



QUESTIONS?
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Town of Chapel Hill
Office of Planning and Sustainability
Development Services 919-969-5066
planning@townofchapelhill.org

Chapel Hill Historic District Certificate of Appropriateness Application	Project:	21-025
Project Description: Replacement of an existing concrete driveway and gravel parking area with a permeable brick paver driveway and parking area, installation of a brick walkway to the front entrance, and installation of a rear deck.	Permit:	
	STAFF REVIEW	
	<input checked="" type="checkbox"/> Application complete and accepted	
	<input type="checkbox"/> Application not complete and returned with a notation of deficiencies	
Instructions: Submit one paper copy and a digital copy of all application materials collated in one file (pdf preferred) Deadlines: Applications are due by the close of business 30 calendar days prior to the scheduled meeting date. Note: Only complete applications may be accepted for Certificate of Appropriateness review. Applications that are not complete will be returned with a notation of deficiencies.		



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A: Property Information

Property Address: 210 Hillsborough Street **Parcel ID Number:** 9788-58-1747

Property Owner(s): Melissa Allen **Email:** MAllen@fhi360.org

Property Owner Address: 210 Hillsborough Street

City: Chapel Hill **State:** NC **Zip:** 27514 **Phone:** 919-306-5797

Historic District: ☐ Cameron-McCauley ☒ Franklin-Rosemary ☐ Gimghoul **Zoning District:** R-2

B: Applicant Information

Applicant: Melissa Allen **Role (owner, architect, other):** Owner

Address (if different from above): same

City: **State:** **Zip:**

Email: **Phone:**

C. Application Type (check all boxes that apply)

☒ **Minor Work** Exterior works that do not involve any substantial alterations, and do not involve additions or removals that could impair the integrity of the property and/or the district as a whole. See [Design Guidelines](#) (p. 69) for a list of minor works.

☐ **Historic District Commission Review** Includes all exterior changes to structures and features other than minor works

- | | |
|--|---|
| <input checked="" type="checkbox"/> Site-work only (walkways, fencing, walls, etc.) | <input type="checkbox"/> After-the-fact application (for unauthorized work already performed). |
| <input type="checkbox"/> Restoration or alteration | <input type="checkbox"/> Demolition or moving of a site feature. |
| <input type="checkbox"/> New construction or additions | <input type="checkbox"/> Request for review of new application after previous denial |
| <input type="checkbox"/> Sign | |

D. Basic information about size, scale, and lot placement.

Provide measurements in feet and square feet where applicable. Where possible, please provide accurate measurements from a licensed surveyor, architect, engineer, etc. If exact measurements are not available, please provide estimated information. Current estimated information about lots and buildings can be found on the [Orange County Real Estate Data](#) website. Information about lot placement can be found on the [Chapel Hill](#) and [Orange County Interactive GIS](#) portals.

Zoning District:	Minimum setbacks	Maximum heights		Lot size
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	Street	Interior	Solar	Primary	Secondary		
Required by zoning	26	11	13	29	50		
Proposed	same						
	Existing	Change +/-	Total	Total Floor Area Ratio			
Floor Area (main structure)	n/a	n/a	n/a	Existing	Proposed	ISA/NLA ratio	
Floor Area (all other)	n/a	n/a	n/a	n/a	n/a	Existing	Proposed
Impervious Surface Area (ISA)	1492	-215	1277	n/a	n/a	0.994	0.851
New Land Disturbance			1500				

E: Applicable Design Guidelines

The Town's [Design Guidelines for the Chapel Hill Historic Districts](#) are integral to the application and review process. These guidelines supplement the required review criteria for Certificate of Appropriateness applications (provided in [Section 3.6.2\(e\)\(4\)](#) of the Land Use Management Ordinance) by providing detailed, practical considerations for how to make changes to properties while preserving the special character of their Historic District context. Please review the Design Guidelines and consider their applicability to your proposed project. (Attach additional sheets, as necessary.)

Section/Page	Topic	Brief description of the applicable aspect of your proposal
		PLEASE REFER TO THE ATTACHED SHEETS.

**CERTIFICATE OF APPROPRIATENESS APPLICATION: 210 HILLSBOROUGH STREET
DRIVEWAY REPLACEMENT, NEW WALKWAY, AND NEW REAR DECK**

E. Applicable Design Standards (Adopted February 2021)

1.1 Site Features: Standards (page 42):

1.1.7. Introduce new site features to be compatible in scale, design, and materials with the overall historic character of the site and district. Utilize traditional materials in the construction of benches, terraces, gazebos, trellises, fences, and walls.

1.1.8. Introduce contemporary site features—including playground equipment and swimming pools—in locations that do not diminish or compromise the overall character of the site and district, typically in rear yards or other locations not visible from the street.

DESCRIPTION OF THE APPLICABLE ASPECT OF OUR PROPOSAL:

The driveway, parking area, walkway, and rear deck will be in scale with the site and district. The driveway, parking area, and walkway will be constructed of traditional red brick. The rear deck and its posts, steps and framing will be constructed of treated wood and will not be visible from the street.

1.4 Walkways, Driveways, & Off-Street Parking: Standards (page 52-53):

1.4.9. Construct new walkways in traditional materials and designs that are compatible in configuration, material, scale, and detail with the character of the building, site, and district.

- a. These include red brick, flagstone, concrete, and Chapel Hill grit.
- b. Do not use asphalt or contemporary materials that mimic other materials for sidewalks within the historic districts.

1.4.10. Construct new driveways and off-street parking areas in traditional materials and designs that are compatible in configuration, material, scale, and detail with the character of the building, site, and district. a. These include red brick, concrete, asphalt, and Chapel Hill grit. Consider permeable materials—including brick—or install paving strips or concrete runners, to minimize the impervious surface area and thus, reduce runoff from the site. b. Do not use gravel in sizes larger than one-half inch.

1.4.11. Utilize perimeter plantings, trees, shrubbery, hedges, and other landscape features—including low stone walls—to screen new driveways and off-street parking areas visually from the street, to buffer adjacent residential properties from their visual impact, and to reduce the solar heat gain of paved surfaces. Further reduce the visual impact of large parking areas by subdividing them with interior planting medians.

DESCRIPTION OF THE APPLICABLE ASPECT OF OUR PROPOSAL:

The concrete driveway and gravel parking area will be replaced with a permeable red brick paver driveway in a herringbone pattern with bullnose red brick edging, which will improve the appearance and mitigate the chronic stormwater ponding and erosion in this area. The dirt path leading from the driveway to the front door will be replaced with red brick pavers in a herringbone pattern. Brick driveways and parking areas are found throughout the Franklin-Rosemary Historic District, several of which are in front yards. The existing trees and shrubbery will remain except for a line of overgrown and declining Rose of Sharon shrubs next to the driveway. The vegetation behind the rubble wall at the street will remain except for a dead Red Bud tree, as shown on the plans.

4.10 Decks & Patios: Standards (page 143):

- 4.10.1. Locate decks and patios on rear elevations or in inconspicuous areas that are minimally visible from the public right-of-way.
- 4.10.2. Locate decks and patios in locations that do not damage or conceal significant building or site features or details. Do not introduce a deck or patio if it requires the loss of a character-defining building or site feature, including porches, projecting bays or wings, historic garages, accessory buildings, and retaining walls.
- 4.10.3. Retain and preserve historic building materials and trim and minimize the visual impact of a deck or patio by designing them to be inset from the building's corners.
- 4.10.4. Limit the size and scale of decks and patios to minimize their visual impact. Do not introduce a deck or patio if it will visually overpower the building or site or substantially alter the proportion of constructed area to unbuilt area on the site.
- 4.10.5. Align decks with the building's first floor. For sites with steep topography or high foundations, consider multilevel decks that step down to follow the topography of the site.
- 4.10.6. Design and detail decks and any related steps and railings to be compatible with the historic building in scale, material, configuration, and proportion. Consider designing deck piers and foundation infill to relate to the house in the same way that a porch would. However, avoid replicating historic porch posts and railings for contemporary, uncovered decks.
- 4.10.7. Construct decks of wood or substitute materials that visually replicate wood. When visible from the street, construct patios in traditional materials—including red brick, flagstone, and Chapel Hill grit.
- 4.10.8. Minimize damage to the historic building by designing decks and patios to be structurally self-supporting. Attach decks to the building carefully to minimize the loss of historic fabric and to allow for their removal in the future. Retain a planting strip between patios and building foundations to allow for proper drainage.
- 4.10.9. Screen the structural framing of decks with foundation plantings, lattice, or other compatible screening materials.

DESCRIPTION OF THE APPLICABLE ASPECT OF OUR PROPOSAL:

A self-supporting 15' x 9' wooden deck, 30" high with white wooden posts and a 2x4 cap rail, will extend along the back of the house from the screened porch and will have wooden steps leading down into the back yard. It will not be visible from the street and will be barely visible from the adjoining properties. The deck will be on one level, aligned with the house's first floor, and will have simple wooden posts and steps; there will be no architectural detailing. No significant features will be removed from the back of the house in order to construct this deck. The framing will be screened with plantings.

- 4.10.10. Maintain and protect significant site features from damage during or as a consequence of deck-or patio related site work or construction.

DESCRIPTION OF THE APPLICABLE ASPECT OF OUR PROPOSAL:

The residence should not sustain any damage since the proposed deck will be against the rear of the house but will not cut into the structure. There are no significant trees or vegetation in the area of the proposed driveway, parking area or walkway. A short section of the rubble wall at the street will be removed to accommodate the wider driveway, but this section has already been repeatedly damaged by vehicular traffic.



