

Putt-Putt Fun Center

115 / 135 Chapel Point Road

CONDITIONAL ZONING PERMIT APPLICATION CHAPEL HILL, NORTH CAROLINA

OWNER:

ERBER, LLC
3055 BIG RIDGE ROAD
BAKER, WV 26801

CONTRACT PURCHASER / DEVELOPER:

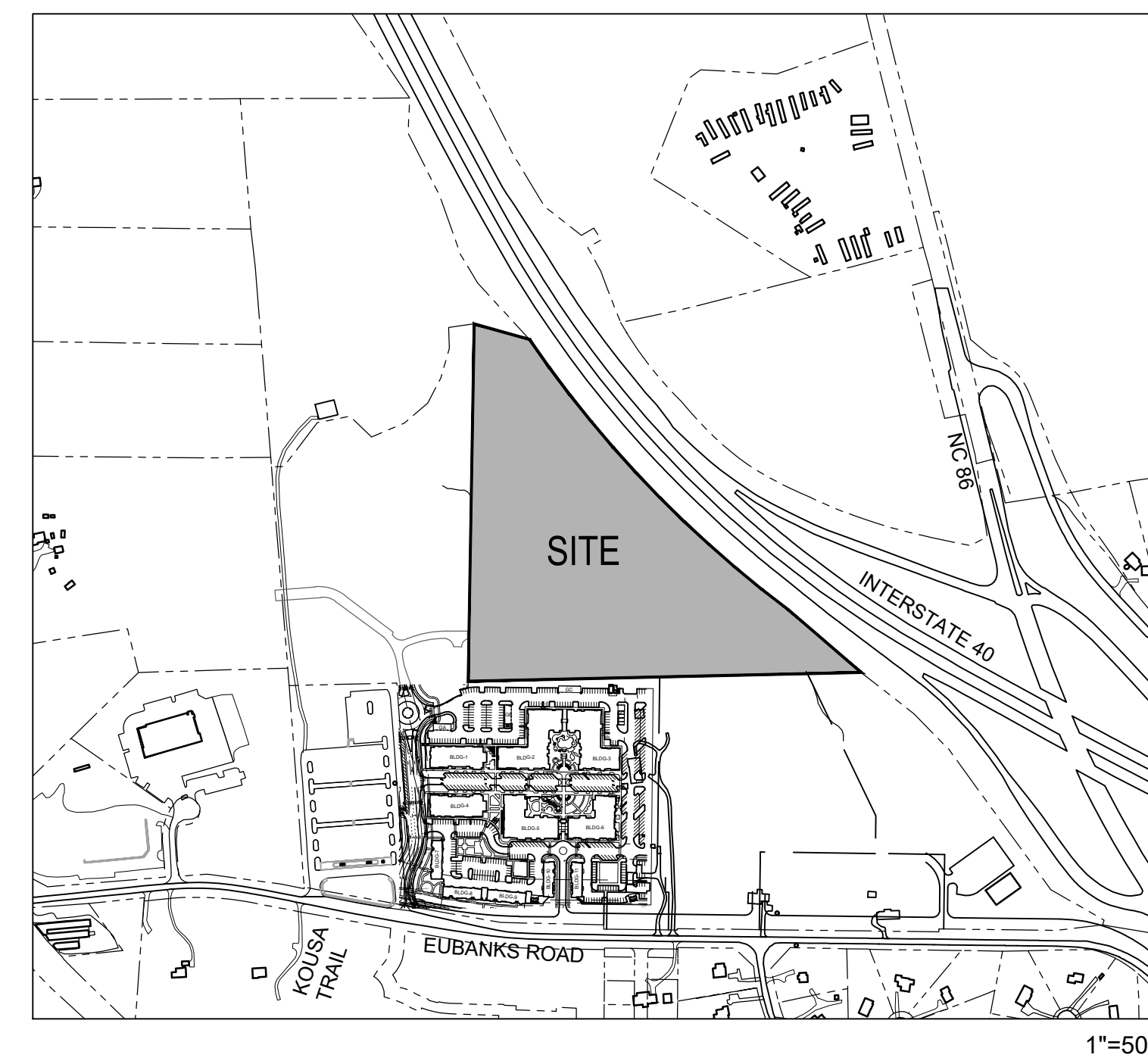
OPTIMAL VENTURES, LLC
194 FINLEY GOLF COURSE ROAD, SUITE 102
CHAPEL HILL, NC 27517
CONTACT: SCOTT MORRIS
SMORRIS@MORRISCOMMERCIAL.COM
919-942-1141

APPLICANT / CONSULTANTS:

LANDSCAPE ARCHITECT / LAND PLANNER:
COULTER JEWELL THAMES, PA
111 WEST MAIN STREET
DURHAM, NC 27701
CONTACT: WENDI RAMSDEN
WRAMSDEN@CJTFA.COM
919-682-0368

ENGINEER:
COULTER JEWELL THAMES, PA
111 WEST MAIN STREET
DURHAM, NC 27701
CONTACT: PRESTON ROYSTER
PROYSTER@CJTFA.COM
919-682-0368

VICINITY MAP



TOWN OF CHAPEL HILL NOTES

1. A FIRE FLOW REPORT SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A ZCP.

RESOURCE CONSERVATION NOTES

STREAM BUFFERS:
THERE IS A MAPPED STREAM AND ASSOCIATED STREAM BUFFER LOCATED ON SITE. A DETERMINATION WAS COMPLETED BY CHAPEL HILL PUBLIC WORKS TO VERIFY THAT THE STREAM SHOWING UP ON THE ORANGE COUNTY SOIL SURVEY EXISTS.

FLOODPLAIN PROTECTION:
THE SITE IS NOT AFFECTED BY A MAPPED FLOODPLAIN ACCORDING TO FIRM MAPS 3710978900 J (FEB. 2 2007).

STEEP SLOPE PROTECTION:
THERE ARE STEEP SLOPES ON SITE LOCATED PRIMARILY WITHIN THE RCD. STEEP SLOPES ARE NOTED ON THE EXISTING CONDITIONS PLAN, CZ-1.0.

WETLANDS:
THERE ARE NO MAPPED WETLANDS ONSITE.

TREE PROTECTION:
REFER TO SHEET CZ-1.1

LIST OF SHEETS:

CZ-0	COVER SHEET
CZ-0.1	AREA MAP
CZ-1.0	EXISTING CONDITIONS PLAN
CZ-1.1	NOTES
CZ-1.2	TREE PROTECTION AND TREESAVE PLAN
CZ-2.0	SITE PLAN
CZ-3.0	GRADING PLAN
CZ-3.1	CROSS SECTION THROUGH RCD reserved for Erosion Control
CZ-4.0	UTILITY PLAN
CZ-5.0	LIGHTING PLAN
CZ-7.0	LANDSCAPE PLAN
CZ-8.0	SITE DETAILS
CZ-8.1	SITE DETAILS
CZ-8.2	UTILITY SITE DETAILS
A-1	ARCHITECTURAL BUILDING SECTIONS

PROJECT DATA:

PARCEL:
ADDRESS: I-40 FRONTAGE NORTH OF EUBANKS ROAD
CHAPEL POINT ROAD
PIN: 9870997083
NET SITE SIZE: 842,609.63 SF / 19.344 AC
GROSS SITE SIZE: 926,870 SF / 21.278 AC

LAND USE:
EXISTING: VACANT, WOODED
PROPOSED: INDOOR / OUTDOOR RECREATION SPACE
CONDITIONED SELF-STORAGE

ZONING:
EXISTING: MU-R-1
PROPOSED: OI-2 (183,672 SF NET, 202,039 SF GROSS)
AND CC (658,937 SF NET, 724,831 SF GROSS)

EXISTING BUILDINGS: N/A

PROPOSED BUILDINGS:
INDOOR RECREATION: 28,500 SF (1 STORY + MEZZANINE MAIN BUILDING, 16,500 SF FOOTPRINT + 4,500 SF 1 STORY CART SHOP)
SELF STORAGE: 84,000 SF (3 STORY / 28,000 SF FOOTPRINT)
TOTAL SQUARE FOOTAGE: 112,500 SF

TOTAL SITE AREA:	NET LAND AREA	GROSS LAND AREA
NON-RCD AREA	446,129 SF	490,741 SF
AREA IN STREAMSIDE RCD ZONE	173,620 SF	190,982 SF
AREA IN MANAGED RCD ZONE	122,851 SF	135,136 SF
AREA IN UPLAND RCD ZONE	100,010 SF	110,011 SF

ALLOWABLE BUILDING SF FOR:	OI-2 FAR	SQUARE FOOTAGE	CC FAR	SQUARE FOOTAGE
PROPOSED ZONE:	114,434 sf @ .264	30,211 SF	486,318 sf @ .429	208,630 SF
STREAMSIDE RCD:	63,604 sf @ .010	636 SF	127,378 sf @ .010	1,274 SF
MANAGED RCD:	43,703 @ .019	830 SF	91,433 sf @ .019	1,737 SF
TOTAL MAXIMUM BUILT SQUARE FOOTAGE:		31,677 SF		211,641 SF

PROPOSED BUILT SQUARE FOOTAGE: 84,000 SF 28,500 SF

TOTAL BUILDING SQUARE FOOTAGE ALLOWED: 243,318 SF
TOTAL BUILDING SQUARE FOOTAGE PROPOSED: 112,500 SF
TOTAL SITE FAR: .1214

VEHICULAR PARKING:
REQUIRED: NO PARKING REQUIREMENT FOR INDOOR RECREATION
34 TO 56 - SELF STORAGE (MIN. 1/2500 SF, MAX. 1/1500 SF)
= 34 SPACES REQUIRED MIN, NO MAXIMUM

PROPOSED: 164 STANDARD SPACES
6 VAN ACCESSIBLE ADA SPACES
= 170 SPACES PROVIDED

ELECTRIC CHARGING STATIONS
REQUIRED: 3% OF TOTAL PARKING = 169 X 3% = 5.1 SPACES
PROVIDED: 6 SPACES SERVED BY 3 DUAL CHARGING STATIONS
SPACES INCLUDE 2 ADA SPACES AND 4 STANDARD SPACES
2 DUAL STATIONS AT THE RECREATION PARKING, 1 DUAL STATION AT THE SELF STORAGE
CONDUIT TO AN ADDITIONAL 34 SPACES AT THE AMUSEMENT CENTER

BICYCLE PARKING:
REQUIRED: 0 - INDOOR/OUTDOOR RECREATION USE FACILITY
(bicycle parking for this use is not specified in the LUMO)
+ 7 OUTDOOR RECREATION SPACES @ 5% vehicular parking provided
80% SHORT TERM (5), 20% PROTECTED (2)
+ 4 - SELF STORAGE (MIN. 4, NO OTHER REQ.)
20% SHORT TERM (1), 80% PROTECTED (3)
= 11 SPACES REQUIRED
6 outdoor, 5 protected

PROPOSED: OUTDOOR RECREATION BICYCLE PARKING = 5% OF VEHICULAR PARKING
136 VEHICULAR SPACES X 5% = 7 BICYCLE SPACES

OUTDOOR RECREATION:
2 - PROTECTED SPACES (2 BIKE LOCKERS)
+ 12 - SHORT TERM SPACES (6 LOOPS UNDER ROOF)
14 SPACES

SELF-STORAGE BUILDING:
3 PROTECTED SPACES (INDOOR SPACES IN SELF STORAGE)
+ 1 SHORT TERM SPACE (LOOP AT OFFICE ENTRY)
= 4 SPACES

TOTAL PROPOSED BIKE PARKING ON SITE: 18 SPACES

IMPERVIOUS SURFACE:
EXISTING: 0 SF
PROPOSED: 180,911 SF

DISTURBED AREA INCLUDING OFF SITE: 335,500 SF / 7.7 AC



111 West Main Street
Durham, N.C. 27701
p 919.682.0368
f 919.688.5646
www.cjtpa.com

NC BOARD OF EXAMINERS FOR
ENGINEERS AND SURVEYORS
LIC # C-1209
NC BOARD OF
LANDSCAPE ARCHITECTS
LIC # C-104



Project
**Putt-Putt
Fun Center**
115 / 135 Chapel Point
Road
Chapel Hill, NC

PIN 9870997083

Job Number 1952

Drawn WLR, MTC
Checked WLR, PBR
Date 7/27/2020
Revisions 12/10/2020 TRT REVIEW RESPONSE
2/19/2021 TRT REVIEW RESPONSE

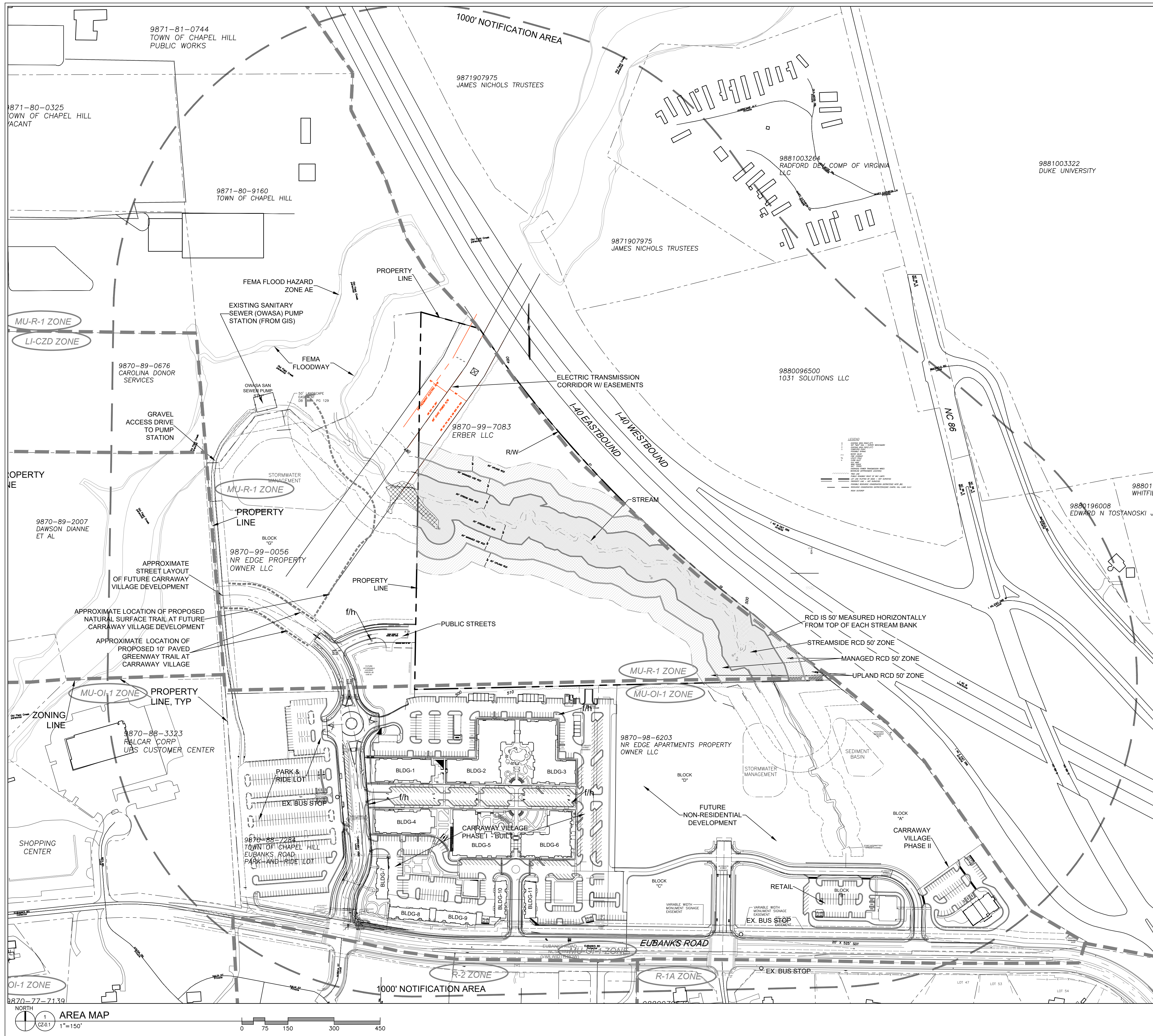
**CONDITIONAL ZONING
PERMIT APPLICATION
NOT ISSUED
FOR CONSTRUCTION**

Sheet Title

**COVER
SHEET**

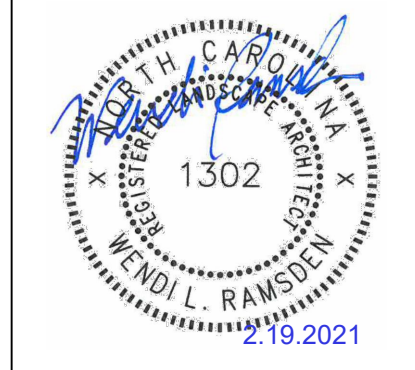
Sheet Number

CZ-0



111 West Main Street
 Durham, N.C. 27701
 p 919.682.0368
 f 919.688.5646
 www.cjtpa.com

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC # C-1209
 NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104



Project
Putt-Putt Fun Center
 115 / 135 Chapel Point Road
 Chapel Hill, NC

PIN 9870997083

Job Number 1952
 Drawn WLR, MTC
 Checked WLR, PBR
 Date 7/27/2020
 Revisions 12/10/2020 TRT REVIEW RESPONSE
 2/19/2021 TRT REVIEW RESPONSE

CONDITIONAL ZONING PERMIT APPLICATION NOT ISSUED FOR CONSTRUCTION

Sheet Title
AREA MAP

Sheet Number
CZ-0.1

PIN 9870997083
 ENVIRONMENTAL CONSTRAINTS JORDAN BUFFER RESOURCE CONSERVATION DISTRICT
 NET LAND AREA 844,031 SF / 19.376 AC
 EXISTING ZONING: MU-R-1
 PROPOSED ZONING: OI-2 WITH PD-MU OVERLAY

- POTABLE WATER IS AVAILABLE TO THE PARCEL WITH A WATER MAIN EXTENSION.
- SANITARY SEWER IS AVAILABLE TO THE PARCEL WITH A SEWER MAIN EXTENSION.
- NATURAL GAS IS AVAILABLE TO THE SITE.
- ELECTRIC SERVICE IS AVAILABLE TO THE SITE.

