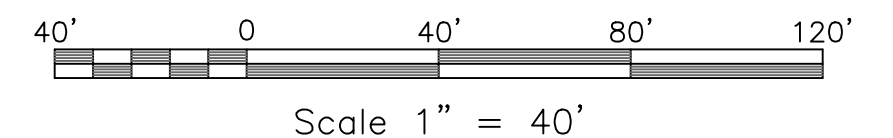
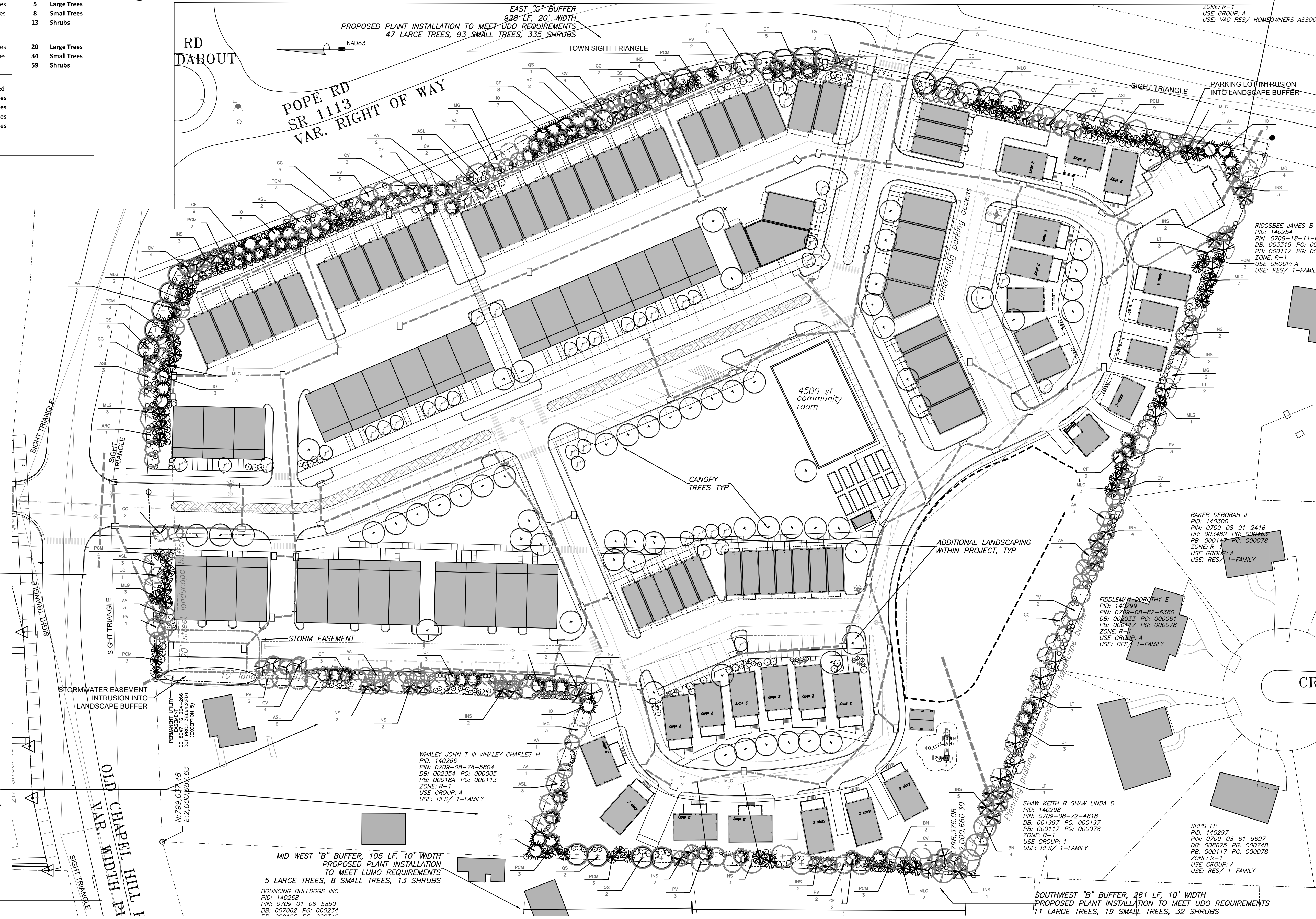
3 PLANT LIST - SOUTH  
L1.3  
PLANT LIST MAY BE EXPANDED AT FINAL PLAN PHASE