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F. Checklist of Application Materials					
<i>Attach the required elements in the order indicated.</i>	ATTACHED? TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY TOWN STAFF		
	YES	N/A	YES	N/A	NO
1. Written description of physical changes proposed. Describe clearly and in detail the physical changes you are proposing to make. Identify the materials to be used (siding, windows, trim, roofing, pavements, decking, fencing, light fixtures, etc.), specify their dimensions, and provide names of manufacturers, model numbers, and specifications where applicable.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. History, context, and character information. Please include a summary of what information you have relied on to understand the relevant character and history of the district and subject property—and briefly summarize that information. At a minimum, include: <ul style="list-style-type: none"> <input type="checkbox"/> Current property information for the lot and all structures, including Building Sketches and Building Details, from Orange County Real Estate Data. <input type="checkbox"/> The entry of your property on the most recent inventory of historic resources in the relevant National Register for Historic Places filing, available via the NC State Historic Preservation Office website: for McCauley-Cameron see West Chapel Hill, for Franklin-Rosemary see Chapel Hill Historic District, for Gimghoul see Gimghoul. (If yours is one of the few properties in McCauley-Cameron or Franklin-Rosemary that has not yet been inventoried, please indicate that.) 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Justification of appropriateness. Attach an annotated statement explaining how the proposed change(s) meets the following standards of appropriateness that the Commission considers in making findings of fact indicating the extent to which the application is or is not congruous with the historic aspects of the historic district. If a standard is not applicable, type "not applicable". <ul style="list-style-type: none"> A. The height of the building in relation to the average height of the nearest adjacent and opposite buildings. B. The setback and placement on lot of the building in relation to the average setback and placement of the nearest adjacent and opposite buildings. C. Exterior construction materials, including texture and pattern. D. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials. E. Roof shapes, forms, and materials. F. Proportion, shape, positioning and location, pattern, and size of any elements of fenestration. G. General form and proportions of buildings and structures. H. Appurtenant fixtures and other features such as lighting. I. Structural conditions and soundness. 	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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J. Architectural scale.					
4. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed or the digital equivalent. Maximum 2 images per page.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Site Plan Set showing existing and proposed conditions. (Min. scale: 1 in. = 20 ft.) <input type="checkbox"/> Site plans must show the relationships between, and dimensions of, existing and proposed buildings, additions, sidewalks, walls, fences, driveways, and/or other structures on the property, as well as property lines and applicable zoning setbacks. <input type="checkbox"/> Include both written and drawn scales and show accurate measurements. You may also use a copy of a survey with surveyor's seal deleted. Revise the copy as needed to show existing conditions and your proposed work. <input type="checkbox"/> Indicate the area of all structural footprints (existing and proposed) in square feet; also, indicate lot size in square feet.	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Elevation Drawings showing existing structural facades and proposed changes. Drawings should be submitted as 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. All details should be reasonably legible. Photographs are okay for facades with no changes. <input type="checkbox"/> Elevation drawings showing all proposed changes above current grade from front, back, and both sides. <input type="checkbox"/> Include scale bar, written scale, and label major dimensions (including width of structures and heights from finished grade to fascia/eaves and heights to top of roofs). <input type="checkbox"/> Label materials to be used (roofing, siding, windows, trim, light fixtures, etc.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Information about context (required for all construction of new structures, proposed impervious surfaces greater than 1500 SF, additions greater than 150 SF, and/or proposed land disturbance greater than 5000 SF.) Detailed information about lots and structures can be found on the Orange County Real Estate Data website; information about lot placement can be found on the Chapel Hill and Orange County GIS portals. For each of the nearest adjacent and opposite properties, provide: <input type="checkbox"/> The height of each building (if an estimate, indicate that). <input type="checkbox"/> The setbacks and lots placement of each building (an image from the Town GIS database, including scale, is sufficient). <input type="checkbox"/> The size of each lot (net land area in square feet). <input type="checkbox"/> The size of all buildings on the nearest adjacent and opposite properties, including building footprint areas, Floor Areas (in square feet), and Floor Area Ratios. Provide current figures from Orange County Real Estate Data ; indicate any corrections for accuracy you believe necessary and your basis for doing so.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Demolition/Relocation Information (required only if demolition or relocation of a feature is proposed). <input type="checkbox"/> Provide a written description of architectural features, additions,	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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remodeling, and any alterations to the structure(s). Make note of any outbuildings on the site plan of the property.					
<input type="checkbox"/> Provide a history of the structure, giving the construction date and architect or carpenter, briefly noting any significant events, persons and/or families associated with the property. Provide current exterior photographs of the property (4" x 6" as printed or the digital equivalent). If information is unknown, please provide a summary of sources consulted.					
<input type="checkbox"/> If an argument about structural soundness is being made, attach a signed and sealed report from a professional engineer.					
<input type="checkbox"/> As necessary, attach a statement explaining how a delay in demolition would cause the property owner to suffer extreme hardship or be permanently deprived of all beneficial use or return from such property by virtue of the delay.					
<input type="checkbox"/> Provide any records about the structure to be demolished.					
9. Mailing notification fee per Planning & Sustainability Fee Schedule . For a list of addresses, please refer to the Town's Development Notification Tool .	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Certificate of Appropriateness fee per Planning & Sustainability Fee Schedule	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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G: Applicant signature

I hereby certify that I am authorized to submit this application; that all information is correct to the best of my knowledge, and all work will comply with the State Building Code and all other applicable State and local laws, ordinances, and regulations.

I acknowledge and agree that the Historic District Commission members, Town employees, and Town agents may enter, solely in performance of their official duties and only at reasonable times, upon the applicant's property for examination or survey thereof pursuant to North Carolina General Statute 160A-400.8. However, no member, employee, or agent of the Historic District Commission may enter any private building or structure without the express consent of the owner or occupant thereof.

I understand and agree that an approved Certificate of Appropriateness is valid only for the particular application, plans, specifications and related project details presented to, and approved by, the Historic District Commission. If any of the data contained in this application, any plans or any specifications presented to the Commission are changed or altered for any reason, including, but not limited to, changes or alternations deemed practically necessary during construction, required due to subsequent Town reviews, or otherwise, a new hearing before the Historic District may be required. By signing below, the applicant agrees to notify the Development Services Center of any changes or alternations in the data contained in this application, the approved plans or the approved specifications related to the project that is the subject of this application.

Hearings on Certificate of Appropriateness applications before the Commission are quasi-judicial proceedings. Therefore, Historic District Commission members are not permitted to discuss a pending application with the applicant or other party. By signing below, the applicant agrees to refrain from speaking with or contacting any member of the Historic District Commission about an application outside of the formal evidentiary hearing on the application.

Melissa Allen

3/18/21

Applicant (printed name)

Signature

Date

Melissa Allen

same

Property Owner

Signature

Date

(if different from above)



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Certificate of Appropriateness Supplemental Requirements

*In addition to [Residential](#) Zoning OR [Administrative](#) Zoning Compliance Permit Requirements

Certificate of Appropriateness applications are subject to review and approval by the Historic District Commission as well as by Town staff. For assistance with this application, please contact the Chapel Hill Planning Department.

Please submit **all** materials listed **on this sheet**. The Historic District Commission meets on the second Tuesday of each month at 6:30 pm. For confirmation of a meeting date and the placement of your request on the agenda, please call the Planning Department. **Applications are due one month in advance of meeting.**

Application Process:

1. Historic District Commission Review of Certificate of Appropriateness (COA) Supplemental materials
2. Staff review of Residential / Administrative Zoning Compliance Permit (ZCP) materials

**COA (step 1) and ZCP (step 2) materials may be submitted simultaneously or separately.

Required Application Materials

(In addition to [Residential](#) Zoning Compliance Permit or [Administrative](#) Zoning Compliance Permit Requirements)

An Electronic copy of each document is required in addition to paper copies.

Provide a single set of the following materials:

n/a	1. Application Form. Either Residential Zoning Compliance or Administrative Zoning Compliance.
X	2. Recorded plat or deed verifying property's current ownership
n/a	3. Recorded plat of easements, right-of-way, and dedications, if applicable
X	4. Mailing List of Property Owners , applicable within 100 feet of property boundaries The Town will prepare a formal notice to be mailed to surrounding property owners about the application. You may find it helpful to discuss the proposed changes with your neighbors in person so you can address their concerns both in your planning and presentation.
X	5. Mailing notification fee. The fee per address can be found on the Planning Department's Fee Schedule .
X	6. Certificate of Appropriateness fee per Planning Department's Fee Schedule
X	7. Reduced Site Plan Set (reduced to 8.5" x 11")
n/a	8. Building Elevations (label building height from top of roof to finished grade line)
n/a	9. Floor Plan, only if accessory apartment, duplex, or commercial application.

(Continued)



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X

10. Written Description

Describe all proposed changes to the property, list all materials to be used, and address the criteria (listed below) that the Commission uses to determine appropriateness. Presenting your proposal with these criteria in mind will provide a clear basis for the Commission's deliberations.

- a) The height of the building in relation to the average height of the nearest adjacent and opposite buildings;
- b) The setback and placement of the building on the lot in relation to the average setback and placement of the nearest adjacent and opposite buildings;
- c) The exterior construction materials, including textures and patterns;
- d) The architectural detailing such as lintels, cornices, brick bond, and foundation materials;
- e) The roof shape, form, and materials;
- f) The proportion, shape, location, pattern, and size of any elements of fenestration (windows, doors);
- g) The general form and proportion of the buildings;
- h) The accessory fixture and other features (including lighting fixtures, hardware, awnings, etc.);
- i) The architectural scale in relation to existing structures and surrounding buildings; and
- j) Structural conditions and soundness.