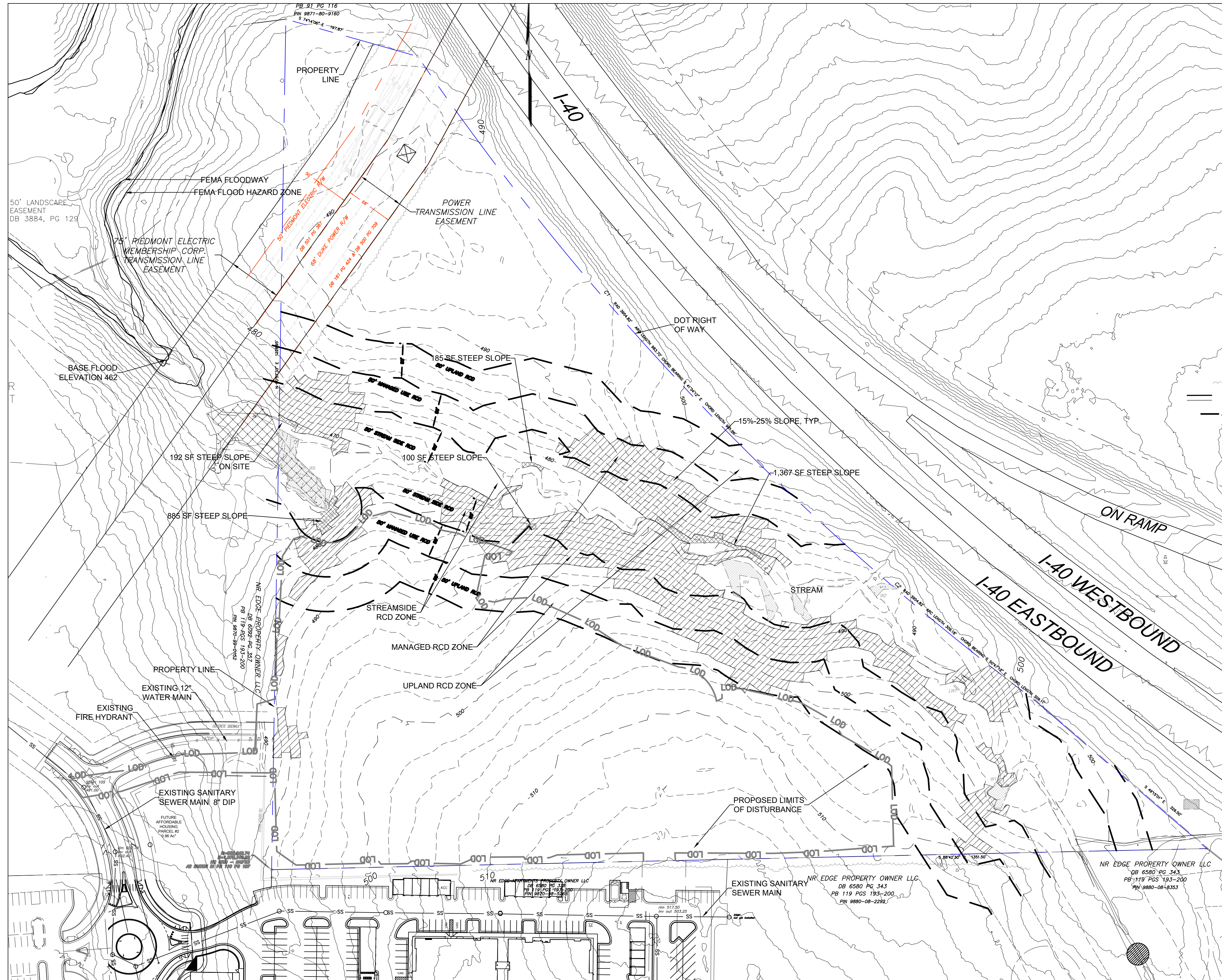
LEGEND

- PROPERTY LINE
- BUILDING ENVELOPE
- PERENNIAL STREAM
- INTERMITTENT STREAM
- BREAKPOINT BETWEEN PERENNIAL/INTERMIT. STREAM
- FEMA FLOODWAY OR FLOOD HAZARD AREA ALL OFFSITE
- RESOURCE CONSERVATION DISTRICT ZONES

- ⊙ EXISTING IRON ROD(1/2")
- ⊙ SET "MAG" NAIL - SURVEY BENCHMARK
- ⊙ EXISTING IRON PIPE(1/2")
- ⊙ COMPUTED POINT
- ⊙ POSSIBLE SPRING
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ UTILITY POLE
- ⊙ CURB INLET
- ⊙ GUY WIRE
- ⊙ WIRE FENCE
- ⊙ SILT FENCE
- ⊙ OVERHEAD POWER TRANSMISSION WIRES
- ⊙ WATERLINE (APPROXIMATE LOCATION)
- TREE LINE
- PUBLIC ROADWAY RIGHT OF WAY LIMITS
- LOT LINE PLOTTED BY DEED - NOT SURVEYED
- PROPERTY LINE - NOT SURVEYED
- POSSIBLE RESOURCE CONSERVATION DISTRICT(SEE NOTE #6)
- RESOURCE CONSERVATION DISTRICT(RCD)SEE CHAPEL HILL LUMO 3.6.3
- ⊘ ROCK OUTCROP

2 PARCEL DATA

3 EXISTING SERVICES



The parcel is bisected by a perennial stream with floodplain and an RCD zone, 150' wide horizontally from the top of each stream bank. The developable land includes approximately 7 acres between the stream and the south property line, with a smaller buildable area approximately 2.5 acres north of the stream buffer.

Slopes: The steepest slopes are in the stream buffer and RCD zones. The south developable area has slopes of 5-15% with the steepest area located where the new public street meets the property. The area north of the stream buffer has slopes of 5-10%.

Vegetation: Site is entirely wooded except for the electric transmission corridor.

4 SITE ANALYSIS

LEGEND

- ▨ SLOPES > 25%
2,729 SF
NO PROPOSED DISTURBANCE OF SLOPES >25%
- ▨ SLOPES 15%-25%
107,192 SF
PROPOSED 8,890 SF ESTIMATED DISTURBANCE (8.3%) OF SLOPES 15%-25%
- AREA NOT HATCHED REPRESENTS SLOPES <15%

5 SLOPE SUMMARY

BASE INFORMATION
 TOPOGRAPHIC PARCEL INFORMATION SURVEYED
 SURROUNDING INFORMATION FROM ORANGE COUNTY AND CHAPEL HILL GIS

1 EXISTING CONDITIONS PLAN
 1"=80'

SEE NOTES RE: 1/CZ-1.1



111 West Main Street
 Durham, N.C. 27701
 p 919.682.0368
 f 919.688.5646
 www.cjtpa.com

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC # C-1209
 NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104



Project
Putt-Putt Fun Center
 115 / 135 Chapel Point Road
 Chapel Hill, NC

PIN 9870997083

Job Number	1952
Drawn	WLR, MTC
Checked	WLR, FBR
Date	7/27/2020
Revisions	12/10/2020
	TRT REVIEW RESPONSE
	2/19/2021
	TRT REVIEW RESPONSE

CONDITIONAL ZONING PERMIT APPLICATION NOT ISSUED FOR CONSTRUCTION

Sheet Title
EXISTING CONDITIONS

Sheet Number
CZ-1.0

1. ENSURE ALL EROSION CONTROL MEASURES ARE IN PLACE AND IN WORKING ORDER PRIOR TO THE START OF ANY DEMOLITION AND CONSTRUCTION.
2. SEE SITE PLAN SHEET CZ-2.0 FOR LAYOUT DIMENSIONS AND CZ-1.0 FOR EXTENT OF DEMOLISHED AREAS. PAVED AREAS NOT INDICATED TO BE DEMOLISHED, ARE TO REMAIN. ALL CONCRETE SAW CUTS ARE TO BE CLEAN, STRAIGHT AND NEAT.
3. UTILITIES: SEE UTILITY PLAN CZ-5.0. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR LOCATION, REMOVAL AND RELOCATION OF ANY UTILITIES. CONTRACTOR RESPONSIBLE FOR DETERMINING EXTENT AND LOCATION OF UTILITIES. THIS MAY INCLUDE CONTACTING "NO-CUTS" TO HELP LOCATE SOME UTILITIES.
4. CONTRACTOR TO ADJUST ALL MANHOLES, VALVES, JUNCTION BOXES, CATCH BASINS, CLEAN-OUTS, ETC., AS NECESSARY TO ACCOMMODATE NEW LAYOUT AND GRADES.
5. CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE NCDOT AND TOWN OF CHAPEL HILL RIGHTS OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHT OF WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO TOWN OF CHAPEL HILL STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, SIDEWALKS, CURB AND GUTTER, ASPHALT.
6. CONTRACTOR RESPONSIBLE FOR REMOVING EVERYTHING WITHIN THE CLEARING LIMITS AND OFF-SITE WORK ZONE INCLUDING TREES, STUMPS, TRASH, FENCING, OR BUILDING MATERIALS.
7. CONTRACTOR TO USE CAUTION WORKING AROUND AND NEAR EXISTING STORM, WATER AND SEWER. CONTRACTOR RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
8. ALL PAVEMENT PATCHING SHALL BE PERFORMED PER CITY SPECIFICATIONS AND STANDARDS.
9. A DECONSTRUCTION ASSESSMENT MUST BE CONDUCTED BY OCSW STAFF PRIOR TO THE APPROVAL OF THE DEMOLITION PERMIT FOR THE EXISTING CONVENIENCE STORE AND 2 STORY STRUCTURE. CONTACT OCSW ENFORCEMENT STAFF AT 919-968-2788 TO REQUEST THE ASSESSMENT.
10. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
11. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
12. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
13. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL ("ACM") OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
14. DEMOLITION PERMIT REQUIRED TO REMOVE 5,200 SF STORE.
15. TREE PROTECTION SEMINAR TO BE COMPLETED BY CONTRACTOR PRIOR TO TREE PROTECTION FENCE INSTALLATION. PLEASE CALL ADAM NICHOLSON AT 919-969-5006 TO ARRANGE.
16. ANY ACCESS TO THE PROJECT SITE THROUGH PRIVATE PROPERTY REQUIRES WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER.

1 DEMOLITION NOTES
CZ-1.1

1. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
2. DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
3. LAY OUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
4. REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
5. ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-8 OR R7-8A RESERVED PARKING SIGN AND R7-8D MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDICAP CODE. ADA RAMPS SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
6. KEY BOXES FOR FIRST RESPONDERS WILL BE REQUIRED NEAR THE FRONT DOOR AND SPRINKLER RISER ROOM AREAS. 2012 NC FIRE CODE, SECTION 506.
7. MECHANICAL EQUIPMENT MUST BE PLACED AT OR ABOVE BASE FLOOD ELEVATION + 2 FEET.
8. PRIOR TO ISSUANCE OF THE DRIVEWAY PERMIT AND UTILITY EXTENSION PERMITS, THE APPLICANT WILL NEED TO OBTAIN ENCROACHMENT AGREEMENTS.

2 SITE PLAN NOTES
CZ-1.1

ADA route notes apply to all sheets

FOR ALL SIDEWALKS THE FOLLOWING APPLIES:

1. SIDEWALK SLOPES TO BE A MAXIMUM 4.8%.
2. SIDEWALK CROSS SLOPES TO BE A MAXIMUM 1.8%.
3. MINIMUM 1" SHOULDER AT MAXIMUM 2% SLOPE ADJACENT TO ADA PAVED ROUTES UNLESS A HANDRAIL IS CALLED OUT.
4. ADA PARKING TO BE A MAXIMUM 2% SLOPE IN ANY DIRECTION FOR ENTIRE AREA - PARKING SPACES AND AISLES.
5. ALL DOORS EXITING THE BUILDING REQUIRE AN ADA ACCESSIBLE COMPLIANT ROUTE TO A PUBLIC WAY.
6. PARKING - NUMBER OF SPACES TO COMPLY WITH NCBC 2012 SECTION 1106.1, 1 PER 6 COMPLIANT SPACES OR PORTION THEREOF MUST BE VAN ACCESSIBLE, NO SLOPE TO EXCEED 2% IN ANY DIRECTION. SIGNAGE PER NC REQUIREMENTS, MUT-CD AND ICC A 117.1.
7. CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED. CROSS SLOPE LIMITED TO 2%, CALL FOR INSPECTION BEFORE PLACEMENT OF CONCRETE.
8. SLOPE GREATER THAN 5% REQUIRES CONSTRUCTION AS A RAMP.

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
3. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
4. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
5. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
6. SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO BE QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
7. ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING STRUCTURES, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
8. CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
9. STORM STRUCTURES: PROVIDE CURB INLET HOODS AND COVERS, MANHOLE RINGS AND COVERS, AND INLET GRATES STATING, "DUMP NO WASTE DRAINS TO JORDAN LAKE", IN ACCORDANCE WITH ALL SPECIFICATIONS OF THE TOWN STANDARD DETAILS INCLUDING, BUT NOT LIMITED TO, SD-4A AND SD-5A, FOR ALL NEW CURB INLETS, JUNCTION BOXES, MANHOLES, AND YARD INLETS FOR PRIVATE, TOWN AND STATE RIGHTS-OF-WAY. ZOP PLANS MUST INCLUDE ALL APPLICABLE STANDARD DETAILS WITH JORDAN LAKE STAMP. SEE TOWN OF CHAPEL HILL DESIGN MANUAL AND STANDARD DETAILS.
10. BW (BOTTOM OF WALL) ELEVATION IS FINISH GRADE, NOT THE FOOTING. REFERENCE RETAINING WALL PLANS/DETAILS FOR DEPTH OF FOOTING.
11. ANY DISTURBANCE WITHIN THE FORESTED "NO LAND DISTURBANCE AREA" WILL REQUIRE AN UPDATE TO THE JORDAN ACCOUNTING TOOL.
12. PRIOR TO COMPLETING POND GRADING, THE CONTRACTOR SHALL COORDINATE AN INFILTRATION TEST OF THE IN-SITU SOILS AT THE BOTTOM OF THE PROPOSED POND BY A QUALIFIED, LICENSED GEOTECHNICAL ENGINEER. THE MAXIMUM ALLOWABLE INFILTRATION RATE IS 0.01 IN/HR. A REPORT SHALL BE PROVIDED TO THE ENGINEER AND THE TOWN OF CHAPEL HILL FOR REVIEW PRIOR TO COMPLETING POND GRADING. IF THE INFILTRATION RATE IS GREATER THAN 0.01 IN/HR, AN IMPERMEABLE LINER (EITHER CLAY OR A SYNTHETIC PRODUCT) SHALL BE INSTALLED. DETAILS OF THE PROPOSED LINER SHALL BE REVIEWED AND APPROVED BY THE GEOTECHNICAL ENGINEER, THE CIVIL ENGINEER, AND THE TOWN OF CHAPEL HILL.