2 PLANT CALCULATIONS - SOUTH  
L1.3

LEGEND

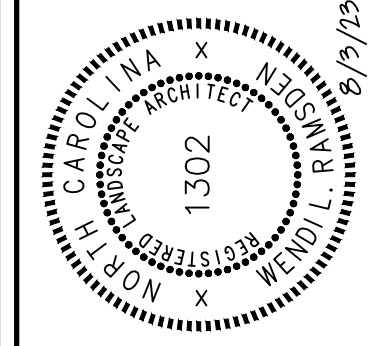
- Canopy Tree
- Understory Tree
- Shrub

NOTE: SHRUBS ARE SHOWN ON THE PLAN. QUANTITIES WILL COMPLY WITH REQUIREMENT AS SHOWN IN THE CALCULATION TABLE.



1 LANDSCAPE PLAN - SOUTH  
L1.3  
SCALE: 1"=40'

PRELIMINARY  
- NOT FOR  
CONSTRUCTION



NO.	BY	DATE	REVISIONS

**THOMAS & HUTTON**  
111 West Main Street  
Durham, NC 27701 • 919.682.0368  
www.thomasandhutton.com

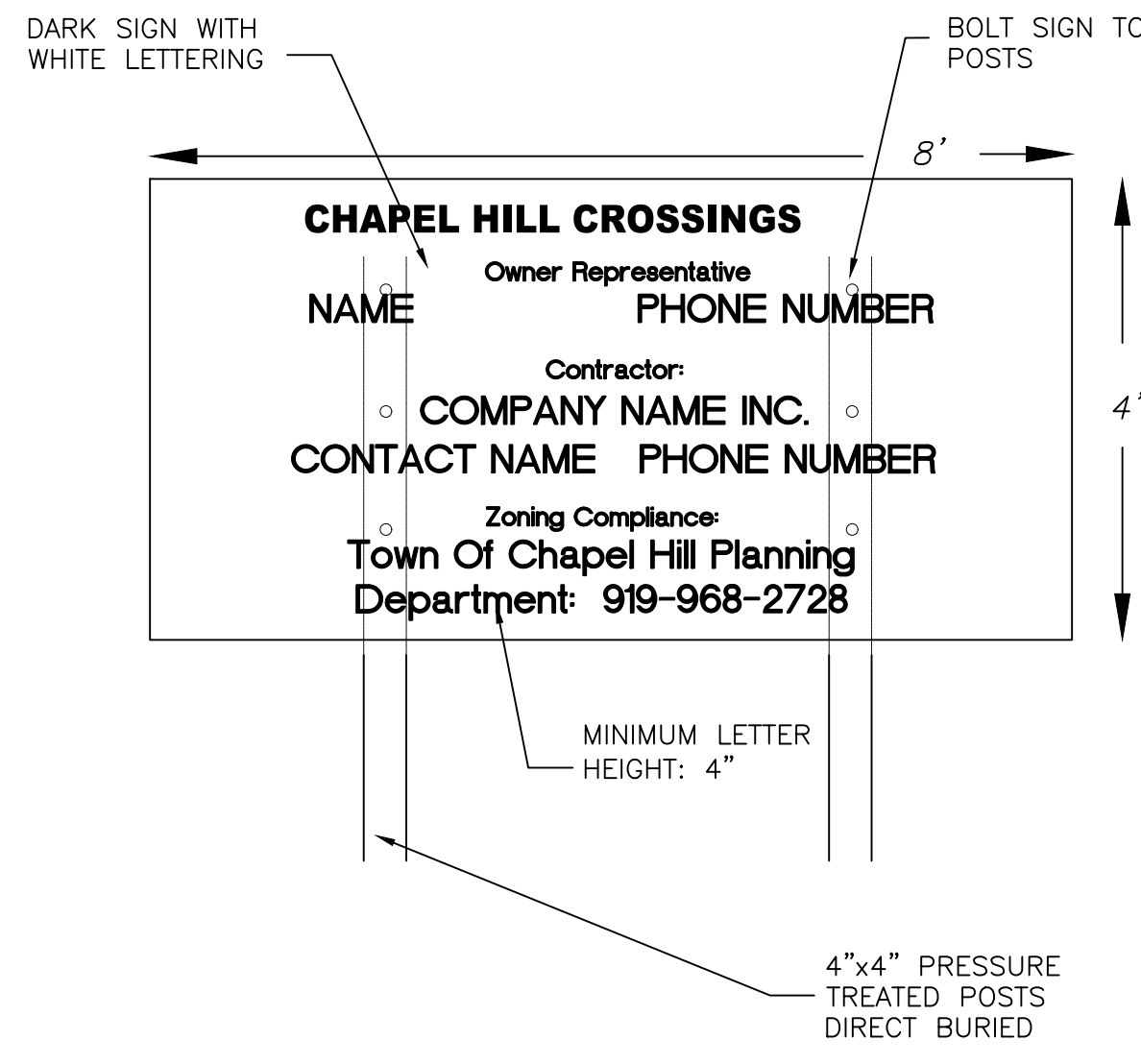
**EB CAPITAL PARTNERS**  
CHAPEL HILL, NC  
LANDSCAPE PLAN - SOUTH

JOB NO:	J-30792
DATE:	8/3/23
DRAWN:	WLR, AMO, MIC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	1"=40'

L1.3



SYNOPTIC SITE PLAN: CHAPEL HILL CROSSINGS CONSTRUCTION MANAGEMENT PLAN, 8/3/2023, 3:17 PM



- NOTES:
1. AT A MINIMUM, THE SIGN IS TO INCLUDE THE FOLLOWING INFORMATION: PROJECT NAME, OWNER CONTACT, CONTRACTOR CONTACT, ZONING COMPLIANCE CONTACT.
  2. SIGN IS TO BE A MAXIMUM OF 4' X 8'
  3. SIGN IS TO BE REMOVED AT PROJECT COMPLETION