Provide photographs of existing property and elevation drawings of the proposed changes. Depict changes in as much detail as possible, paying special attention to those features which the Commission uses to determine appropriateness. This section of the application allows the Commission to see the current state of the property, to visualize the proposed changes, and to assess the impact. The visual description must include dimensions. For new buildings and major additions, the visual description must include the interior floor plan.

n/a

11. Information Regarding Surrounding Properties

For new construction or large projects, the applicant is required to provide information on:

- The height of the nearest adjacent and opposite buildings;
- The setback and placement of the nearest adjacent and opposite buildings;
- The scale of the nearest adjacent and opposite buildings, including percentage of lot coverage.

n/a

12. Demolition Information (if applicable)

Provide a description of architectural features, additions, remodeling, and any alterations to the structure(s). Make note of any outbuildings on the site plan of the property. Provide a history of the structure, giving the construction date and architect or carpenter, briefly noting any significant events, persons, and/or families associate with the property.

**CERTIFICATE OF APPROPRIATENESS APPLICATION: 210 HILLSBOROUGH STREET
DRIVEWAY REPLACEMENT, NEW WALKWAY, AND NEW REAR DECK**

- 1. Written Description of Physical Changes Proposed.** This residential lot is at an elevation that is lower than the street and surrounding properties, creating a “bowl” effect during heavy rain despite numerous drains throughout the property. The existing concrete driveway and gravel parking area leading from the street to the front yard is deteriorated from stormwater runoff and ponds severely during storm events.

We propose to replace it with a permeable driveway and parking area, using Pine Hall Rumbled Full Range Storm Pave 2.25” brick pavers in a herringbone bond pattern with bullnose brick edging over a sub-base drainage system (refer to plan details). This will give the driveway and parking area a more pleasing and appropriate appearance, and will lessen stormwater runoff.

Currently vehicles must drive into this narrow driveway and back out of it - a dangerous practice as Hillsborough Street is heavily traveled and drivers don’t always obey the speed limit. The proposed driveway will be 1 foot wider for easier entry and exit and will allow vehicles to turn around in the parking area and drive out onto the street.

The only walkway from the driveway to the front entry is currently a dirt path. We propose to install a 3 foot wide brick walkway in a herringbone bond pattern to match the appearance of the driveway.

A 15’ x 9’ wooden deck, 30” high with white wooden posts and a 2x4 cap rail, will extend along the back of the house from the screened porch and will have wooden steps leading down to the back yard. It will not be visible from the street and will be barely visible from the adjoining properties.

- 2. History, context, and character information.** The residence was built in 1942 on a narrow lot and is not listed as a significant structure in the 1994 Franklin-Rosemary Significance Report. The concrete driveway was installed sometime after the construction of the house and the gravel parking area has been replenished as needed.

3. Justification of Appropriateness.

C. Exterior construction materials, including texture and pattern. Brick driveways and parking areas are found throughout the Franklin-Rosemary historic district, several of which are in front yards. The public sidewalk on the west side of 200 Block of Hillsborough Street is paved with red brick, as are other public sidewalks in the district. The wooden deck will have the same materials found on decks throughout the district.

D. Architectural Detailing. The brick for the driveway and parking area will closely match the type of brick found throughout the district. The deck will be on one level with simple wooden posts and steps; there will be no architectural detailing.

I. Structural conditions and soundness. Permeable brick pavers are sounder than gravel, more environmentally friendly than concrete, and reduce erosion during storm events. The deck will be constructed of treated wood on treated wood framing.

- 4. Photographs.** Photos of existing conditions and an example of the type of pavers proposed are included in the application materials.
- 5. Site Plan Set.** Included in the application materials.

6. **Elevation Drawings.** Not applicable.
7. **Information about context.** Not applicable; the proposed impervious surface is less than 1,500 square feet and the land disturbance is less than 5,000 square feet.
8. **Demolition/relocation information.** Not applicable.
9. **Mailing Notification Fee.** 10 surrounding properties x \$1.00 = \$10.00.
10. **Certificate of Appropriateness Fee.** \$400.

CERTIFICATE OF APPROPRIATENESS APPLICATION: 210 HILLSBOROUGH STREET
PHOTOGRAPHS OF EXISTING CONDITIONS AND PROPOSED PAVING MATERIAL



Views of existing concrete driveway and gravel parking area. A short section of the damaged rubble wall (arrow) will be removed to allow the new driveway to be 1 foot wider.





Example of the proposed driveway appearance, using Pine Hall Rumpled Full Range Storm Pave 2.25" brick pavers in a herringbone bond pattern. Instead of flat edging, matching bullnose brick edging will be used (refer to detail on plans.)



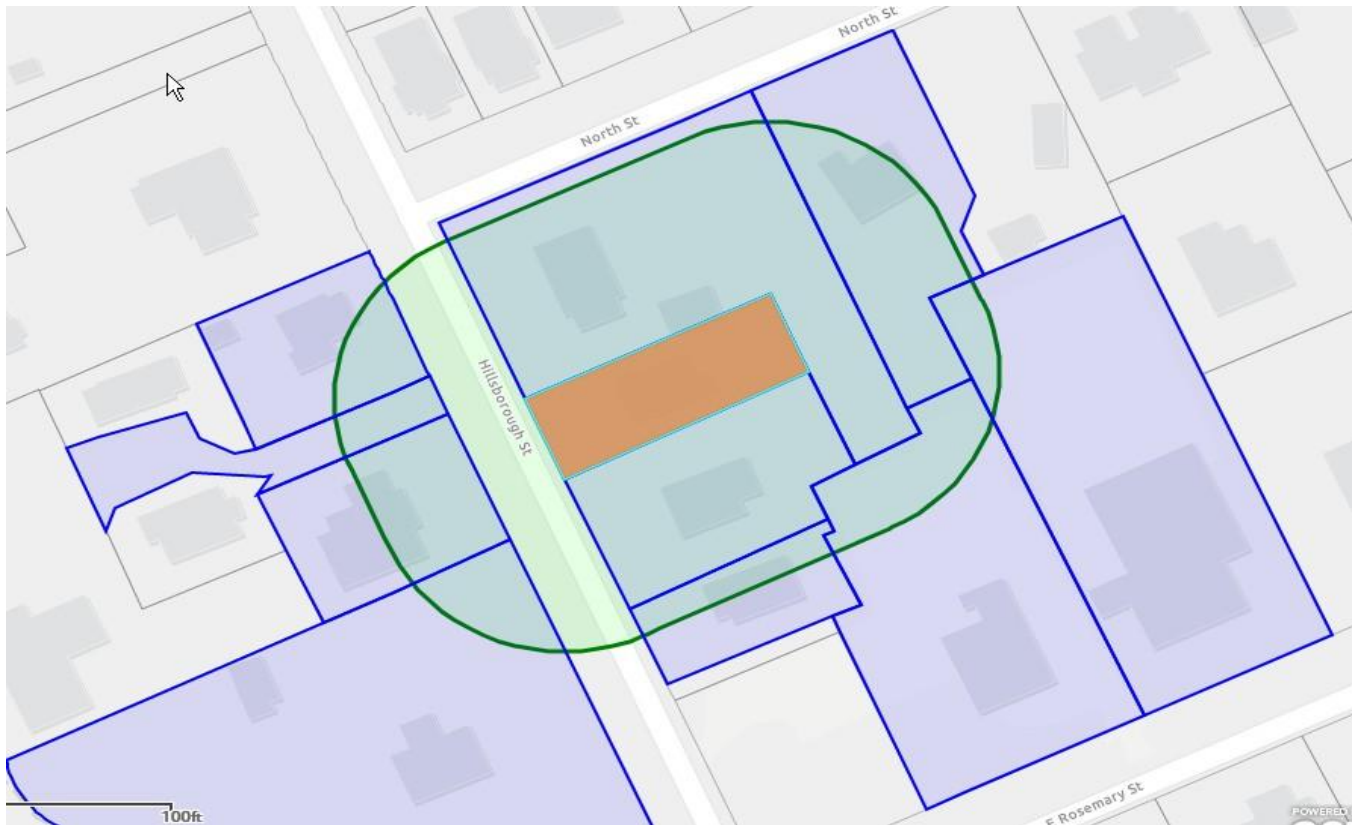
Sketch of the proposed driveway and parking area.



Sketch of the proposed rear deck, using treated decking boards and white wooden posts with a 2x4 wooden cap rail. Existing screen porch and door to remain.