3 GRADING NOTES
CZ-1.1

1. ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
11. RISER STRUCTURES WITH MULTIPLE BARREL SECTIONS SHALL HAVE GASKETTED JOINTS, AND EACH SECTION SHALL BE BOLTED TO ADJACENT SECTIONS WITH STAINLESS STEEL STRAPS.

4 STORM DRAINAGE NOTES
CZ-1.1

1. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
2. ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY THE TOWN OF CHAPEL HILL.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
4. ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
5. BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN; TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
6. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
7. POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
8. RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).
9. PROVIDE 10-FT OF HORIZONTAL SEPARATION BETWEEN PROPOSED NEW WATER AND SEWER MAINS

SANITARY SEWER:

1. BACKFLOW PREVENTORS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
2. MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
3. MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
4. MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

WATER:

1. WATERLINES WILL BE 3' OFF CURB AND GUTTER UNLESS SHOWN OTHERWISE.
2. LAY WATER MAINS AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
3. WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
4. WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
5. MAINTAIN A MINIMUM COVER OF 36" AND MAXIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.
6. ALL FDC(S) AND HYDRANT(S) SHALL BE SIAMESE CONNECTIONS AND MEET TOWN OF CHAPEL HILL AND OWASA STANDARDS.
7. A FIRE SPRINKLER SYSTEM WILL BE REQUIRED FOR THE SELF-STORAGE FACILITY.
8. A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO INSTALL ANY NEW UNDERGROUND OR ABOVE-GROUND TANKS THAT CONTAINED FLAMMABLE/COMBUSTIBLE LIQUIDS. 2018 NC FIRE CODE SECTION 105.6.17.

5 UTILITY NOTES
CZ-1.1

1. LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
3. IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
4. BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
5. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELV WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
7. IN LAWN AREAS, 2" TOPSOIL/COMPOST SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING. IN LANDSCAPE BEDS, 3" TOPSOIL/COMPOST SHALL BE TILLED INTO THE TOP 6" OF GROUND PRIOR TO PLANT INSTALLATION.
8. CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
9. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
10. CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
11. MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
12. ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
13. IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL CZPLY QUANTITIES AS SHOWN ON THE PLANS.
14. ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.
15. LINE OF SIGHT NOTE: NO PROPOSED LANDSCAPING WITHIN THE LINE OF SIGHT EASEMENT SHALL EXCEED 24" AT MATURITY. ANY NEW TREES SHALL BE LIMBED TO 7' ABOVE FINISHED GRADE.
16. ANY INVASIVE, EXOTIC PLANT MATERIAL WILL BE REMOVED. A SURVEY OF EXISTING THE LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CLEARING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.
17. THE AREA WITHIN THE SIGHT TRIANGLE AREA SHALL BE THINNED OF ALL SHRUBS, TREES LARGER THAN 1" CAL SHALL BE LIMBED UP TO 7' ABOVE EXISTING GRADE TO IMPROVE VISIBILITY.

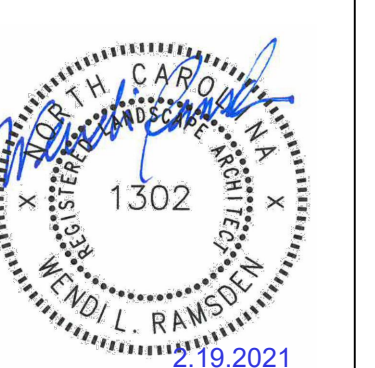
6 LANDSCAPE NOTES
CZ-1.1



111 West Main Street
Durham, N.C. 27701
p 919.682.0368
f 919.688.5648
www.cjtpa.com

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC # C-1209

NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104



Project

**Putt-Putt
Fun Center**

115 / 135 Chapel Point
Road
Chapel Hill, NC

PIN 9870997083

Job Number 1952

Drawn	WLR, MTC
Checked	WLR, PBR
Date	7/27/2020
Revisions	12/10/2020
	TRT REVIEW RESPONSE
	2/19/2021
	TRT REVIEW RESPONSE

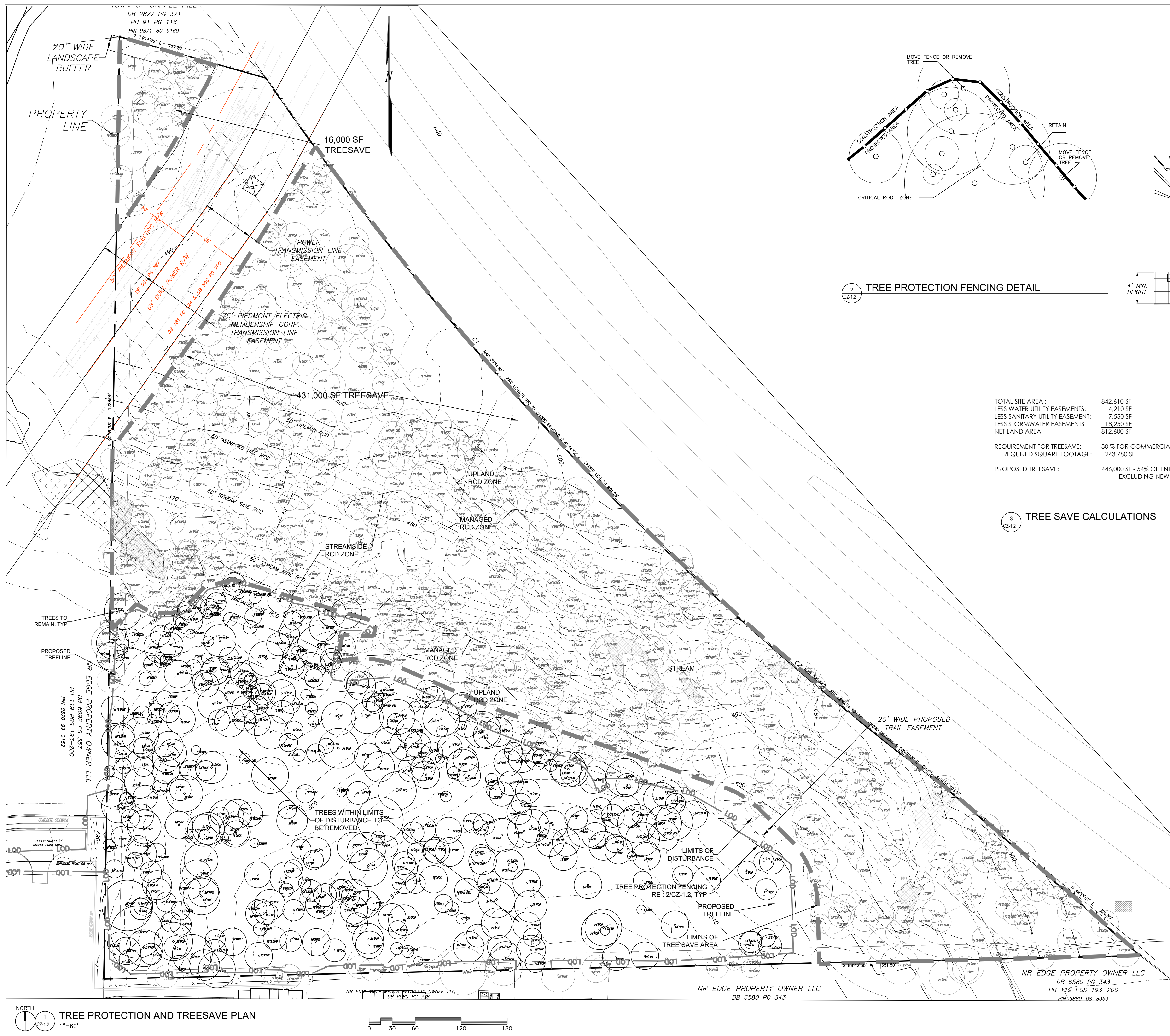
**CONDITIONAL ZONING
PERMIT APPLICATION
NOT ISSUED
FOR CONSTRUCTION**

Sheet Title

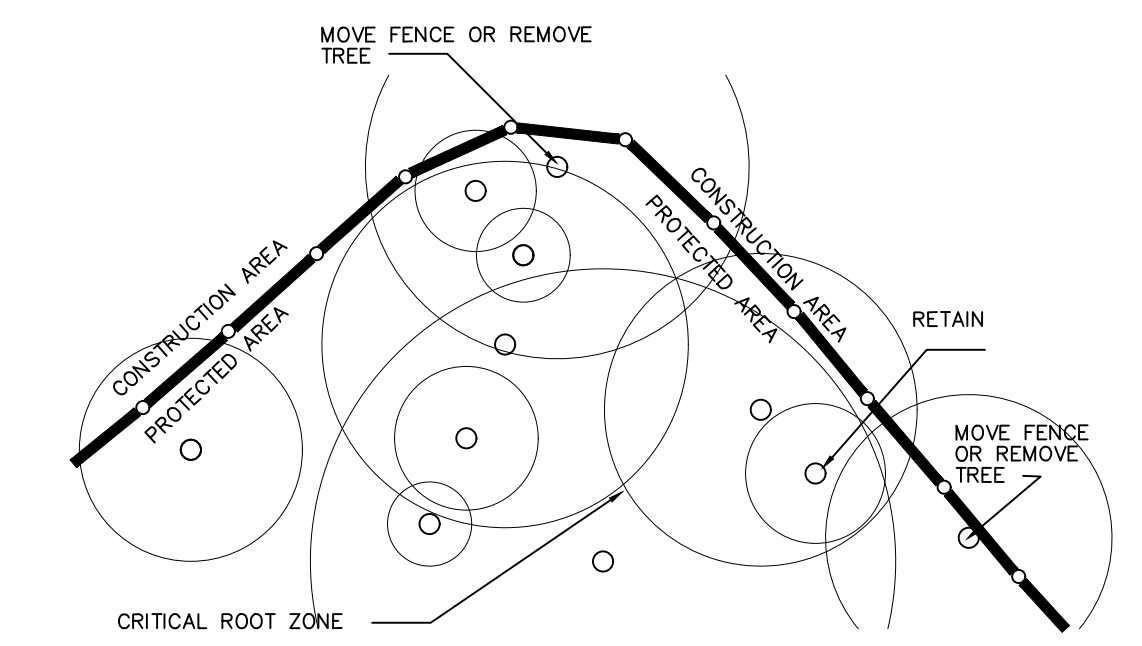
**EXISTING
CONDITIONS**

Sheet Number

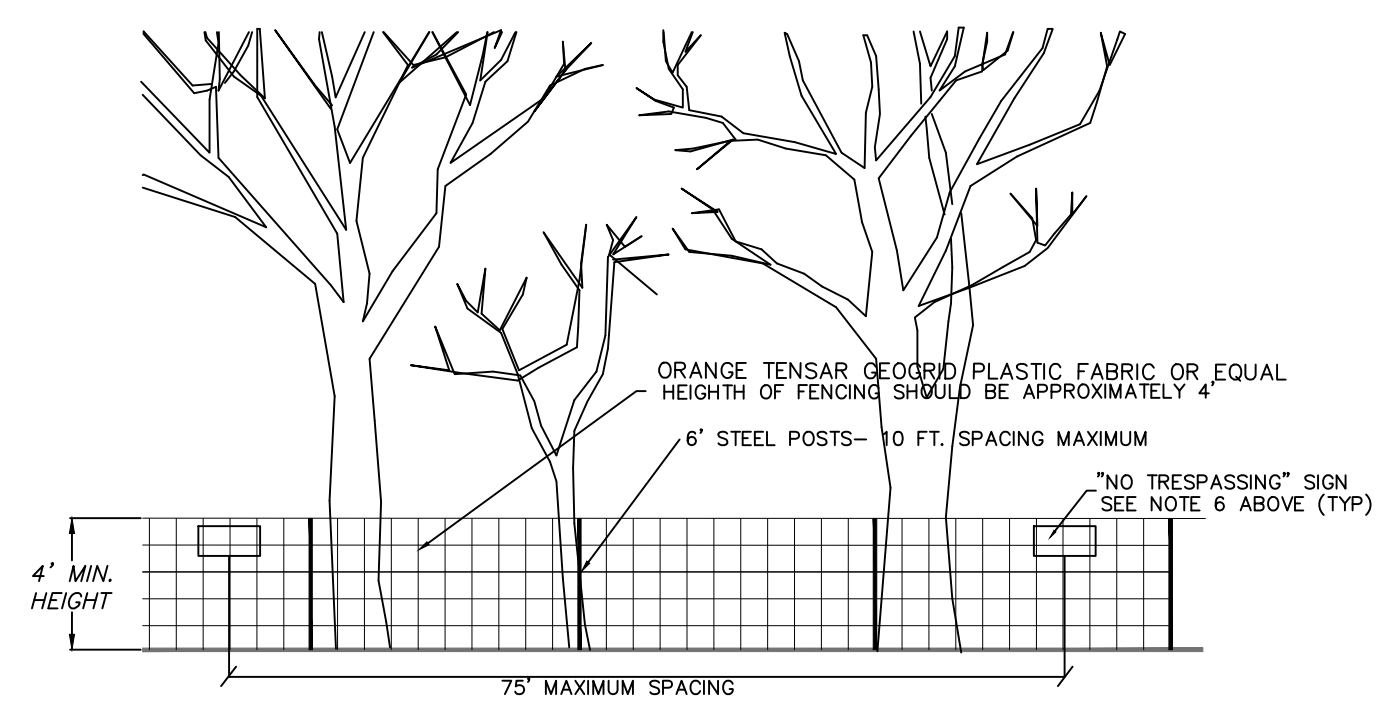
CZ-1.1



- NOTES:
1. MOVE FENCE OR REMOVE TREE IF MORE THAN 20% OF A TREE'S CRITICAL ROOT AREA IS UNPROTECTED.
 2. ROOT PRUNE TREES TO REMAIN WHERE CONSTRUCTION ACTIVITIES WILL SEVER ROOTS.
 3. ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
 4. DO NOT DISPOSE OF ANY CHEMICALS OR REMOVE SOIL OUTSIDE THE LIMITS OF WORK.
 5. WHEN INSTALLING NEW LANDSCAPE PLANTS, DO NOT DRIVE EQUIPMENT UPON OR DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.
 6. SIGNAGE MUST BE PLACED ON TREE PROTECTION FENCING WITH A MINIMUM MINIMUM SPACING OF 75' O.C., TO READ "TREE PROTECTION AREA - NO TRESPASSING WITHIN THE FENCE".