  4. THE SIGN WILL NEED A SEPARATE PERMIT THROUGH TOWN OF CHAPEL HILL PLANNING DEPARTMENT

1. ALL CONSTRUCTION TRAFFIC AND PARKING IS CONFINED TO THE PROJECT SITE.
2. NO CONSTRUCTION PARKING WILL BE ALLOWED ON ADJACENT RESIDENTIAL STREETS.
3. HOURS OF CONSTRUCTION ARE MONDAY TO FRIDAY 7 AM TO 6 PM, AND SATURDAY AS NEEDED BETWEEN 8 AM AND 6 PM. THERE WILL BE NO CONSTRUCTION ON SUNDAYS. THE TOWN OF CHAPEL HILL NOISE ORDINANCE MUST BE COMPLIED WITH. THE TOWN ORDINANCE SPECIFICS CONSTRUCTION OPERATIONS ARE LIMITED TO 7 AM TO 9 PM WEEKDAYS, AND 8 AM TO 9 PM WEEKENDS. ANY ROCK REMOVAL WORK NEEDS TO BE COORDINATED WITH TOWN ADMINISTRATION, AND NEIGHBORS NOTIFIED IN ADVANCE.
4. PROVIDE PAVED ON-SITE PARKING FOR INSPECTORS AT EACH UNDER-CONSTRUCTION BUILDING FOR THE DURATION OF THE CONSTRUCTION PROJECT.
5. ALL MATERIAL STORAGE AND CONSTRUCTION PARKING IS TO OCCUR IN THE FOOTPRINTS OF PROPOSED PARKING AND BUILDING AREAS AND IS NOT TO EXTEND BEYOND SHOWN AND APPROVED LIMITS OF DISTURBANCE OR INTO ANY RIGHT OF WAY.