210 HILLSBOROUGH STREET: PROPERTY OWNERS WITHIN 100 FEET

1	MAY ROBERT E JR	408 NORTH ST	CHAPEL HILL	NC	27514
2	N C DELTA UPSILON FD	5105 REMBERT DRIVE	RALEIGH	NC	27612
3	BETA UPSILON ED FOUNDATION	PO BOX 3270	CHAPEL HILL	NC	27515
4	STRUBLE KATHLEEN MARGARET	214 HILLSBOROUGH ST	CHAPEL HILL	NC	27514
5	HANNA SCOTT ALLEN TRUSTEE	208 HILLSBOROUGH ST	CHAPEL HILL	NC	27514
6	CAREY TIMOTHY S ETAL	206 HILLSBOROUGH ST	CHAPEL HILL	NC	27514
7	MANNING PHILLIP V	315 E ROSEMARY ST	CHAPEL HILL	NC	27514-3531
8	SCARP RIDGE PROPCO LLC	221 NORTH HOGAN ST	JACKSONVILLE	FL	32202-4201
9	GOFFENA JAMES R ET AL	1008 LIVE OAK LOOP	BUDA	TX	78610



SURVEY FOR
MELISSA ALLEN


TRACT OF LAND
TOWN OF CHAPEL HILL
ORANGE COUNTY, NORTH CAROLINA
DEED BOOK 5653, PAGE 40
ADDRESS: 210 HILLSBOROUGH STREET
PIN: 9788-58-1747

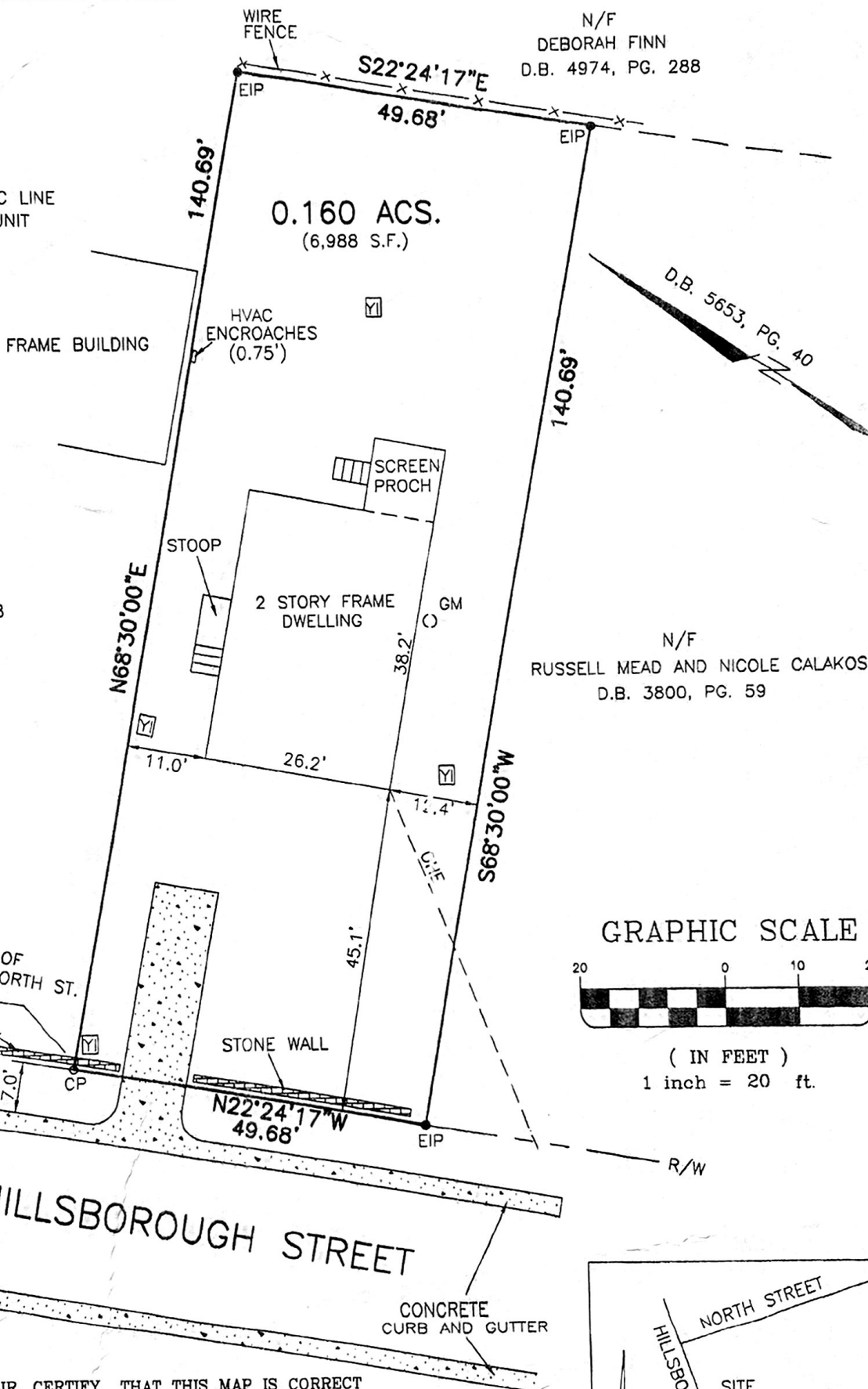
NOTES

1. AREA BY COORDINATE CALCULATION.
2. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RIGHT-OF-WAYS OF RECORD PRIOR TO THE DATE OF THIS PLAT.
3. NO GRID MONUMENTS FOUND WITHIN 2000' OF PROPERTY.
4. THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH NORTH CAROLINA STANDARDS, GS47-30, AND REQUIREMENTS OF LAW, BUT A NORTH CAROLINA LICENSED ATTORNEY-AT-LAW SHOULD BE CONSULTED REGARDING CORRECT OWNERSHIP, WIDTH AND OWNERSHIP OF EASEMENTS AND OTHER TITLE QUESTIONS REVEALED BY A TITLE EXAMINATION.

LEGEND

EIP = EXISTING IRON PIN
CP = CALCULATED POINT
R/W = RIGHT-OF-WAY
YI = YARD INLET
OHE = OVERHEAD ELECTRIC LINE
HVAC = HEATING AND AIR UNIT
GM = GAS METER

 = CONCRETE



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

I, HERBERT H. PROCTOR, JR. CERTIFY THAT THIS MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND WAS DRAWN FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION ON MAY 17, 2014 AND THAT ENCROACHMENTS, IF ANY AT THE TIME OF SURVEY ARE SHOWN. RATIO OF PRECISION IS GREATER THAN 1/10,000

HERBERT H. PROCTOR, JR., P.L.S.

L-3821

STEWART-PROCTOR

ENGINEERING and SURVEYING
319 CHAPANOKE ROAD SUITE 106
RALEIGH, NC 27603
TEL. 919 779-1855 FAX 919 779-1661

DATE 05/19/2014

SURVEYED

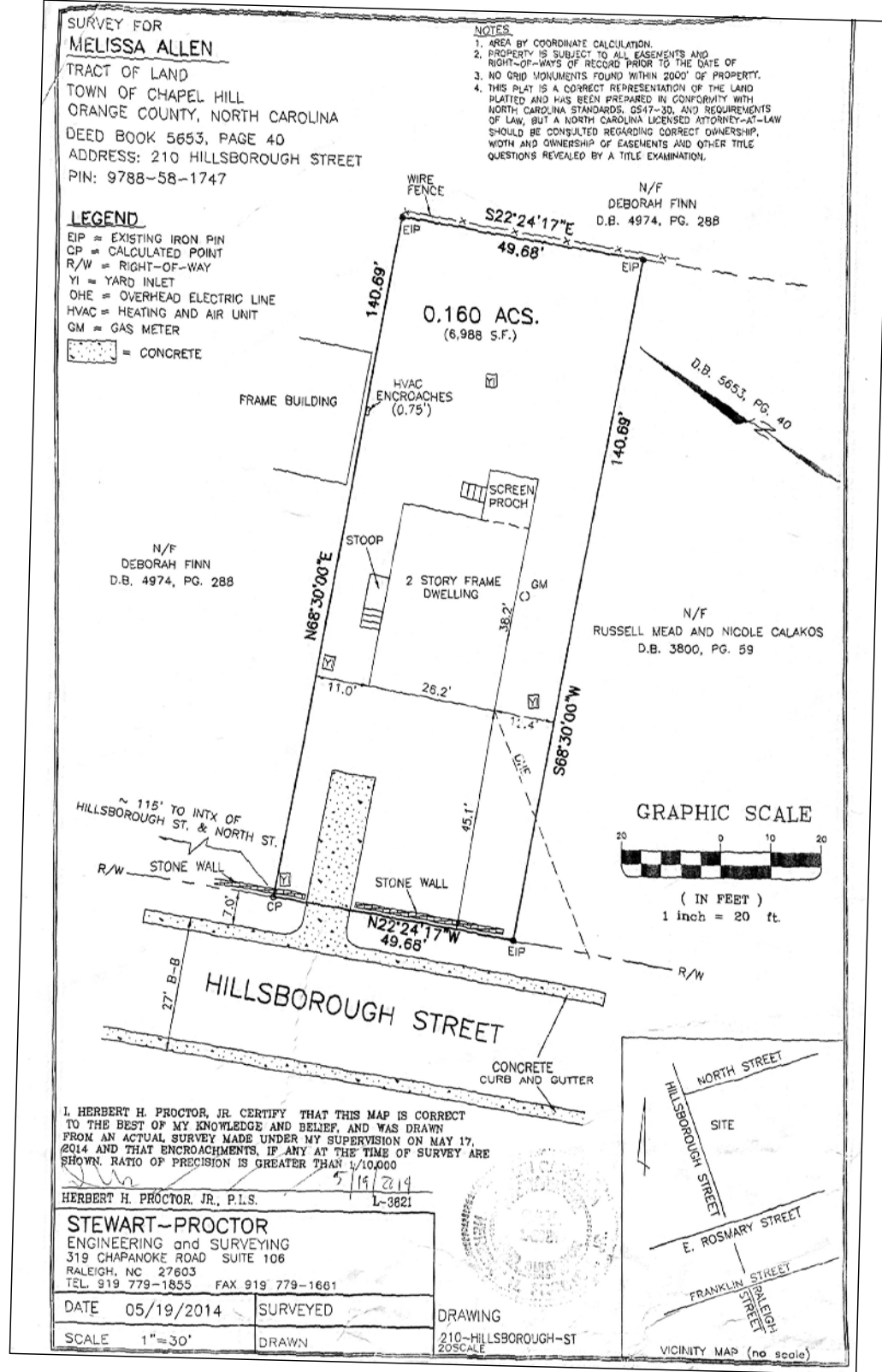
DRAWING

SCALE 1"=30'