2 TREE PROTECTION FENCING DETAIL
CZ-1.2



3 TREE SAVE CALCULATIONS
CZ-1.2

TOTAL SITE AREA :	842,610 SF
LESS WATER UTILITY EASEMENTS:	4,210 SF
LESS SANITARY UTILITY EASEMENT:	7,550 SF
LESS STORMWATER EASEMENTS	18,250 SF
NET LAND AREA	812,600 SF
REQUIREMENT FOR TREESAVE:	30% FOR COMMERCIAL USE GROUP C
REQUIRED SQUARE FOOTAGE:	243,780 SF
PROPOSED TREESAVE:	446,000 SF - 54% OF ENTIRE SITE, EXCLUDING NEW PLANTINGS

LEGEND

---	PROPERTY LINE
---	LANDSCAPE BUFFER
---	PERENNIAL STREAM
---	RESOURCE CONSERVATION DISTRICT
---	TREESAVE AREA

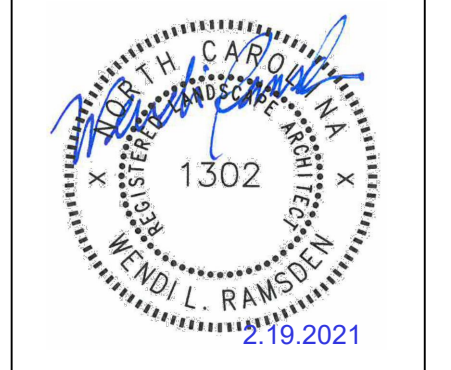
BASE INFORMATION
ON SITE TOPOGRAPHIC AND TREE INFORMATION SURVEYED BY RILEY SURVEYING, PARCEL, AND SURROUNDING INFORMATION FROM ORANGE COUNTY GIS.

CJT PA.

111 West Main Street
Durham, N.C. 27701
p 919.682.0368
f 919.688.5646
www.cjtpa.com

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS
LIC # C-1209

NC BOARD OF LANDSCAPE ARCHITECTS
LIC # C-104



Project
Putt-Putt Fun Center

115 / 135 Chapel Point Road
Chapel Hill, NC

PIN 9870997083

Job Number 1952

Drawn	WLR, MTC
Checked	WLR, PBR
Date	7/27/2020
Revisions	12/10/2020 TRT REVIEW RESPONSE
	2/19/2021 TRT REVIEW RESPONSE
	TRT REVIEW RESPONSE

CONDITIONAL ZONING PERMIT APPLICATION NOT ISSUED FOR CONSTRUCTION

Sheet Title
TREE PROTECTION AND TREESAVE PLAN

Sheet Number
CZ-1.2



111 West Main Street
Durham, N.C. 27701
p 919.682.0368
f 919.688.5646
www.cjtpa.com

NC BOARD OF EXAMINERS FOR
ENGINEERS AND SURVEYORS
LIC # C-1209

NC BOARD OF
LANDSCAPE ARCHITECTS
LIC # C-104



Project
**Putt-Putt
Fun Center**

115 / 135 Chapel Point
Road
Chapel Hill, NC

PIN 9870997083

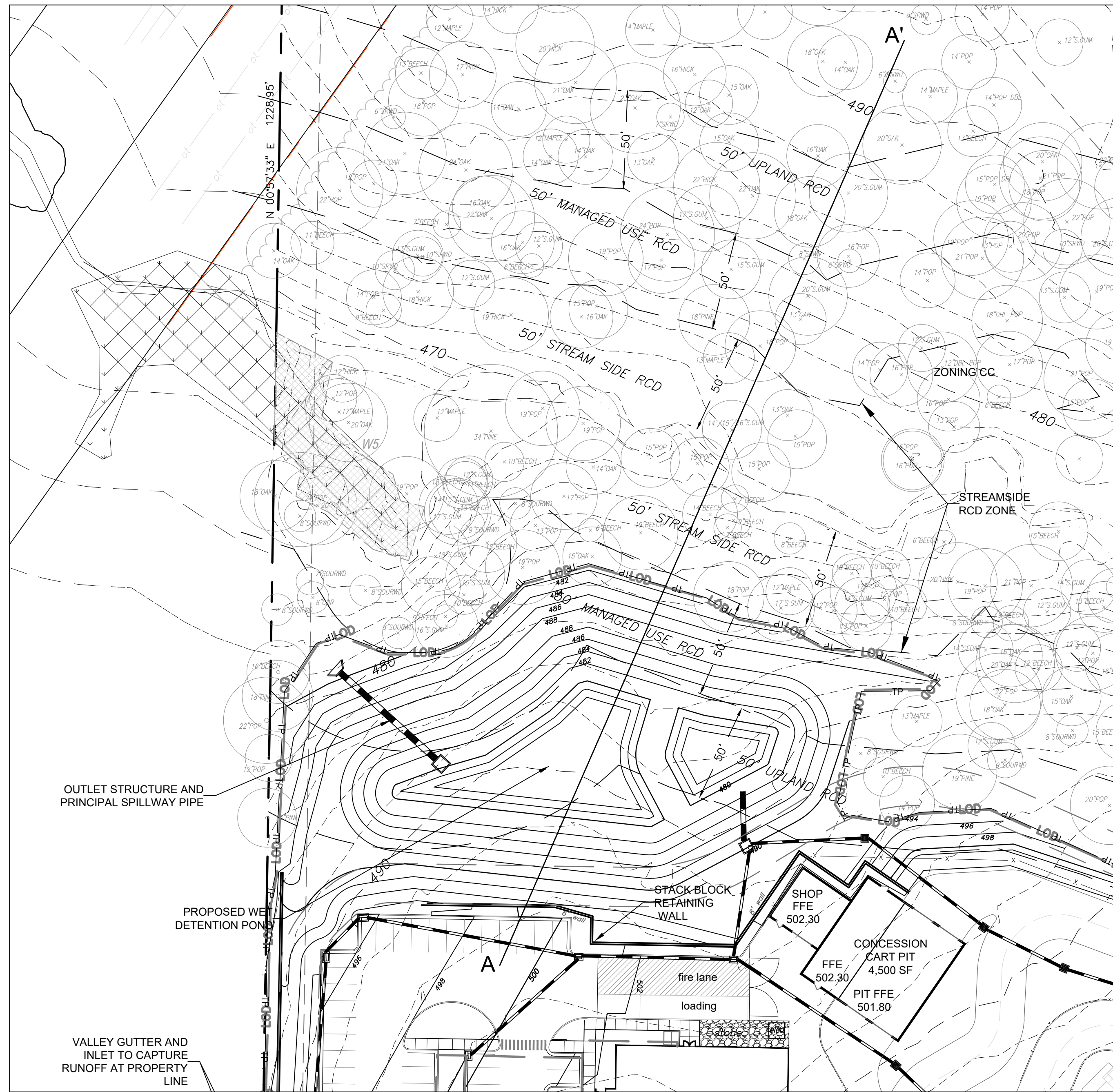
Job Number 1952

Drawn WLR, MTC
Checked WLR, PBR
Date 7/27/2020
Revisions 12/10/2020 TRT REVIEW RESPONSE
2/19/2021 TRT REVIEW RESPONSE

CONDITIONAL ZONING
PERMIT APPLICATION
NOT ISSUED
FOR CONSTRUCTION

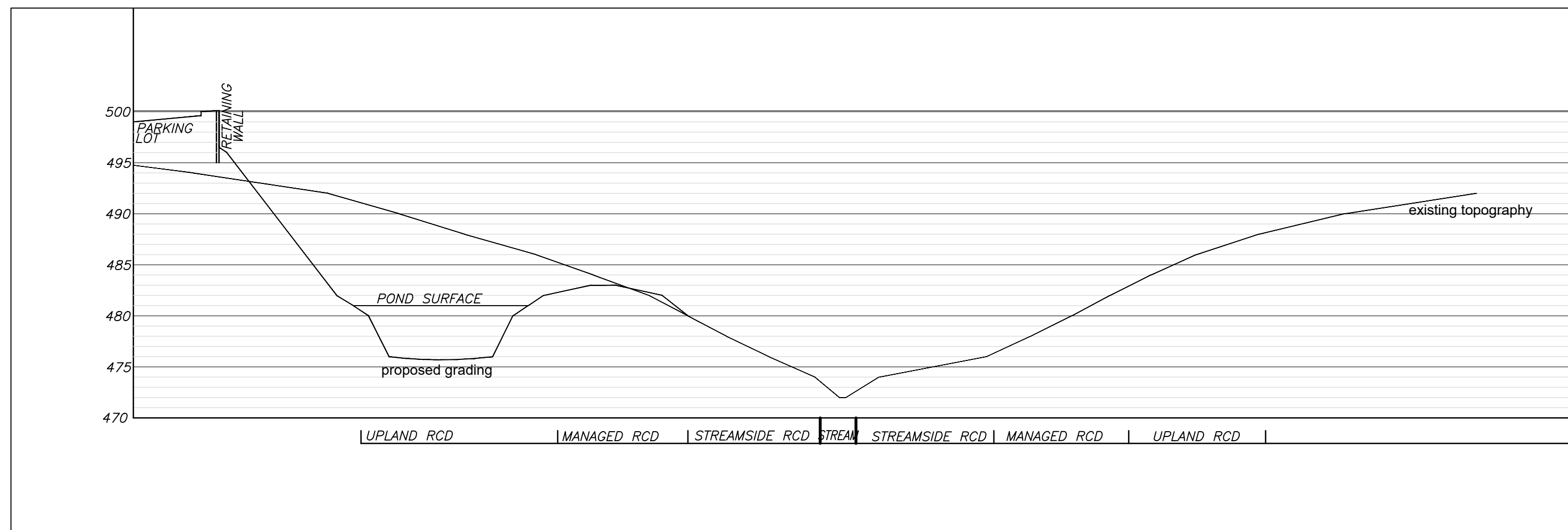
Sheet Title
**GRADING AND
DRAINAGE PLAN**

Sheet Number
CZ-3.0



NOTE: THERE IS NO FLOODPLAIN ON SITE.

1 GRADING PLAN - AREA OF RCD ENCROACHMENT
NORTH
1"=40'



2 CROSS SECTION A-A'
HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=10'



111 West Main Street
Durham, N.C. 27701
p 919.682.0368
f 919.688.5646
www.cjtpa.com

NC BOARD OF EXAMINERS FOR
ENGINEERS AND SURVEYORS
LIC # C-1209
NC BOARD OF
LANDSCAPE ARCHITECTS
LIC # C-104



Project
**Putt-Putt
Fun Center**
115 / 135 Chapel Point
Road
Chapel Hill, NC

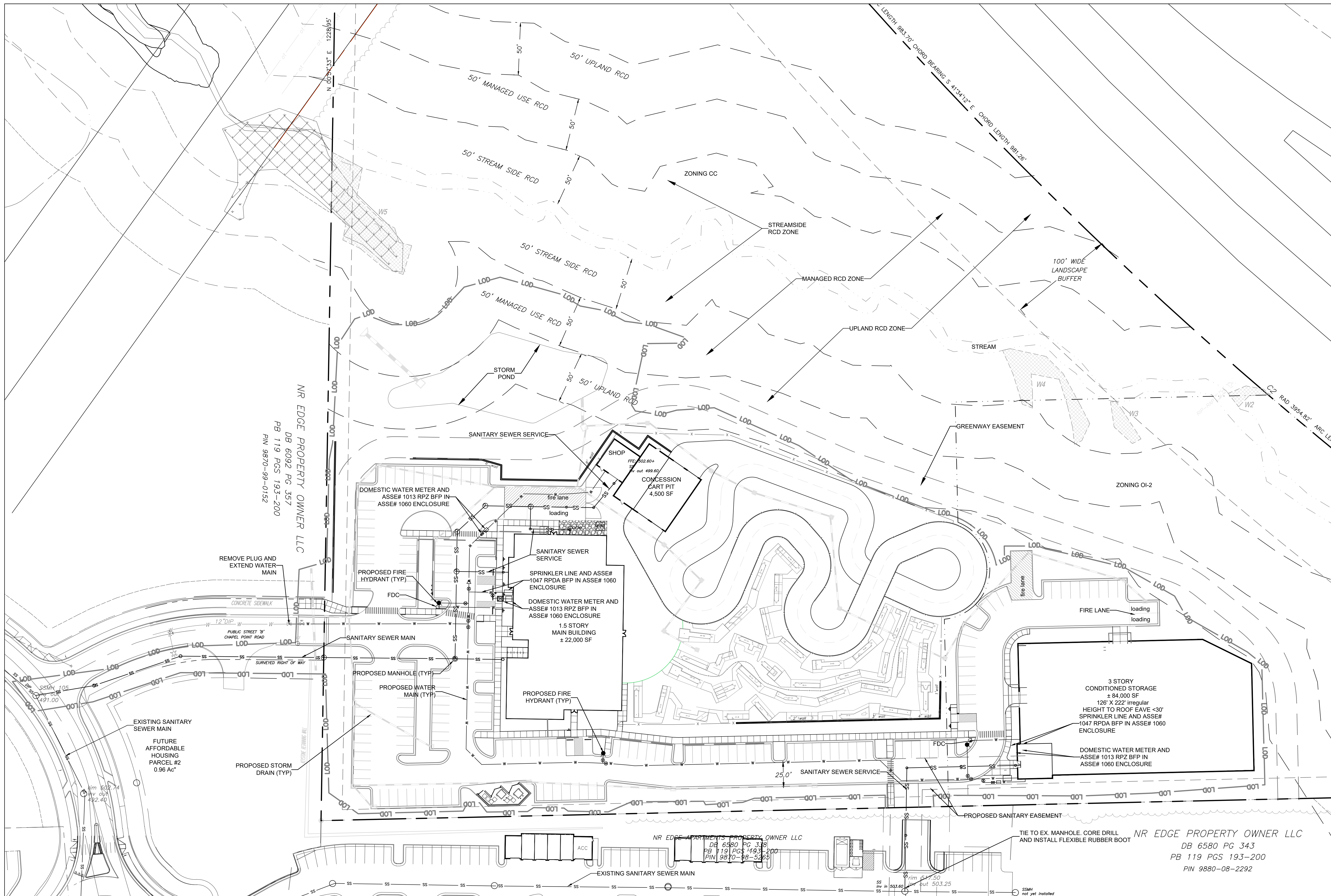
Job Number 1952

Drawn WLR, MTC
Checked WLR, PBR
Date 7/27/2020
Revisions 12/10/2020 TRT REVIEW RESPONSE
2/19/2021 TRT REVIEW RESPONSE

CONDITIONAL ZONING
PERMIT APPLICATION
NOT ISSUED
FOR CONSTRUCTION

Sheet Title
**STREAM / RCD
CROSS SECTION**

Sheet Number
CZ-3.1



111 West Main Street
 Durham, N.C. 27701
 p 919.682.0368
 f 919.688.5646
 www.cjtpa.com

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS
 LIC # C-1209
 NC BOARD OF LANDSCAPE ARCHITECTS
 LIC # C-104



Project
Putt-Putt Fun Center
 115 / 135 Chapel Point Road
 Chapel Hill, NC

Job Number 1952

Drawn	WLR, MTC
Checked	WLR, PBR
Date	7/27/2020
Revisions	12/10/2020 TRT REVIEW RESPONSE
	2/19/2021 TRT REVIEW RESPONSE

CONDITIONAL ZONING PERMIT APPLICATION NOT ISSUED FOR CONSTRUCTION

Sheet Title
UTILITY PLAN

Sheet Number
CZ-5.0

NORTH
 1
 CZ-5.0
 1"=40'

SEE NOTES RE: 5/CZ-1.1

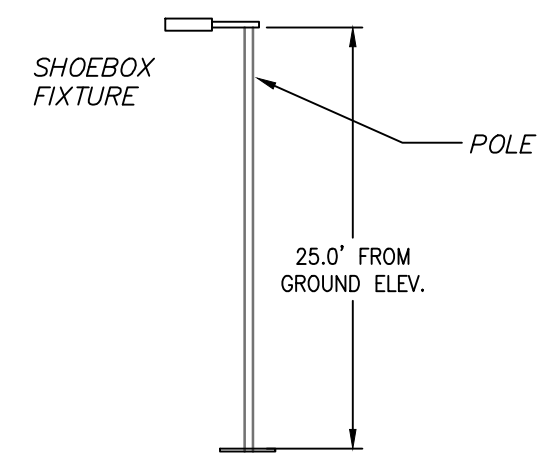


NR EDGE APARTMENTS PROPERTY OWNER LLC
 DB 6580 PG 338
 PB 119 PGS 193-200
 PIN 9870-98-5265

NR EDGE PROPERTY OWNER LLC
 DB 6580 PG 343
 PB 119 PGS 193-200
 PIN 9880-08-2292

lighting notes

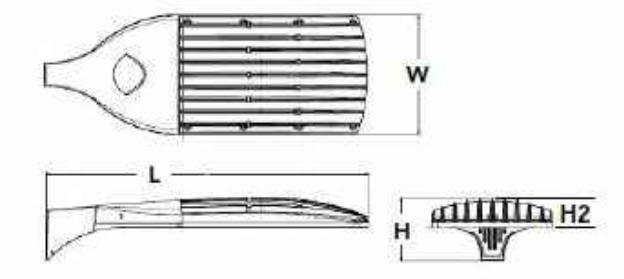
1. CONTRACTOR TO PROVIDE 2" SCH 40 PVC GRAY ELECTRICAL CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AND AS NECESSARY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES/POLES AND CONNECT BACK TO ELECTRICAL TIE IN LOCATIONS.
2. CONTRACTOR TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS PRIOR TO PAVING.
3. ALL ELECTRICAL CONDUIT SHALL BE FURNISHED BY THE CONTRACTOR. PARKING LOT LIGHT POLES AND FIXTURES TO BE FURNISHED BY DUKE ENERGY AND LOCATIONS COORDINATED BY THE CONTRACTOR. EXTERIOR AMUSEMENT AREA AND BUILDING FIXTURES TO BE FURNISHED BY THE CONTRACTOR.
4. ALL CONDUIT ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
5. ALL CONDUITS MORE THAN 30' IN LENGTH SHALL HAVE A POLY STRING INSTALLED.
6. ALL JOINTS ARE TO BE SOLVENT WELDED.
7. LIGHTS MUST BE LOCATED AT LEAST 10' FROM EXISTING AND PROPOSED CANOPY TREES.