1. CONTRACTOR SHALL MAINTAIN A FIRE WATCH DURING THE CONSTRUCTION OR DEMOLITION OF "HOT WORK" THAT MAY SUBJECT MATERIALS TO SPONTANEOUS COMBUSTION. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS.
2. ALL CONSTRUCTION AND DEMOLITION SHALL COMPLY WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC (FIRE CODE).
3. ANY TEMPORARY FENCING OF CONSTRUCTION AREAS MUST INCLUDE GATES SIZED FOR FIRE / EMERGENCY ACCESS. ANY PERMANENT OR TEMPORARY GATES ACROSS FIRE ACCESS DRIVES SHALL BE A MINIMUM WIDTH OF 20', EITHER SWINGING OR SLIDING TYPE, HAVE AN EMERGENCY MEANS OF OPERATION, AND SHALL BE OPERABLE BY EITHER FORCIBLE ENTRY OR KEYS, CAPABLE OF BEING OPERATED BY ONE PERSON, AND SHALL BE INSTALLED AND MAINTAINED ACCORDING TO UL 325 AND ASTM F 2200 NC FPC 2012.

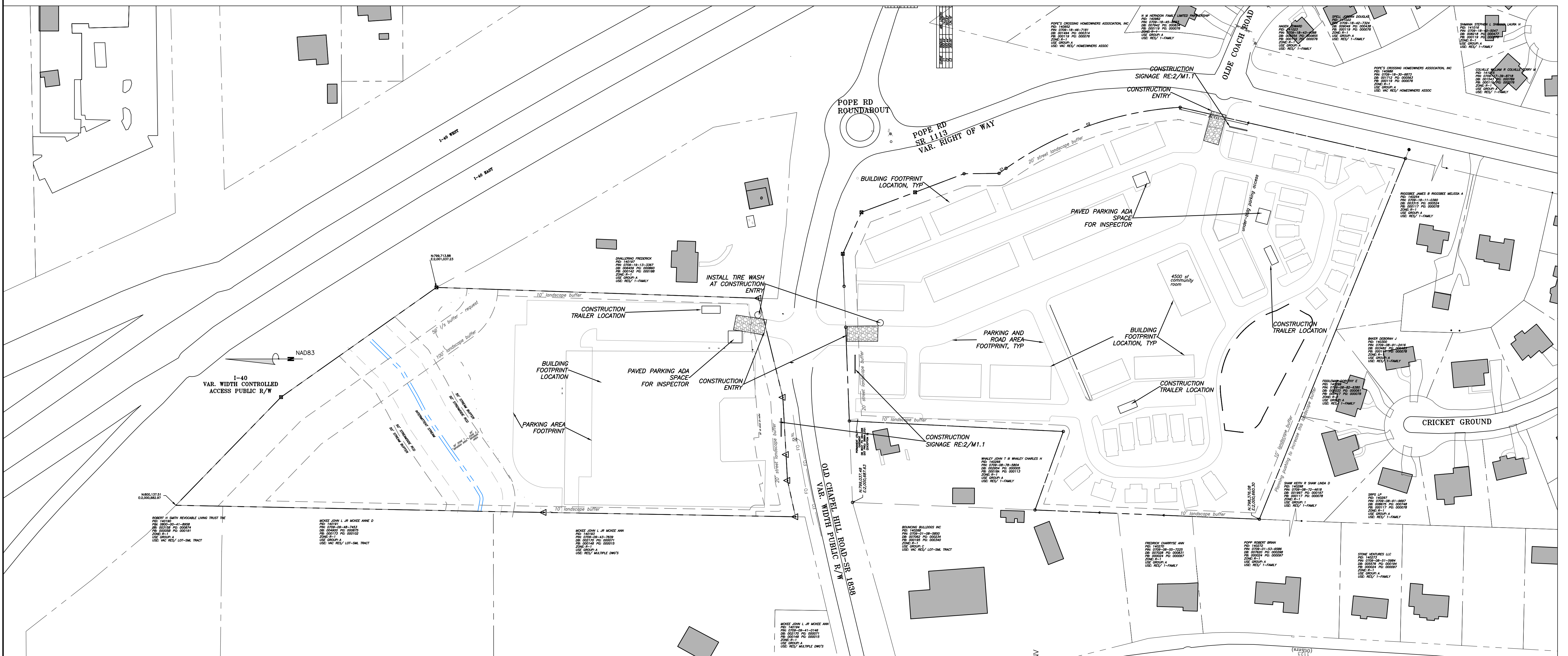
1. SIGNS SHOWN ON THIS PLAN ARE REQUIRED DURING THE CONSTRUCTION OF THIS PROJECT.
2. CONSTRUCTION REQUIRING TEMPORARY LANE CLOSURES ON PUBLIC STREETS NEEDS TOWN APPROVAL. TEMPORARY LANE CLOSURES ARE ONLY ALLOWED DURING DAYLIGHT HOURS.
3. CONTRACTOR MUST CONTACT CHAPEL HILL TRANSIT AT LEAST 5 BUSINESS DAYS PRIOR TO ANY CONSTRUCTION REQUIRING ANY LANE CLOSURES WHICH MIGHT AFFECT BUS ROUTES.
4. ALL WORK ZONE SIGNAGE SHALL COMPLY WITH APPLICABLE M.U.T.C.D. STANDARDS AND DETAILS.
5. PRIOR TO ANY TRAFFIC LANE CLOSURES, IT WILL BE NECESSARY TO CONTACT TOWN OF CHAPEL HILL ENGINEERING DIVISION AT 919-968-2833, AT LEAST 5 WORKING DAYS BEFORE THE PROPOSED WORK TO APPLY FOR A LANE CLOSURE PERMIT.
6. SIGNS AND TEMPORARY BARRICADES AS NEEDED WILL BE PLACED TO DIRECT PEDESTRIANS WHEN SIDEWALKS ARE IN THE CONSTRUCTION AREAS.