DRAWN

210-HILLSBOROUGH-ST
20SCALE

VICINITY MAP (no scale)



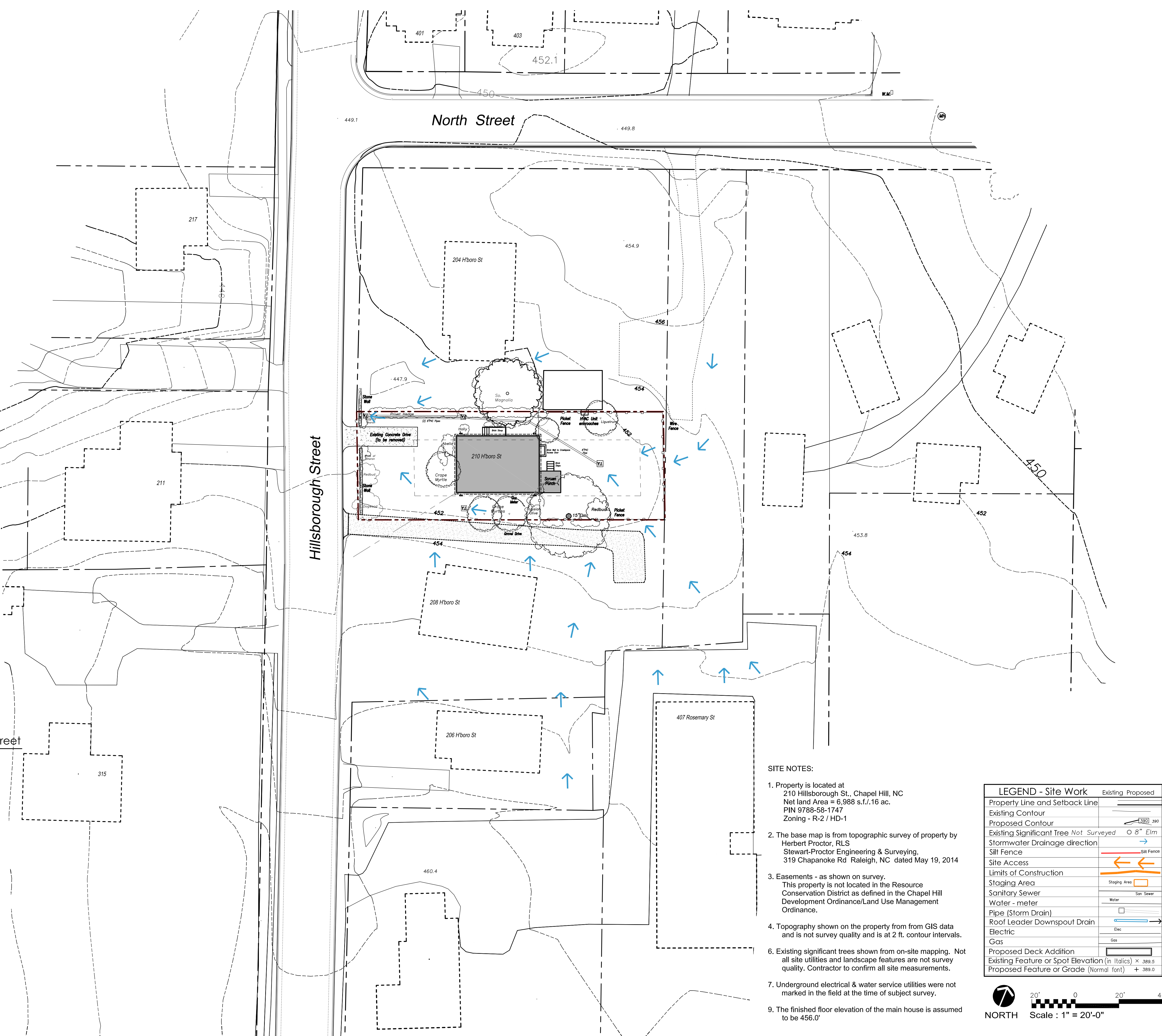
SURVEY



Drive entry in summer



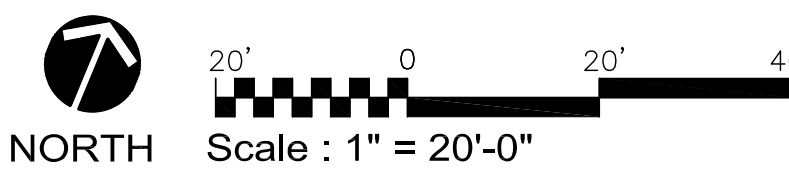
Site Photo of drive entry along Hillsborough Street



SITE NOTES:

- Property is located at 210 Hillsborough St., Chapel Hill, NC. Net land Area = 6,988 s.f./16 ac. PIN 9788-58-1747 Zoning - R-2 / HD-1
- The base map is from topographic survey of property by Herbert Proctor, RLS, Stewart-Proctor Engineering & Surveying, 319 Chapanoke Rd Raleigh, NC dated May 19, 2014
- Easements - as shown on survey. This property is not located in the Resource Conservation District as defined in the Chapel Hill Development Ordinance/Land Use Management Ordinance.
- Topography shown on the property from from GIS data and is not survey quality and is at 2 ft. contour intervals.
- Existing significant trees shown from on-site mapping. Not all site utilities and landscape features are not survey quality. Contractor to confirm all site measurements.
- Underground electrical & water service utilities were not marked in the field at the time of subject survey.
- The finished floor elevation of the main house is assumed to be 456.0'

LEGEND - Site Work	
Existing	Proposed
Property Line and Setback Line	
Existing Contour	
Proposed Contour	
Existing Significant Tree Not Surveyed	○ 8" Elm
Stormwater Drainage direction	→
Silt Fence	— Silt Fence
Site Access	←
Limits of Construction	
Staging Area	Staging Area
Sanitary Sewer	San Sewer
Water - meter	Water
Pipe (Storm Drain)	□
Roof Leader Downspout Drain	→
Electric	Elec
Gas	Gas
Proposed Deck Addition	
Existing Feature or Spot Elevation (in Italics)	× 389.5
Proposed Feature or Grade (Normal font)	+ 389.0



Site and Landscape Improvements for
Allen Residence

Melissa Allen
210 Hillsborough Street
Chapel Hill, NC

P.I.N. 9788-58-1747
MAP REFERENCE
DEED BOOK 5653, PG 40

CHAPEL HILL TOWNSHIP
ORANGE COUNTY NORTH CAROLINA

revisions
1.

date
March 17, 2021

Sheet Name
Site Context
Existing
Conditions Plan



Existing Condition showing Front of House



Existing Condition showing Front Yard Parking and low area in front of house



Existing Condition showing Front Yard Side/Rear of House



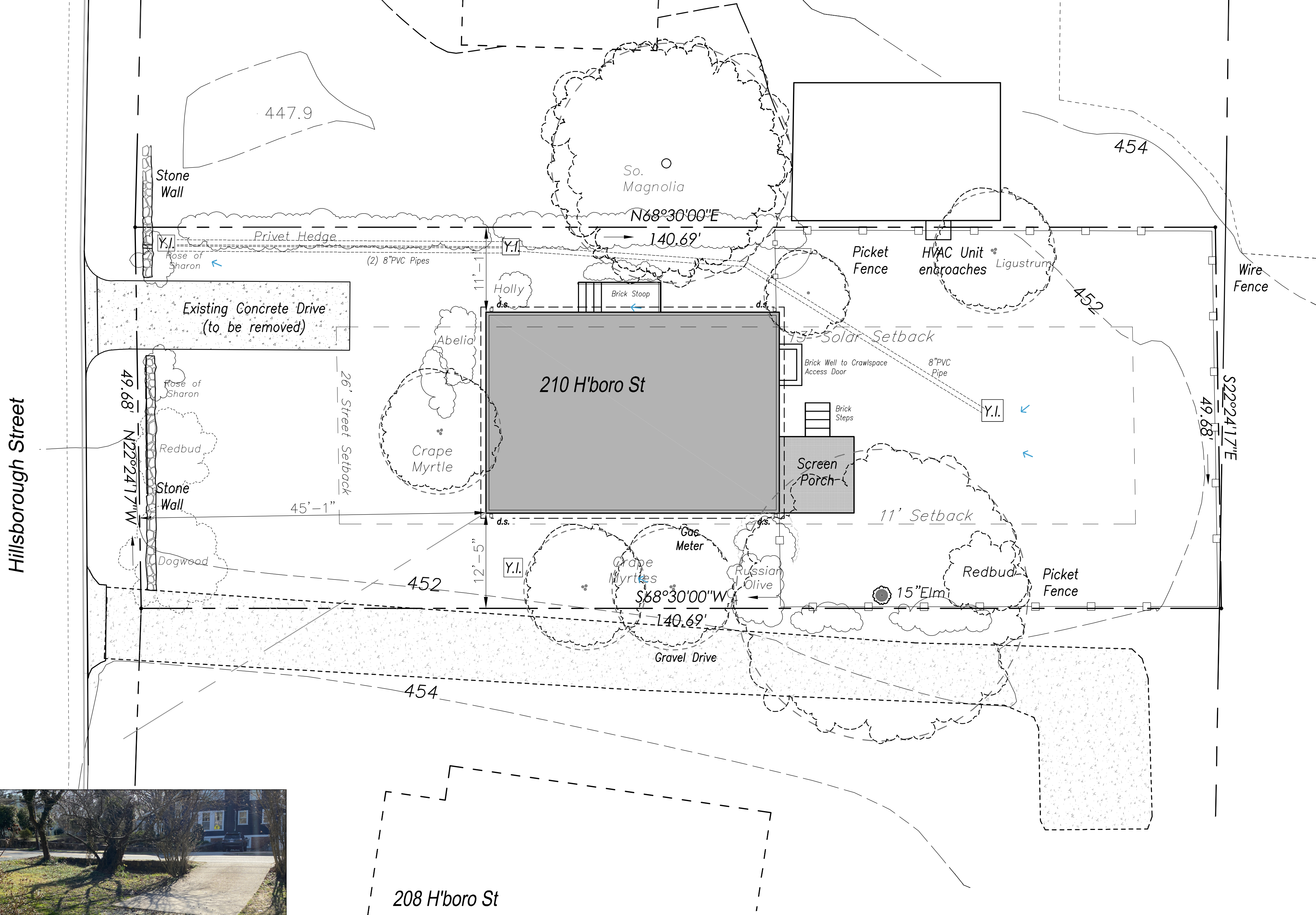
Existing Condition showing driveway and apron at Hillsborough St