- NOTES:
 1. DUKE ENERGY FIXTURE SHALL BE MOUNTED ON A 25' TALL POLE.
 2. CONTRACTOR SHALL COORDINATE LIGHT INSTALLATION WITH DUKE ENERGY.



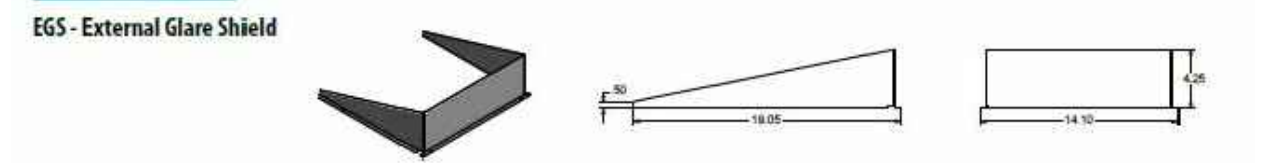
Specifications
 EPA: 1.1 ft² (0.102 m²)
 Length: 40" (101.6 cm)
 Width: 15" (38.1 cm)
 Height 1: 7-1/4" (18.8 cm)
 Height 2 (max): 3.5"
 Weight: 36lbs



Category	
Number	
Name	
Type	

Introduction
 The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.
 The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

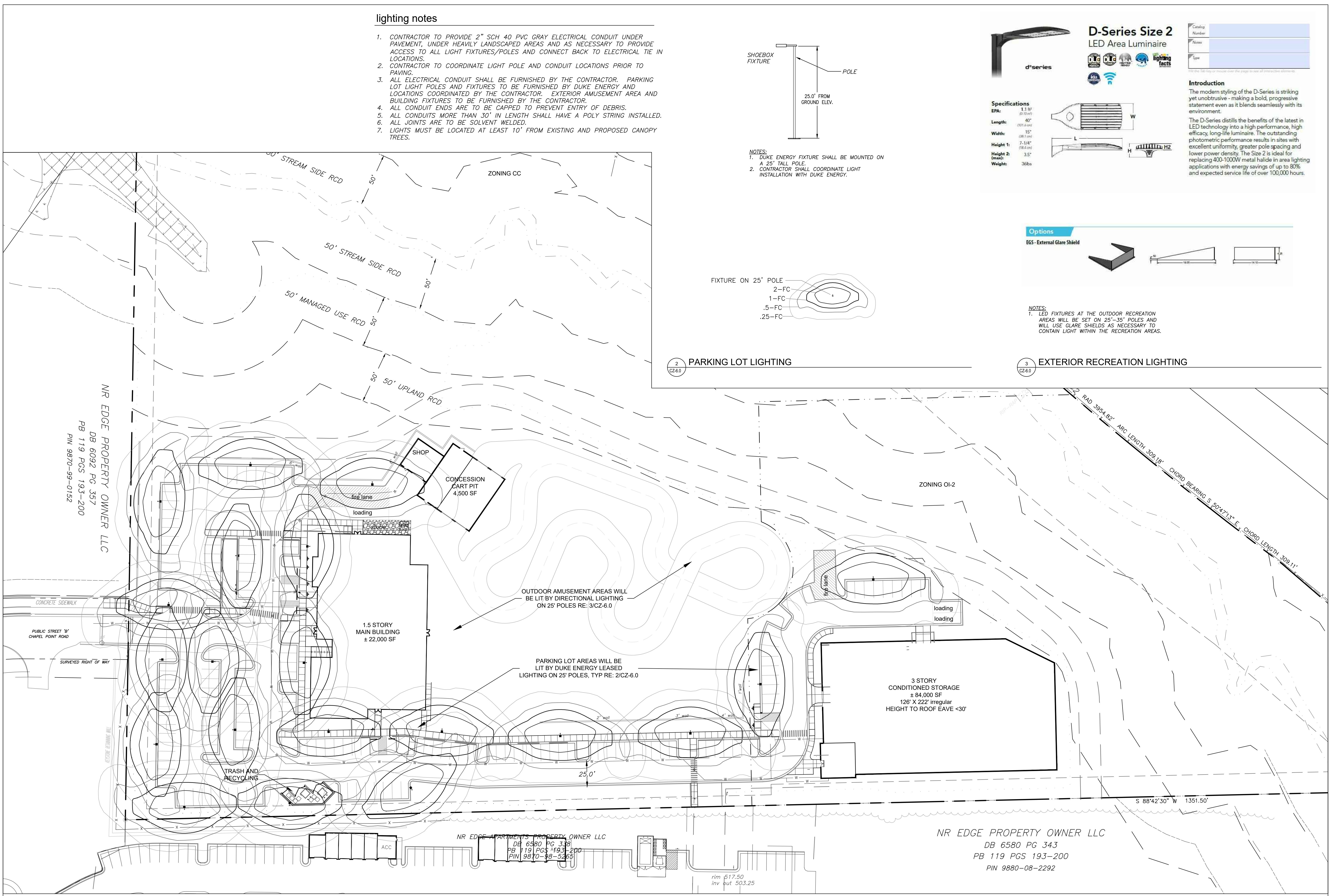
Options



- NOTES:
 1. LED FIXTURES AT THE OUTDOOR RECREATION AREAS WILL BE SET ON 25'-35' POLES AND WILL USE GLARE SHIELDS AS NECESSARY TO CONTAIN LIGHT WITHIN THE RECREATION AREAS.

2 PARKING LOT LIGHTING

3 EXTERIOR RECREATION LIGHTING



NR EDGE APARTMENTS PROPERTY OWNER LLC
 DB 6580 PG 338
 PB 119 PGS 193-200
 PIN 9870-98-5265

NR EDGE PROPERTY OWNER LLC
 DB 6580 PG 343
 PB 119 PGS 193-200
 PIN 9880-08-2292



111 West Main Street
 Durham, N.C. 27701
 p 919.682.0368
 f 919.688.5646
 www.cjtpa.com

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS
 LIC # C-1209
 NC BOARD OF LANDSCAPE ARCHITECTS
 LIC # C-104

Project
Putt-Putt Fun Center
 115 / 135 Chapel Point Road
 Chapel Hill, NC

Job Number 1952

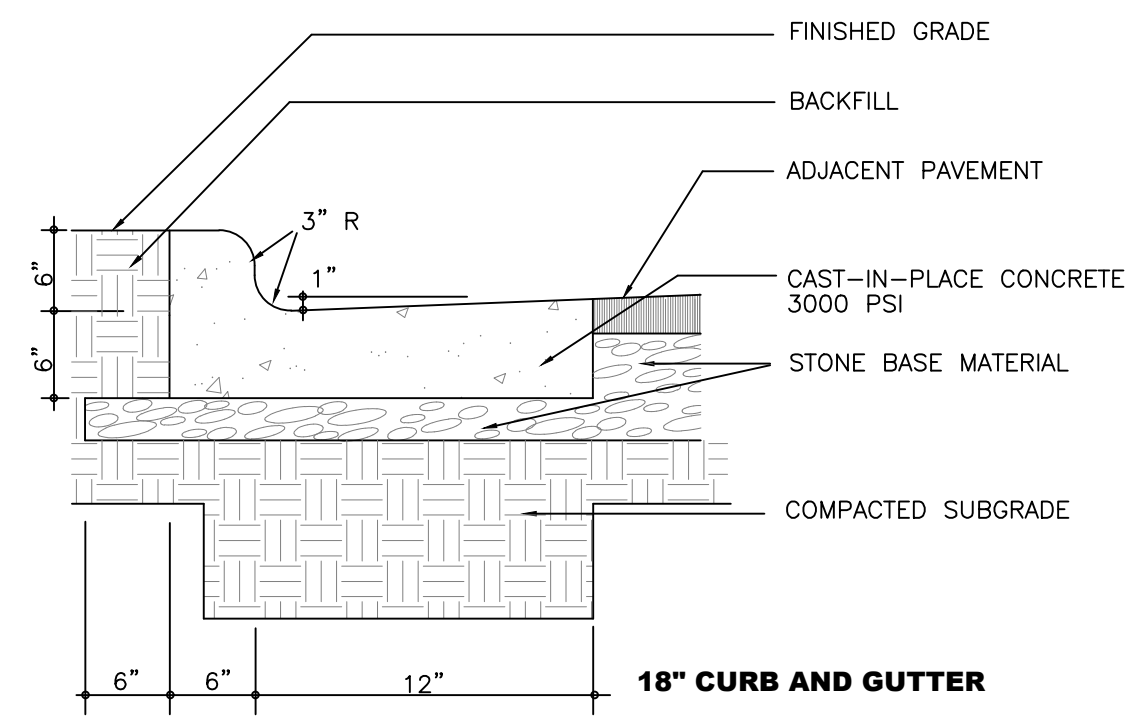
Drawn WLR, MTC
 Checked WLR, PBR
 Date 7/27/2020
 Revisions 12/10/2020 TRT REVIEW RESPONSE
 2/19/2021 TRT REVIEW RESPONSE

CONDITIONAL ZONING PERMIT APPLICATION NOT ISSUED FOR CONSTRUCTION

Sheet Title
LIGHTING PLAN

Sheet Number
CZ-6.0

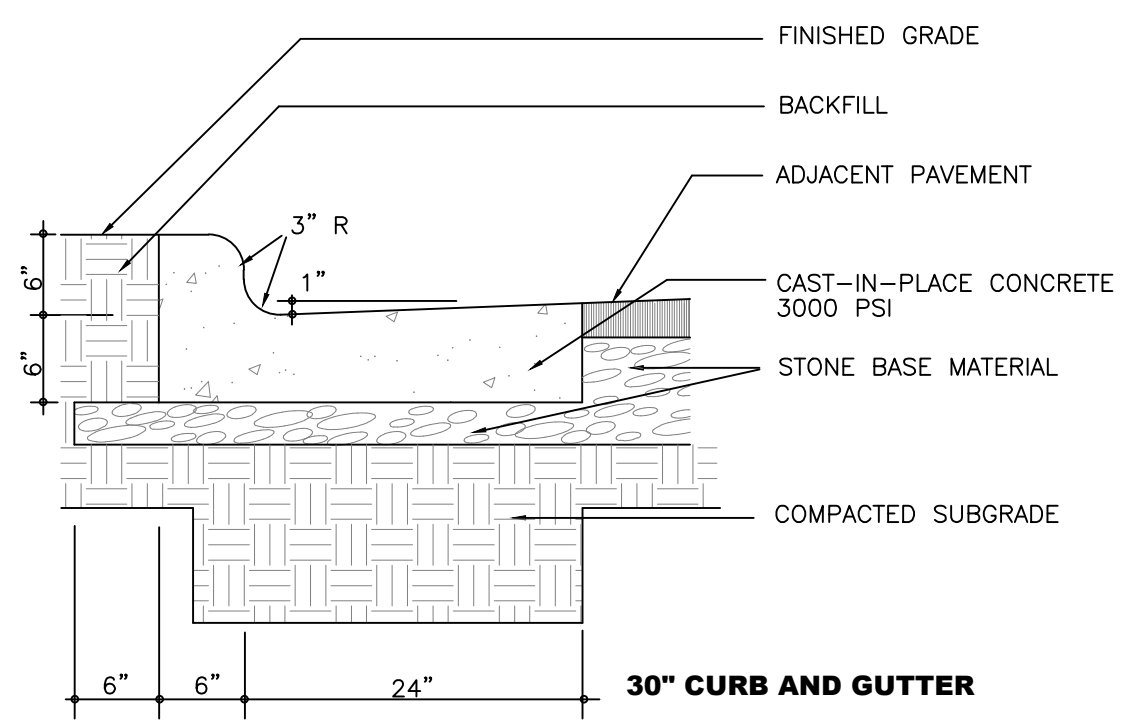
-CONTRACTION JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS, EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY C/PART FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.
 -CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE MAINTAINED.
 -ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT FILLER.
 -JOINTS SHALL MATCH LOCATIONS WITH JOINT IN ADJUTING SIDEWALK.
 -EXPANSION JOINTS SHALL BE SPACED AT 90 FOOT INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.