2 CONSTRUCTION SIGNAGE DETAIL  
M1.1

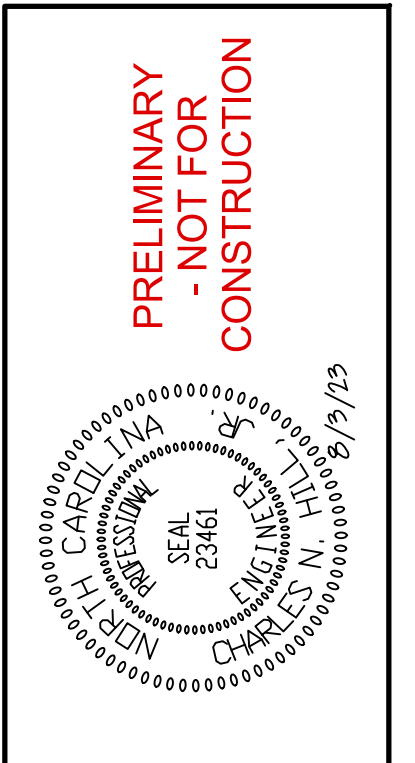
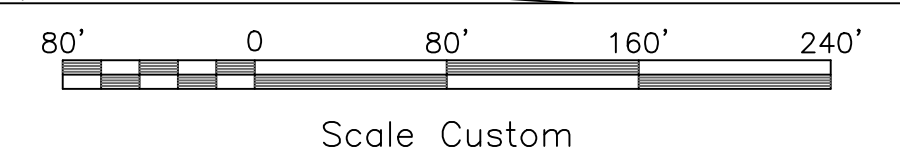
3 CONSTRUCTION STAGING NOTES  
M1.1

4 FIRE PROTECTION NOTES  
M1.1

5 TRAFFIC / PEDESTRIAN CONTROL NOTES  
M1.1



1 CONSTRUCTION MANAGEMENT PLAN  
M1.1 SCALE: Custom



NO.	REVISIONS	BY	DATE

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CONSTRUCTION MANAGEMENT PLAN

JOB NO.:	J-30792
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DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	Custom

**M1.1**