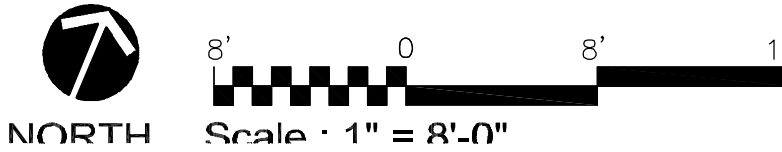
Existing Condition showing yard drains and catch-basins and drainage low areas



Viewing toward Hillsborough St



LEGEND - Site Work	
Property Line and Setback Line	Existing Proposed
Existing Contour	Existing Contour
Proposed Contour	Proposed Contour
Existing Significant Tree Not Surveyed	Existing Significant Tree Not Surveyed
Stormwater Drainage direction	Stormwater Drainage direction
Silt Fence	Silt Fence
Site Access	Site Access
Limits of Construction	Limits of Construction
Staging Area	Staging Area
Sanitary Sewer	Sanitary Sewer
Water - meter	Water - meter
Pipe (Storm Drain)	Pipe (Storm Drain)
Roof Leader Downspout Drain	Roof Leader Downspout Drain
Electric	Electric
Gas	Gas
Proposed Deck Addition	Proposed Deck Addition
Existing Feature or Spot Elevation (in Italics) × 389.5	Existing Feature or Spot Elevation (in Italics) × 389.5
Proposed Feature or Grade (Normal font) + 389.0	Proposed Feature or Grade (Normal font) + 389.0



Swanson + Associates, PA
landscape architect
100 East Carr Street
Carrboro, NC 27510
david@swansonlandscapearchitecture.com
919.929.9000

Site and Landscape Improvements for
Allen Residence

Melissa Allen
210 Hillsborough Street
Chapel Hill, NC

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Existing Conditions Plan

FOR REVIEW **L-1.1**



Sketch of proposed Brick Parking Court (permeable brick pavers bordered with Bullnose brick curb)
NOTE: parking is 18 ft. wide to accomodate two cars

1 DRIVEWAY and PARKING
Sketch of Front Elevation of House and proposed Permeable Brick Paving SCALE: NOT TO SCALE



Sub-base gravel with filter cloth and undersdrains base for Storm Pave



Pine Hall Rumblbed Full Range Storm Pave
Herringbone Pattern with 8" border

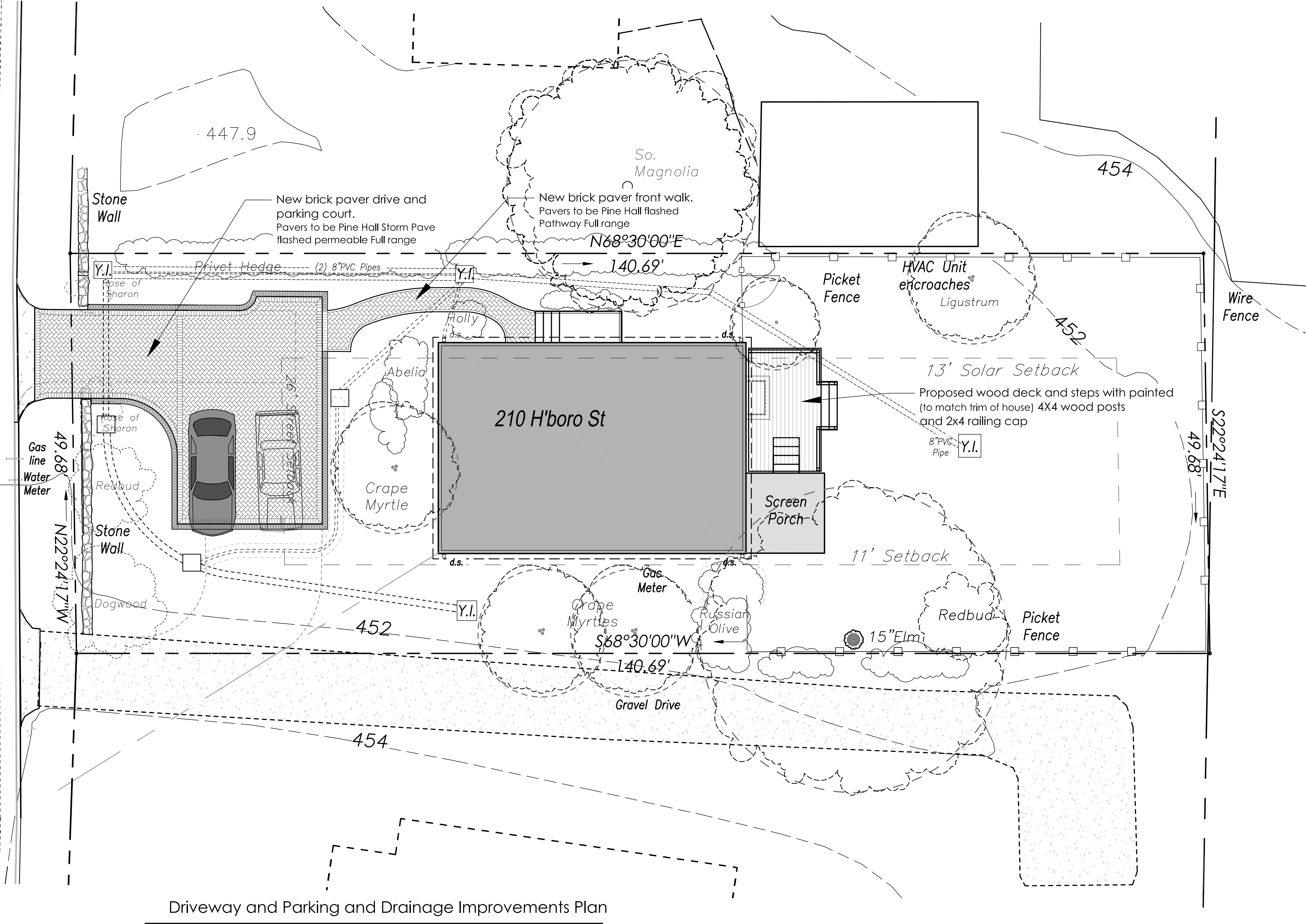


Pine Hall Rumblbed Full Range Storm Pave Detail
Herringbone Pattern with 8" border



Driveway Storm Pave Permeable Pavers connection to front entry main walk using Pine Hall Pathway Full Range pavers

2 DRIVEWAY and PARKING
Precedent Images SCALE: NOT TO SCALE



Driveway and Parking and Drainage Improvements Plan
SCALE: 1" = 8'-0"



Rear Elevation of Deck with simple Wood Posts and Railing Cap and Step Railing Detail
NOTE: The deck will be lower than 30" and railing is not required, but the railing is preferred to provide space.

3 DECK and Railing - Steps
Sketch of Rear Elevation of House and proposed Deck SCALE: NOT TO SCALE

- SITE NOTES:
- Contractor to locate and confirm all utilities and plan excavations accordingly around existing underground utilities.

LEGEND - Site Work	
Property Line and Setback Line	Existing Proposed
Existing Contour	—
Proposed Contour	—
Existing Significant Tree Not Surveyed	○ 8" Elm
Stormwater Drainage direction	→
Silt Fence	— Silt Fence
Site Access	←
Limits of Construction	—
Staging Area	—
Sanitary Sewer	— San Sewer
Water - meter	— Water
Pipe (Storm Drain)	—
Roof Leader Downspout Drain	—
Electric	— Elec
Gas	— Gas
Proposed Deck Addition	—
Existing Feature or Spot Elevation (in Italics)	× 389.5
Proposed Feature or Grade (Normal font)	+ 389.0