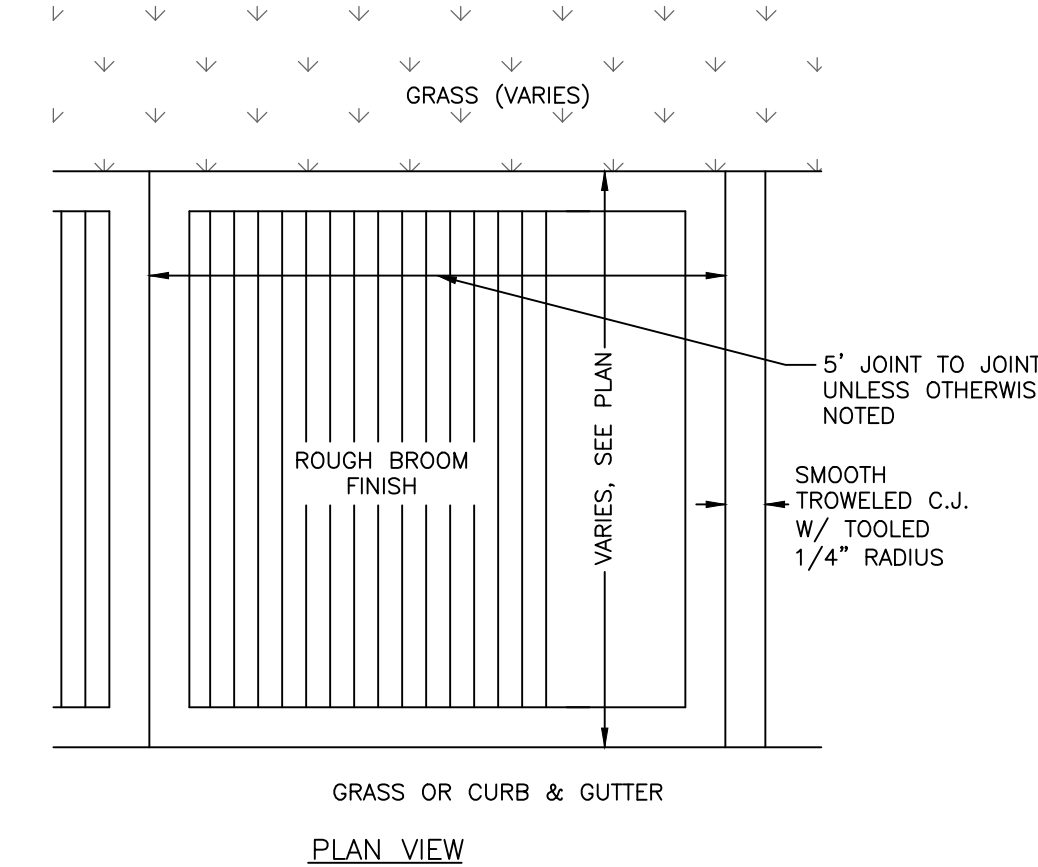
NOTE THAT THIS DETAIL DOES NOT MEET NC DOT REQUIREMENTS. ANY CURB AND GUTTER TO BE CONSTRUCTED IN THE OLD MASON FARM ROAD RIGHT OF WAY IS TO FOLLOW NC DOT STANDARDS RE: 2/C700

1 ON SITE CURB & GUTTER
 CZ-8.0 no scale

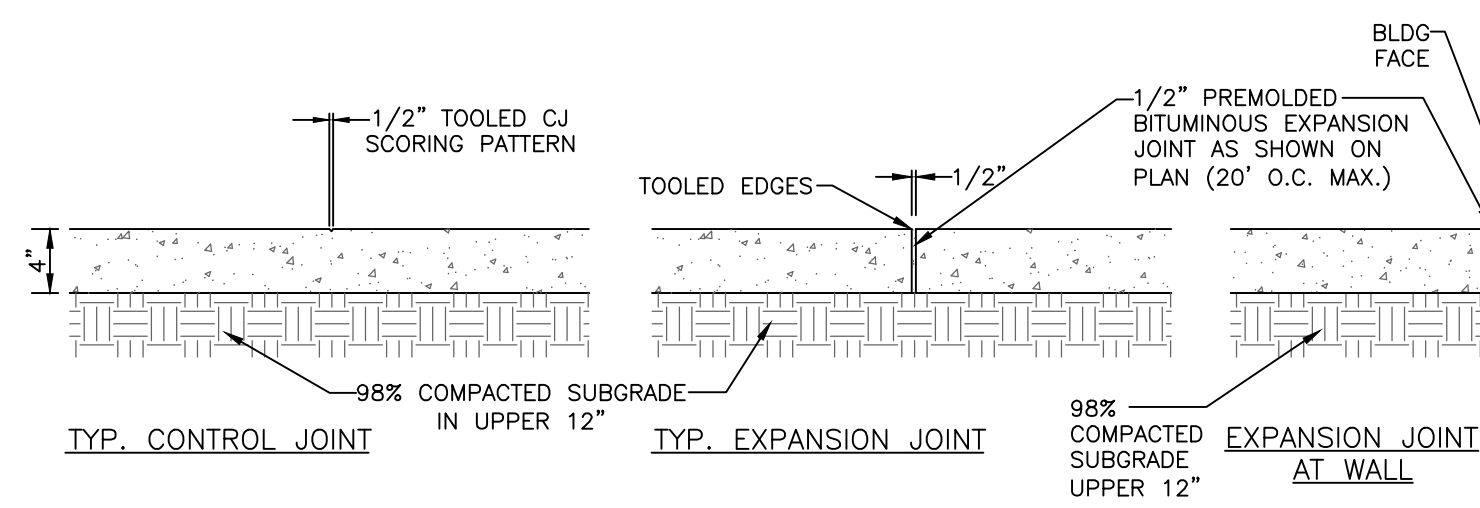
-CONTRACTION JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS, EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY C/PART FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.
 -CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE MAINTAINED.
 -ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT FILLER.
 -JOINTS SHALL MATCH LOCATIONS WITH JOINT IN ADJUTING SIDEWALK.
 -EXPANSION JOINTS SHALL BE SPACED AT 90 FOOT INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.



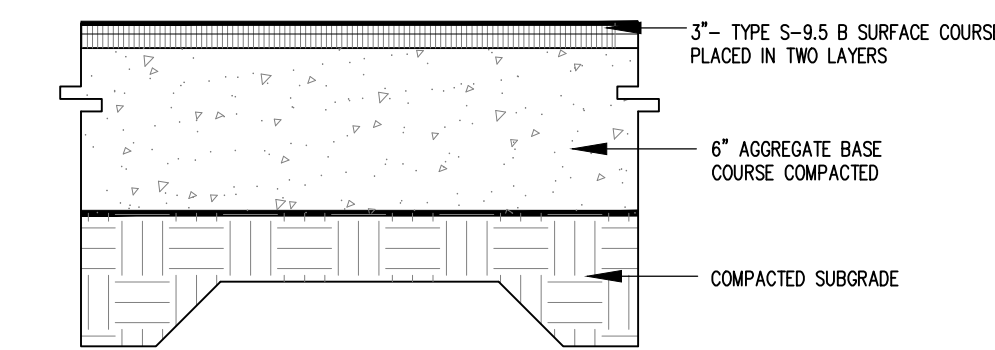
2 OFF SITE CURB & GUTTER
 CZ-8.0 no scale



3 CONCRETE SIDEWALK
 CZ-8.0 no scale

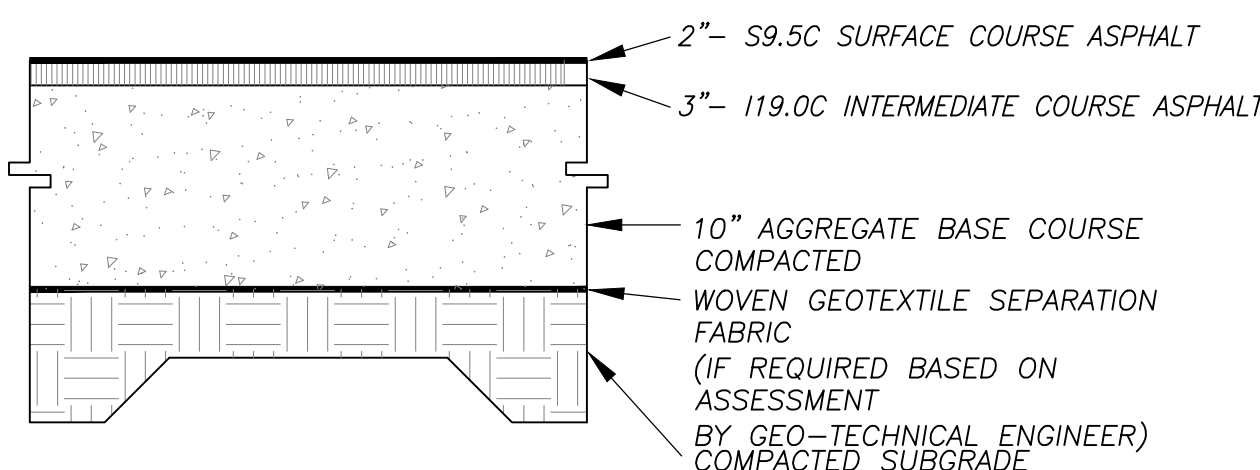


NOTES:
 1) 4" THICK CONC., 3000 PSI MIN.
 2) ALL SIDEWALK ARE TO HAVE MAXIMUM 1.8% CROSS SLOPE
 3) USE 1/2" BITUMINOUS EXPANSION JOINT A MAX. OF 20' O.C. AND WHENEVER CONCRETE WALK MEETS FIXED OBJECTS (IE. CURBS, BLDG. ETC.), EXPANSION JOINTS THAT ABUT BUILDINGS WALL SHALL BE SEALED WITH A FOAM BACKER ROD AND ELASTOMERIC SEALANT.
 ALL CONSTRUCTION JOINTS AND EXPANSION JOINTS IN NCDOT RIGHT-OF-WAY SHALL BE SEALED PER NCDOT STANDARDS AND SPECIFICATION.
 4) ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.



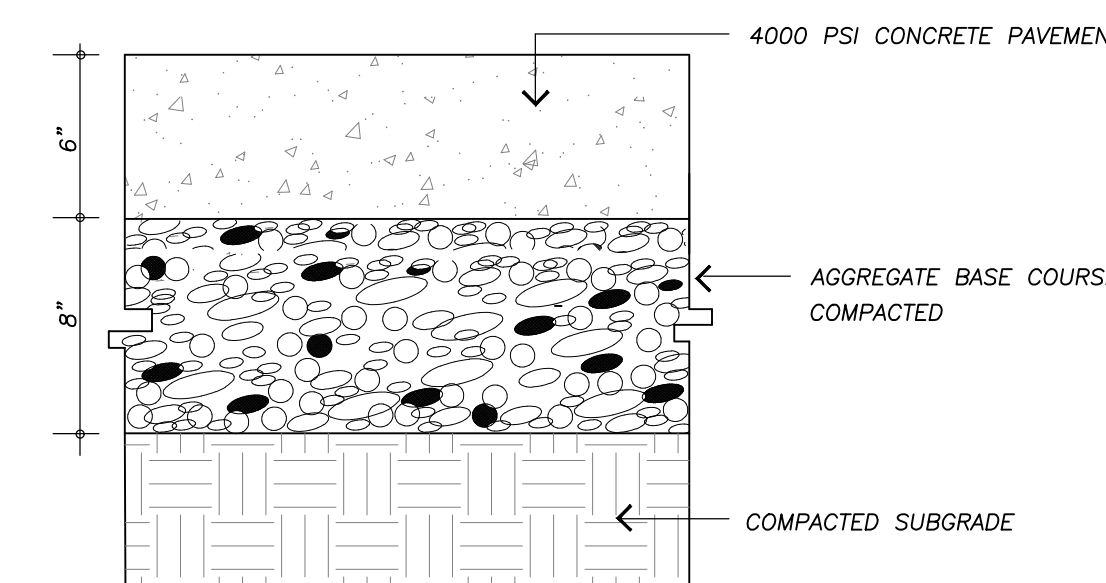
FINAL PAVEMENT SECTION IS PROVIDED BY GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC GEO-TECHNICAL REPORT

4 STANDARD ASPHALT PAVING
 CZ-8.0 no scale



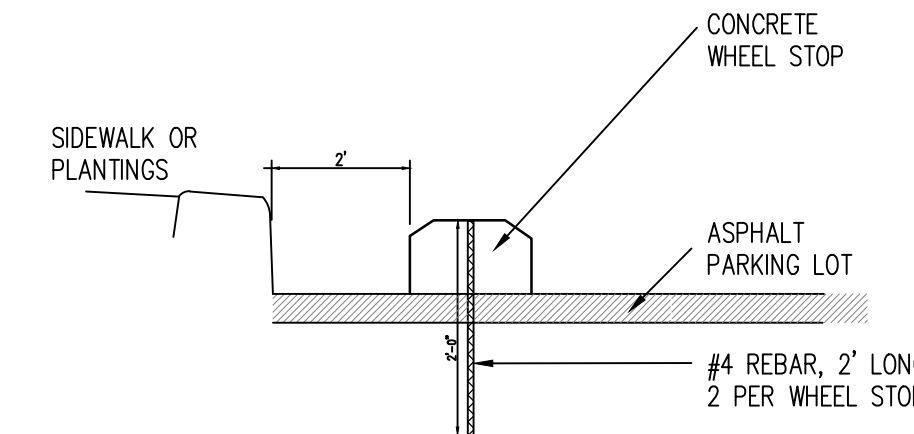
FINAL PAVEMENT SECTION IS PROVIDED BY GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC GEO-TECHNICAL REPORT

5 HEAVY DUTY ASPHALT PAVING
 CZ-8.0 no scale

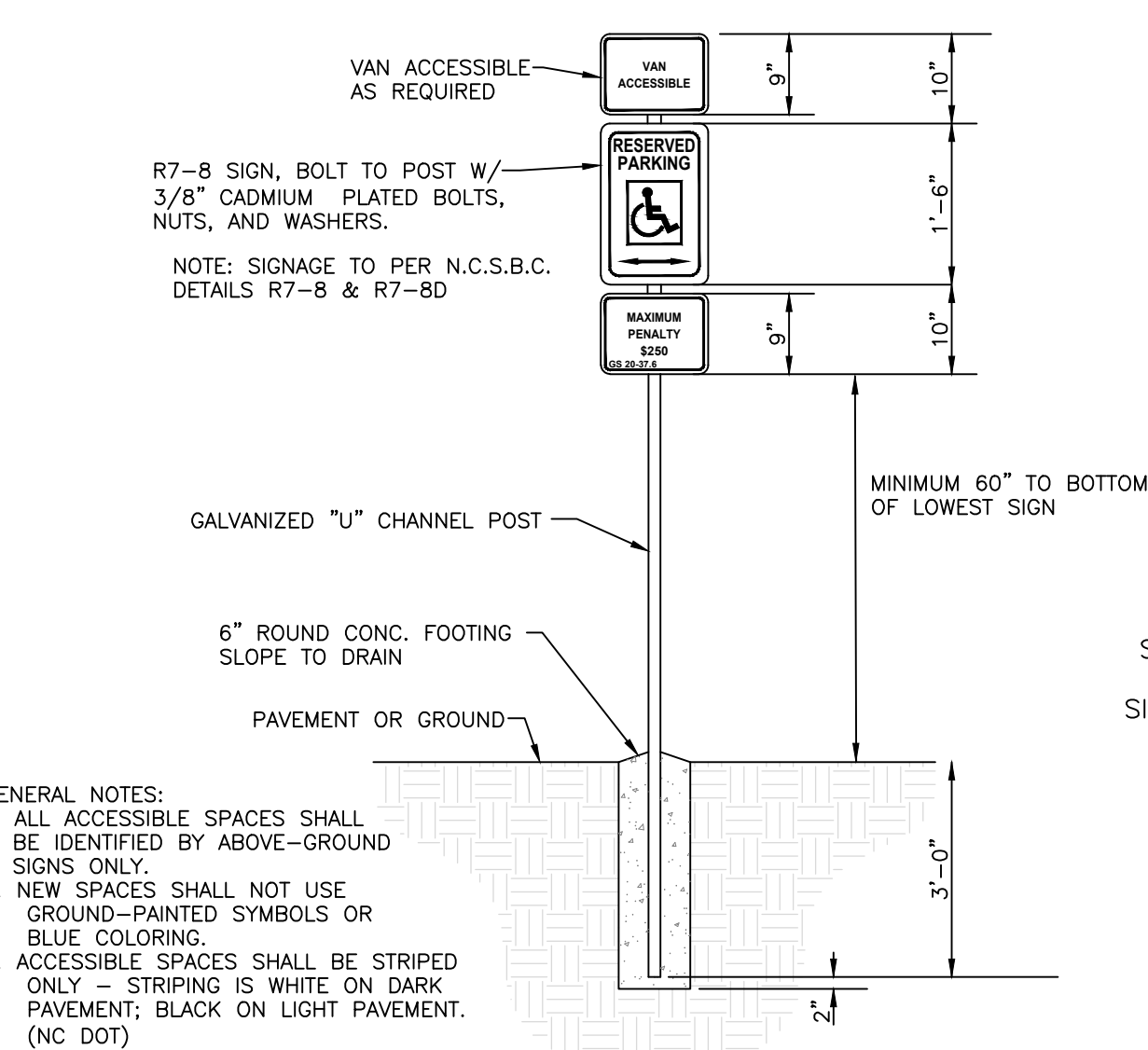


NOTES:
 1. ALL CONCRETE TO 4000 PSI, PROPERLY AIR ENTRAINED FOR EXTERIOR GRADE CONCRETE MIXES.
 2. CABC BASE AND SOIL SUBGRADE TO BE COMPACTED TO 98% OF THE ASTM D-698 STD. PROCTOR MOD IN ACCORDANCE WITH THE REPORT BY THE GEOTECHNICAL ENGINEER AND PROFFROLLED AND APPROVED BY GEOTECHNICAL PERSONNEL.
 3. CONTRACTOR SHALL INSTALL CONTRACTION AND EXPANSION JOINTS AS NECESSARY TO MINIMIZE CRACKING. CONTRACTION JOINTS SHALL BE SPACED AT 10' MAXIMUM EACH WAY WITH ACTUAL PATTERN BASED ON FIELD CONDITIONS. JOINTS SHALL BE TOOLED OR SAW CUT TO A MINIMUM DEPTH OF 2". EXPANSION JOINTS SHALL BE INSTALLED BETWEEN PAVEMENT AND ANY RIGID OBJECTS AND SPACED AS SPECIFIED IN LATEST VERSION OF ACI STANDARDS.
 4. ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH LATEST VERSION OF ACI STANDARDS AND THE REPORT BY THE GEOTECHNICAL ENGINEER.

6 HEAVY DUTY CONCRETE PAVING
 CZ-8.0 no scale

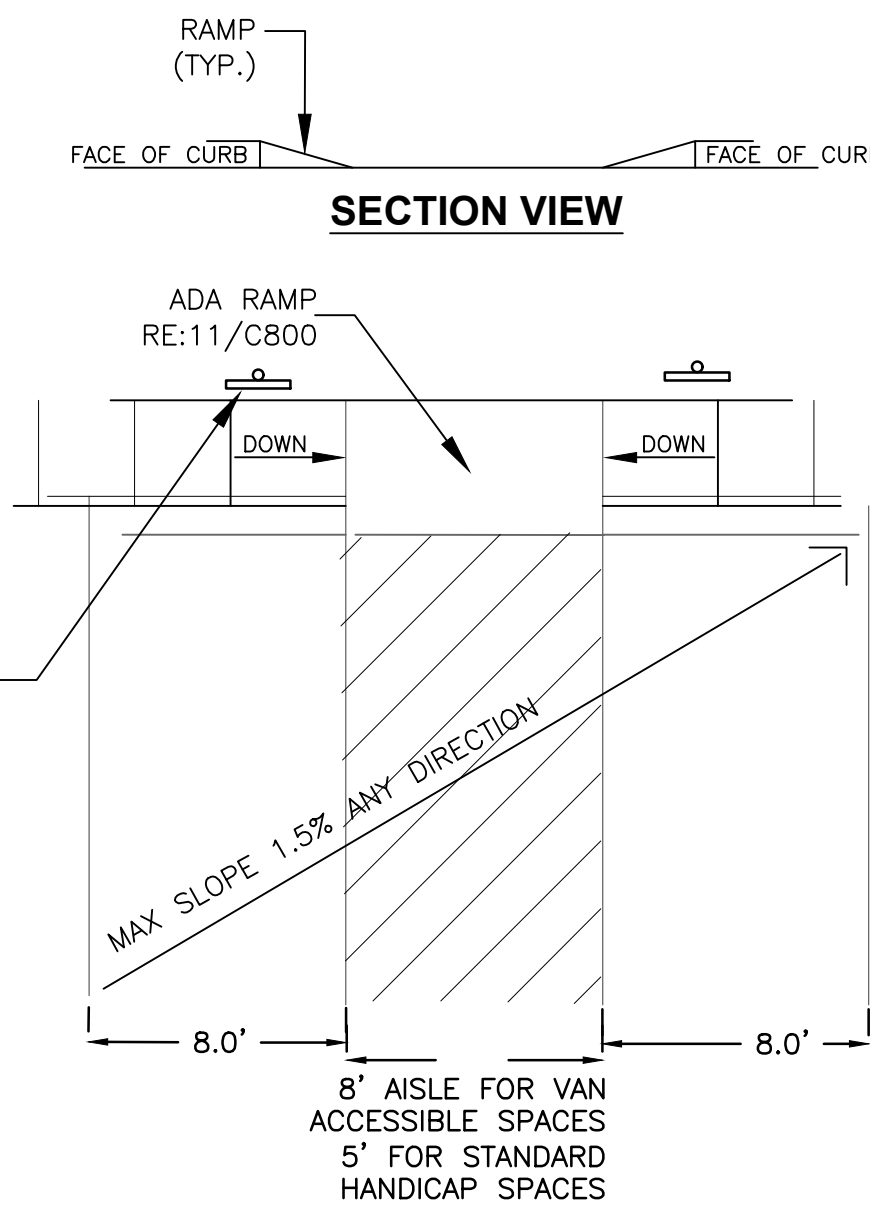


7 WHEELSTOP
 CZ-8.0 no scale



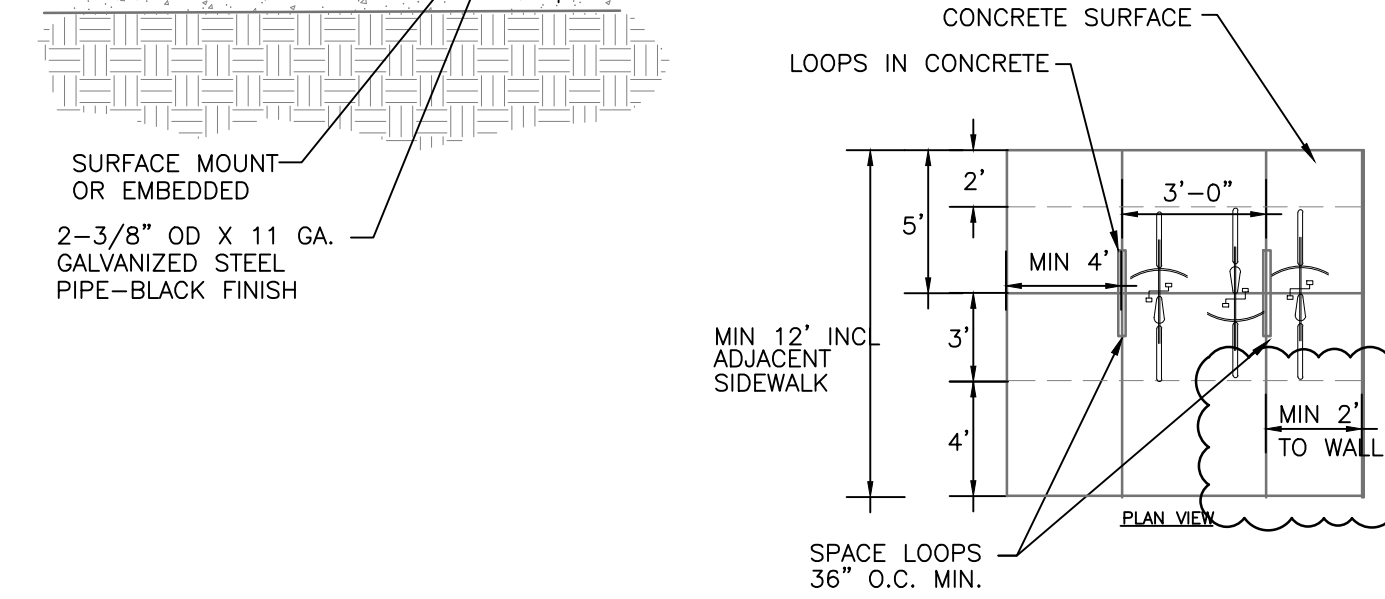
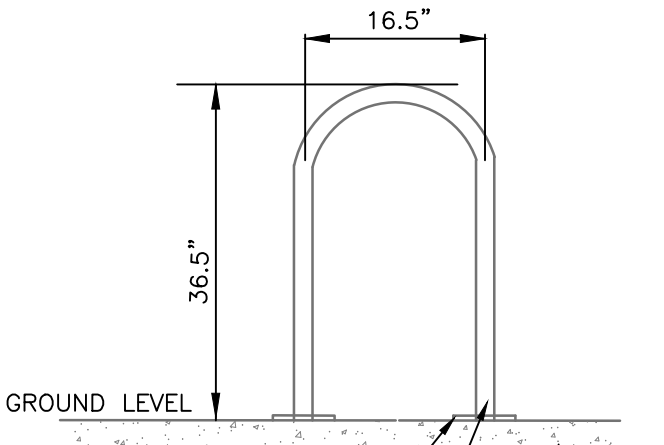
GENERAL NOTES:
 1. ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE-GROUND SIGNS ONLY.
 2. NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS OR BLUE COLORING.
 3. ACCESSIBLE SPACES SHALL BE STRIPED ONLY - STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT. (NC DOT)

8 ADA PARKING LAYOUT AND SIGNAGE
 CZ-8.0 no scale

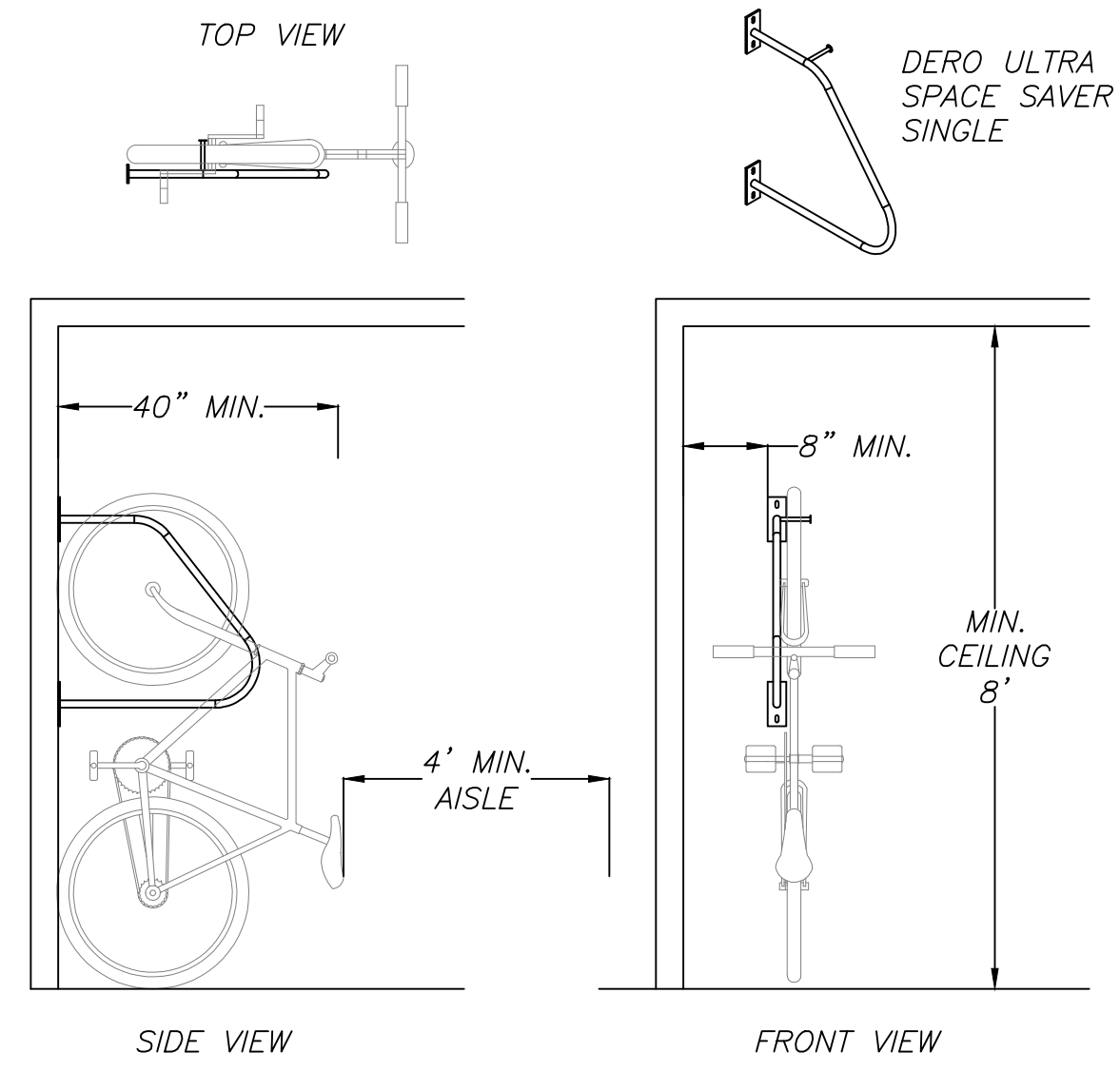


PLAN VIEW

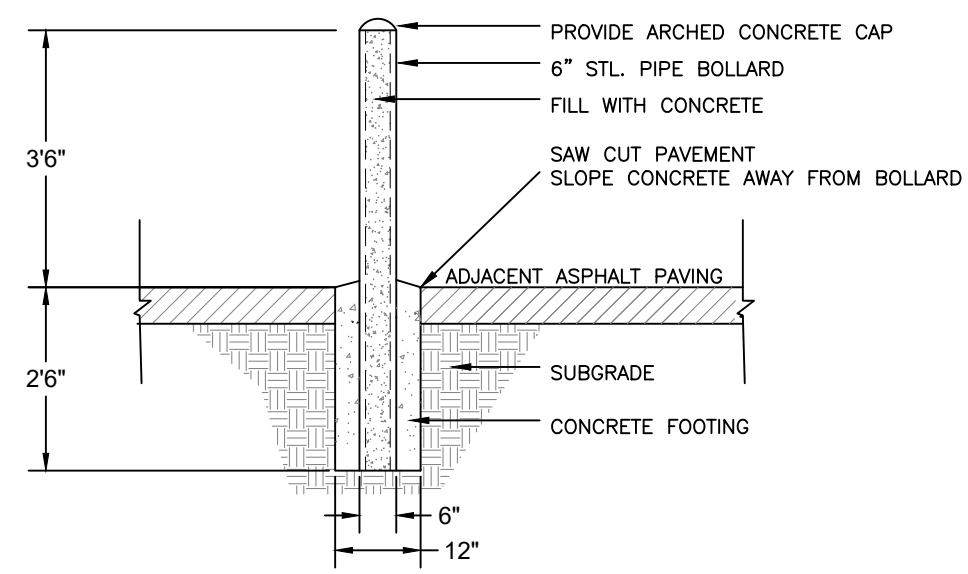
NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.