Site and Landscape Improvements for
Allen
Residence

Melissa Allen
210 Hillsborough Street
Chapel Hill, NC

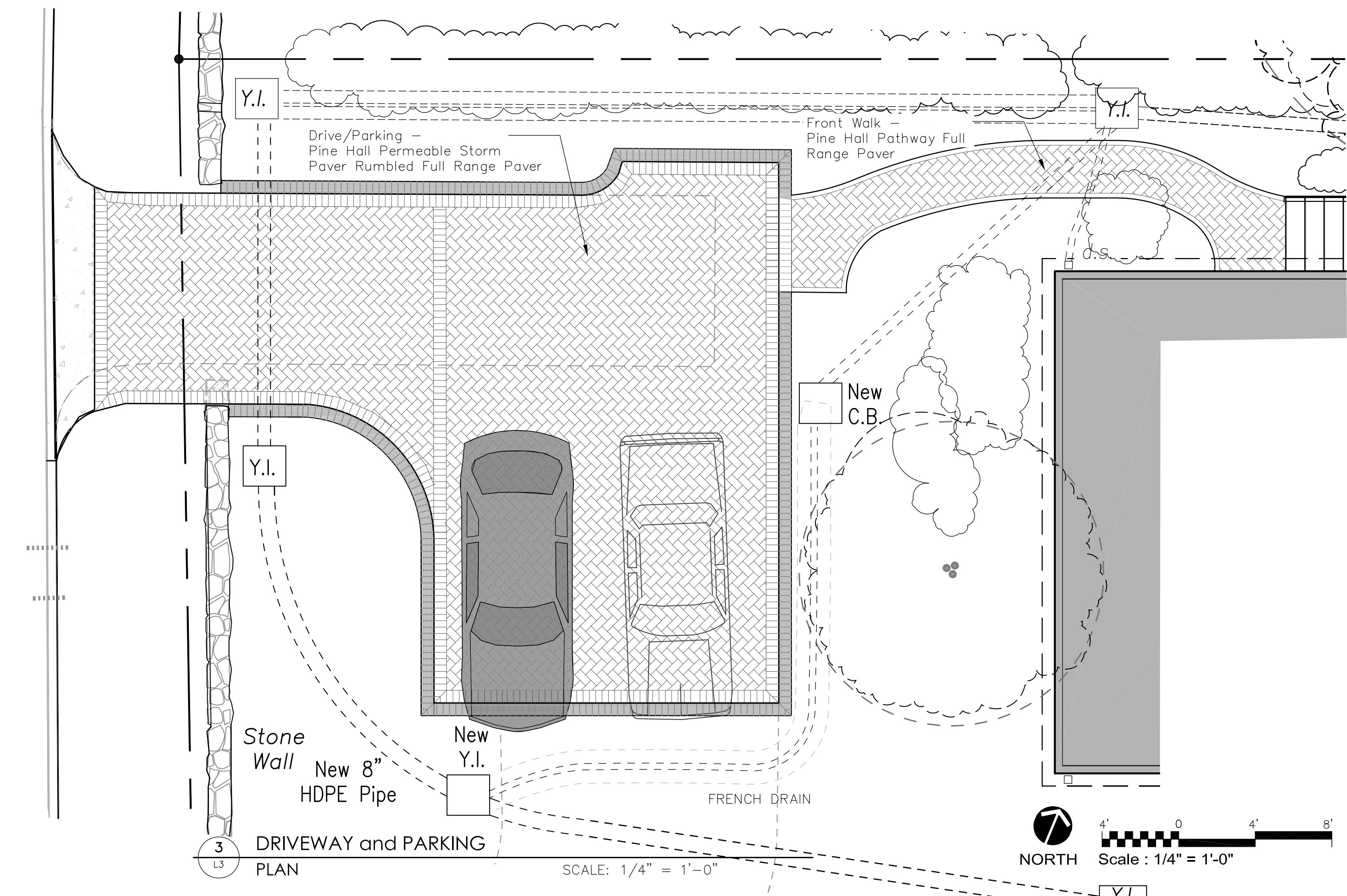
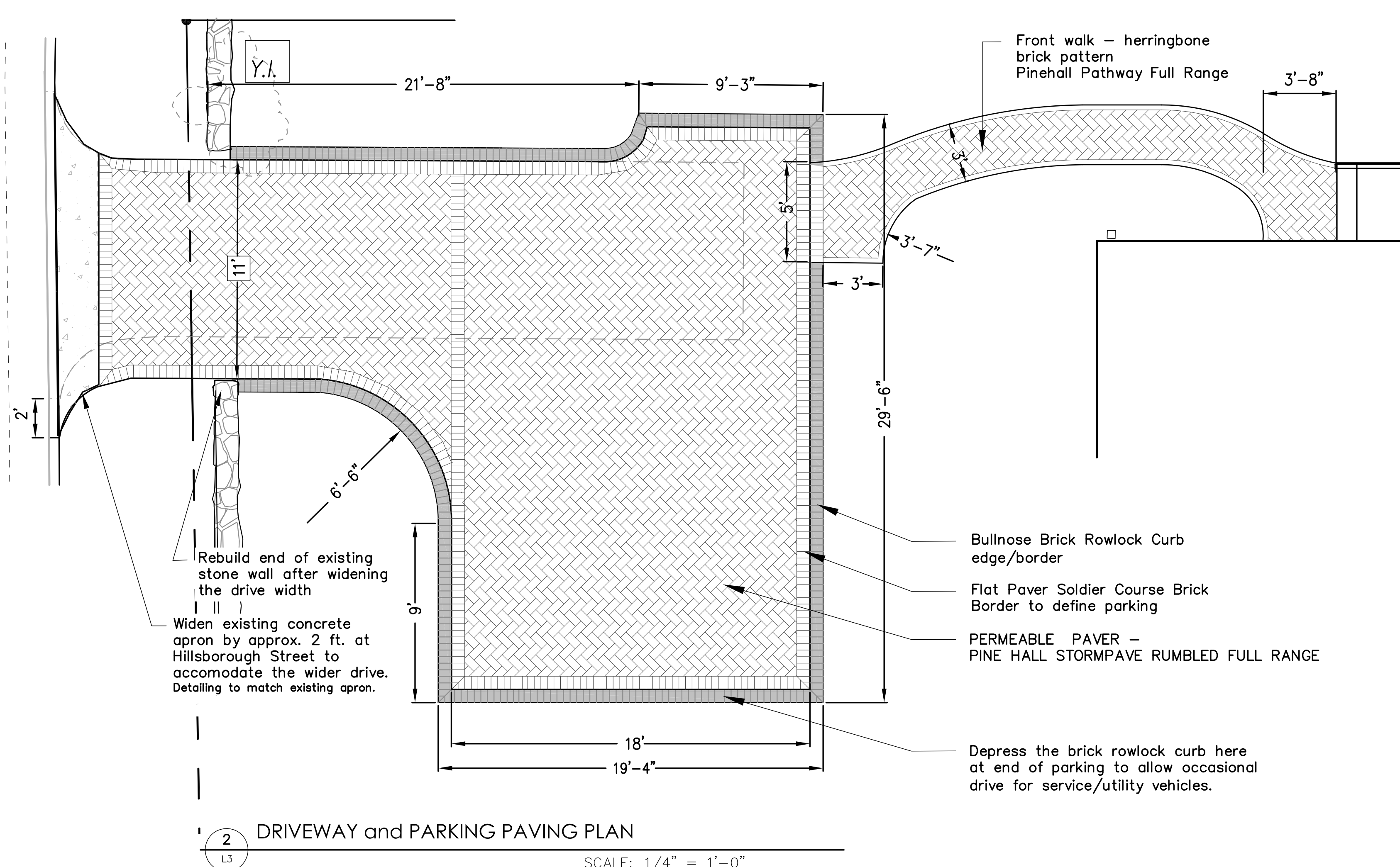
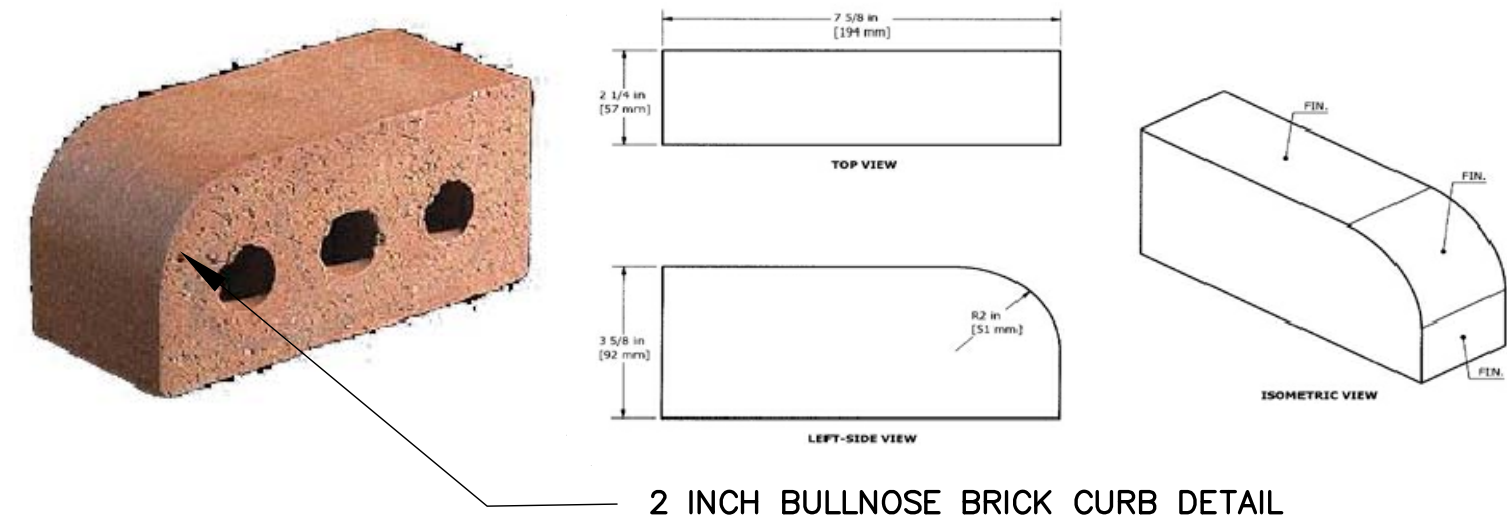
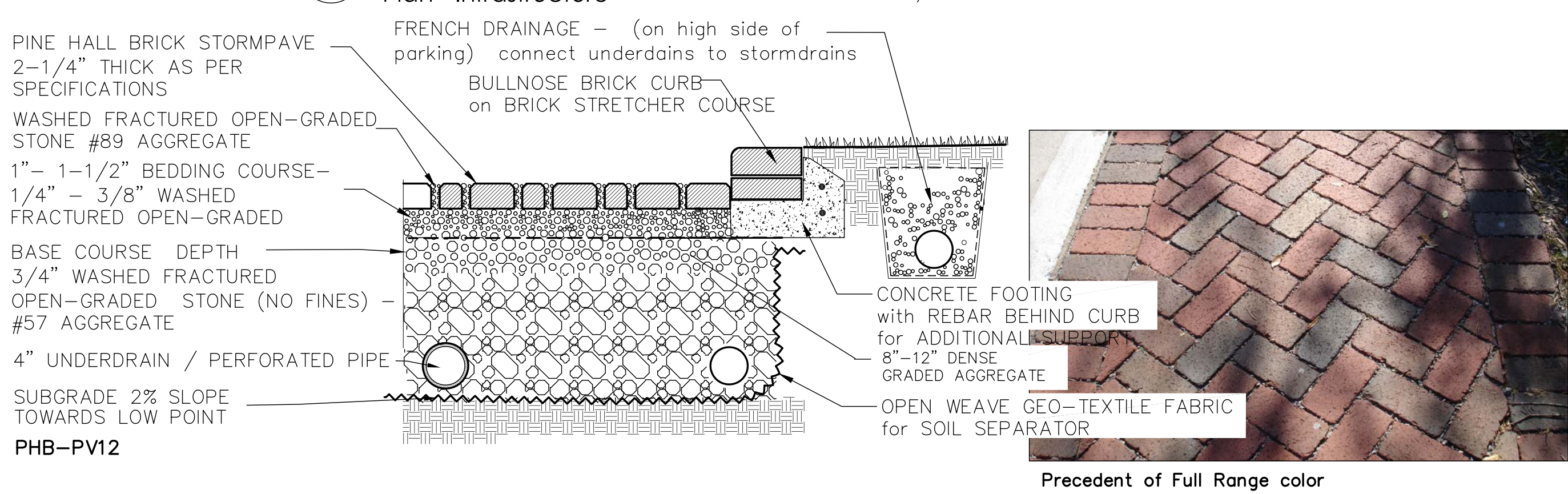
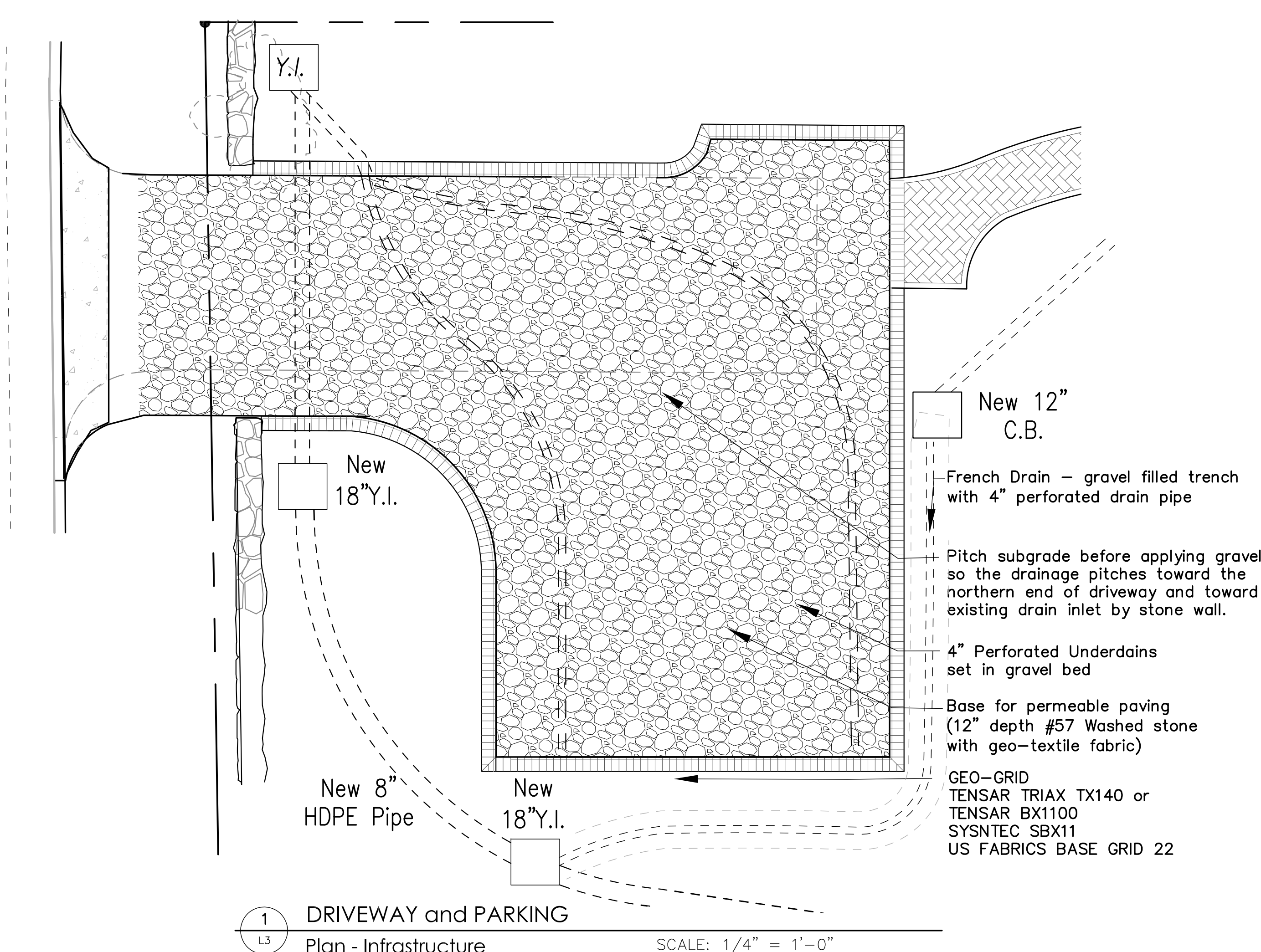
P.I.N. 9786-58-1747
MAP REFERENCE
DEED BOOK 5653, PG 40

CHAPEL HILL TOWNSHIP
ORANGE COUNTY NORTH CAROLINA

revisions
1.

date
March 17, 2021

Sheet Name
Landscape
Improvements Plan



Site and Landscape Improvements for
Allen Residence

Melissa Allen
210 Hillsborough Street
Chapel Hill, NC

P.I.N. 9786-58-1747
MAP REFERENCE
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CHAPEL HILL TOWNSHIP
ORANGE COUNTY NORTH CAROLINA

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date
March 17, 2021

Sheet Name
Driveway Paving
and Drainage
Improvements Plan
Details

FOR REVIEW
L-3.0

United States Department of the Interior
National Park ServiceNational Register of Historic Places
Continuation SheetSection number 7 Page 118Chapel Hill Historic District Boundary Increase and
Additional Documentation
Orange County, North Carolina

gabled porch on square columns with an arched ceiling. A one-story, side-gabled wing on the left elevation faces Hillsborough Street and has six-over-six windows, a half-round window in the gable, and a fifteen-light French door sheltered by a gabled roof supported by exposed purlins on the west elevation. A shed-roofed addition on the south elevation of the side-gabled wing has a six-over-six window on the west elevation and a diamond-paned window on the south elevation. An entrance on the east elevation is sheltered by a shed roof on brackets. There is a one-story, shed-roofed bay at the rear (north) and a stone wall at the street. County tax records date the building to 1932 and the house appears on the 1932 Sanborn map.

C-Building – Shed, c. 1932 – Front-gabled frame shed with shingled exterior matching the house.

208 Hillsborough – House – c. 1910, c. 2005**C – Building**

This two-story, front-gabled Colonial Revival-style house is three bays wide and triple-pile with plain weatherboards, a wide cornice with partial cornice returns, deep eaves, and two interior brick chimneys. The house has six-over-one wood-sash windows and a single one-over-one window in the front gable. The entrance, centered on the façade, is sheltered by a near-full-width, hip-roofed porch supported by tapered square columns with a sawnwork railing. A shed-roofed screened porch on the right (south) elevation, constructed after 2002, is supported by square posts and a sleeping porch at the right rear (southeast) corner of the second floor has four-light casement windows. An entrance on the left (north) elevation is sheltered by a shed roof on braces and accessed by a brick stair. Just beyond the stair is a shed-roofed carport on square posts. There is a full-width, one-story, shed-roofed wing at the rear, the north end of which was likely an inset porch, but has been enclosed with fixed and double-hung windows. A low stone wall extends across the front of the property and the driveway. County tax records date the building to 1910 and the house appears on the 1915 Sanborn map, the first to cover this part of Hillsborough Street. The side porch was added after 2002 and the rear porch may have been enclosed at this time.

210 Hillsborough – House – c. 1950**C – Building**

Oriented to the north, this one-and-a-half-story, side-gabled, Colonial Revival-style house is three bays wide and double-pile with two gabled dormers on the façade. The house has wood shingles, six-over-six wood-sash windows, a wide molded cornice, flush eaves, and an interior brick chimney. The entrance, centered on the façade, has a four-light transom and is accessed by an uncovered brick stoop. There is a single window in each gable, in each of the pedimented dormers, and in a shed-roofed dormer on the rear (south) elevation. A gabled screened porch projects from the left (east) elevation. The house does not appear on the 1949 Sanborn map, but is typical of post-World War II construction. A portion of the house may have been constructed earlier as a garage, but if so, has been significantly altered.