9 EXTERIOR BICYCLE PARKING
 CZ-8.0 no scale



10 INTERIOR WALL MOUNTED BICYCLE PARKING
 CZ-8.0 no scale

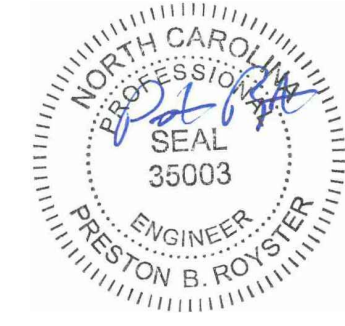


11 BOLLARD
 CZ-8.0 no scale



111 West Main Street
 Durham, N.C. 27701
 p 919.682.0368
 f 919.688.5646
 www.cjtpa.com

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC # C-1209
 NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104



Project
Putt-Putt Fun Center
 115 / 135 Chapel Point Road
 Chapel Hill, NC

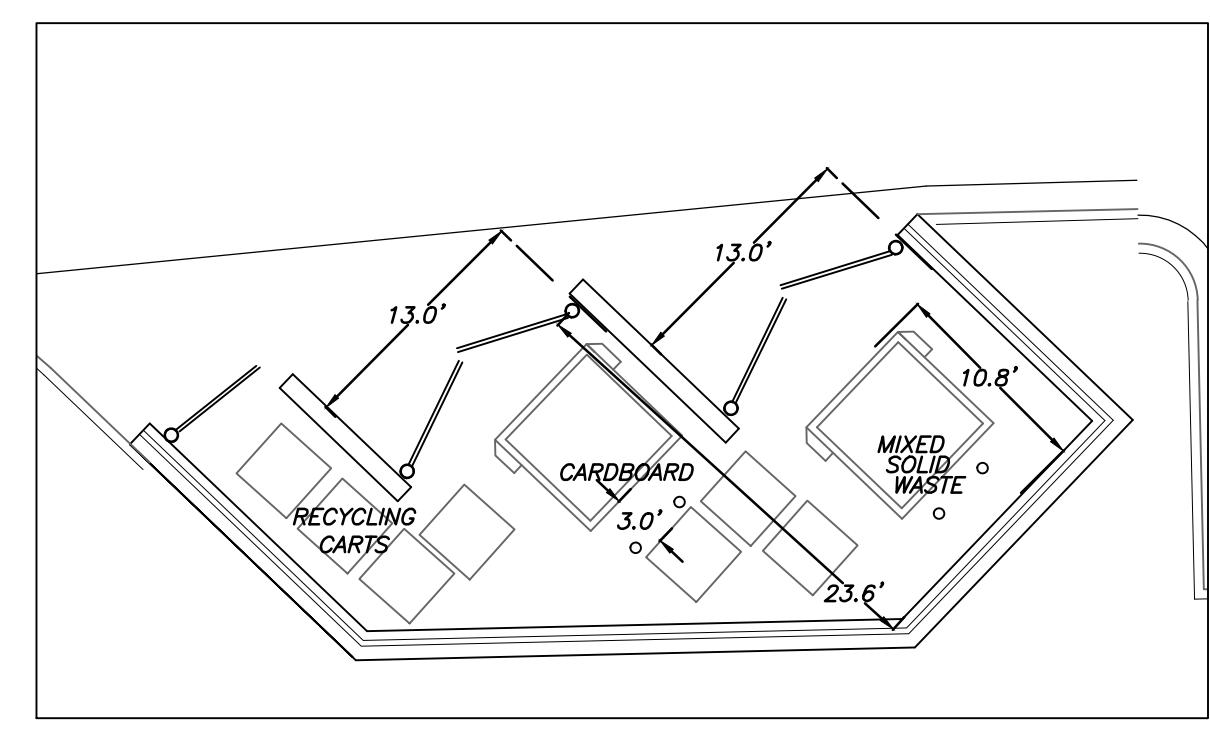
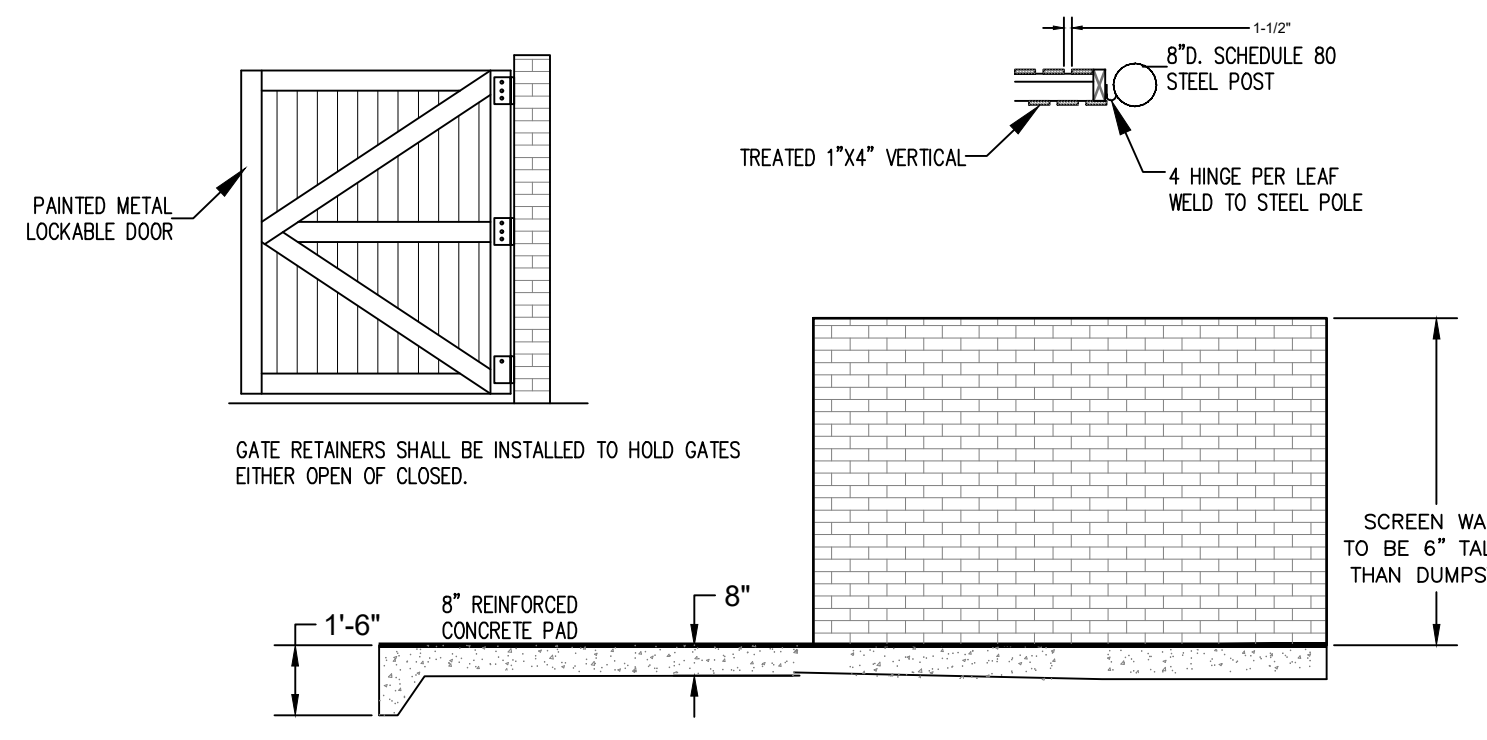
Pin 9870997083

Job Number 1952
 Drawn WLR, MTC
 Checked WLR, PBR
 Date 7/27/2020
 Revisions 12/16/2020 TRT REVIEW RESPONSE
 2/19/2021 TRT REVIEW RESPONSE

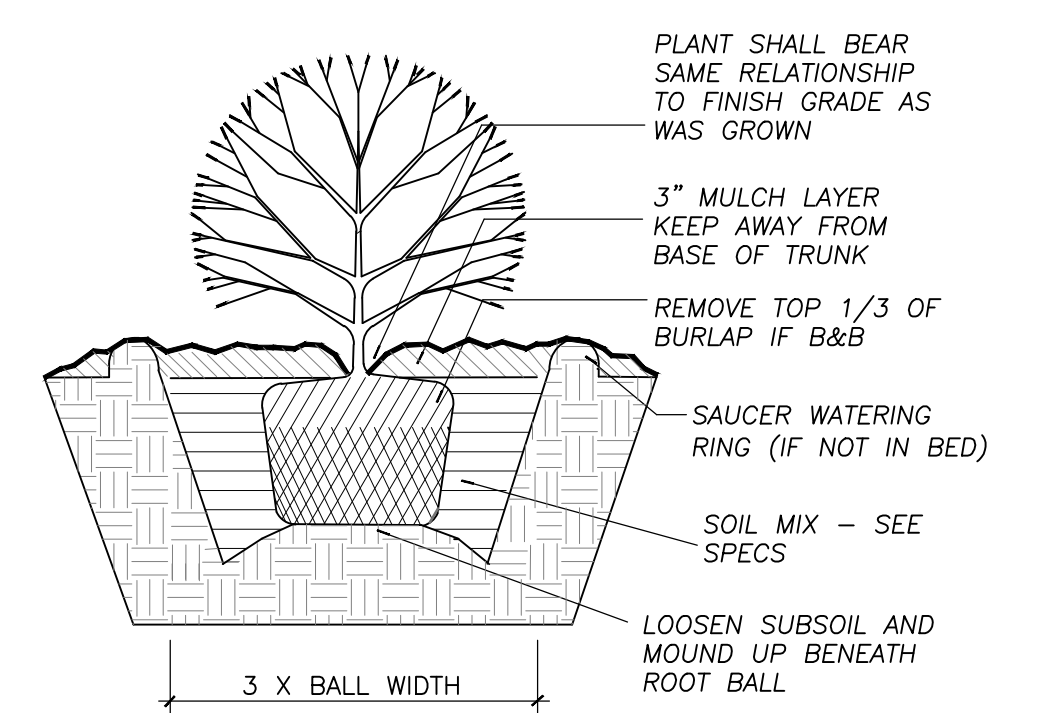
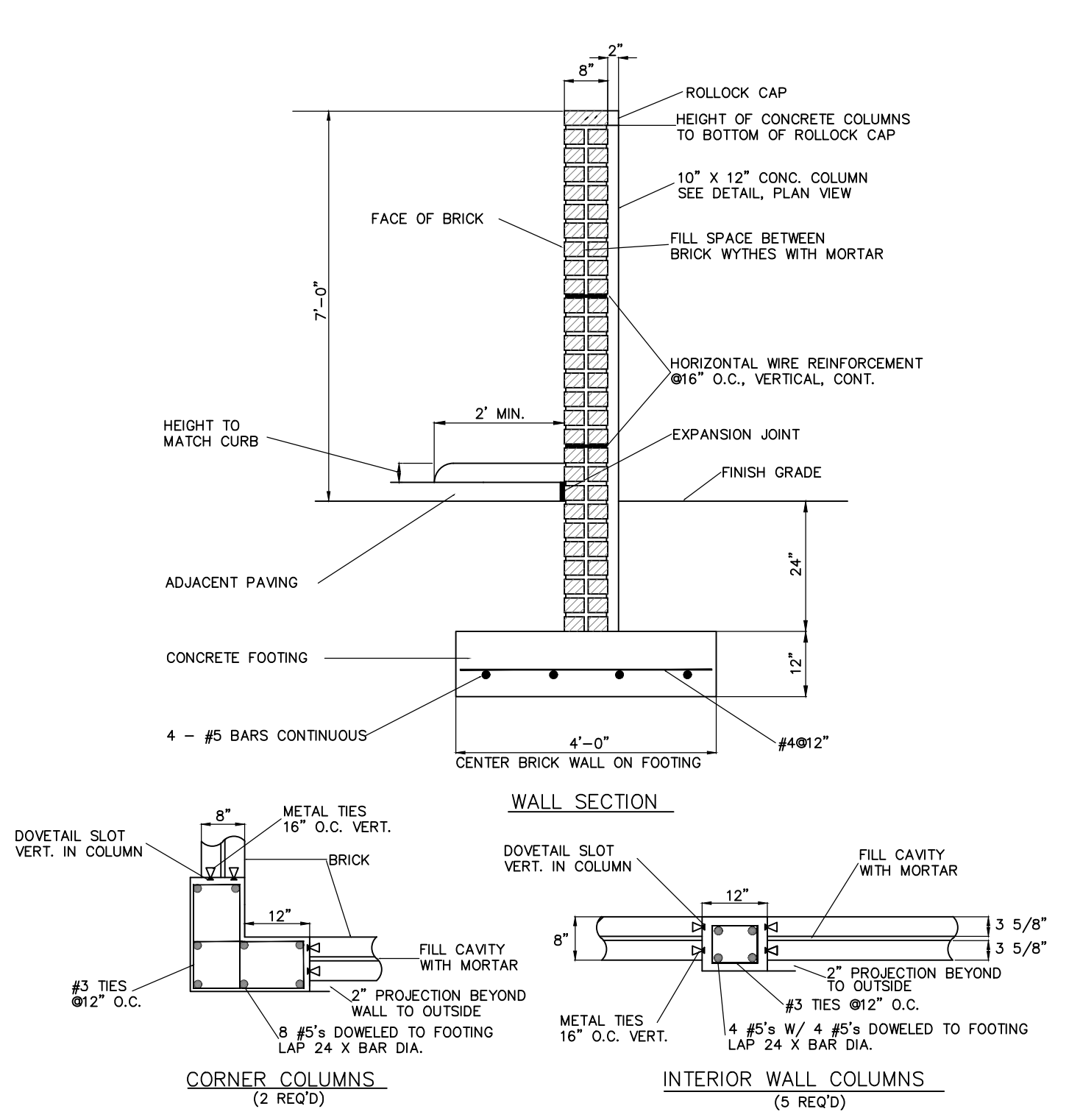
CONDITIONAL ZONING PERMIT APPLICATION NOT ISSUED FOR CONSTRUCTION

Sheet Title
SITE DETAILS

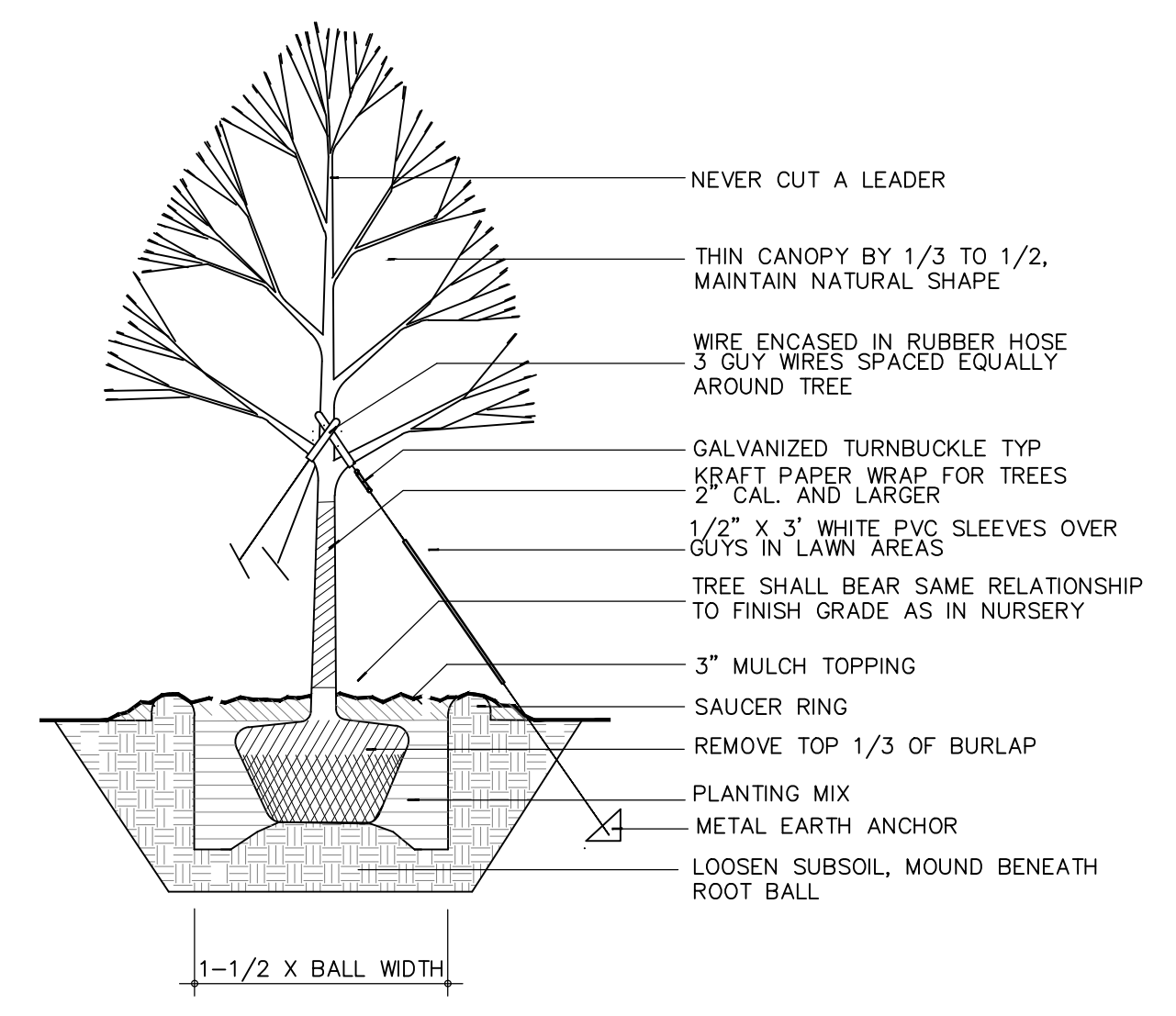
Sheet Number
CZ-8.0



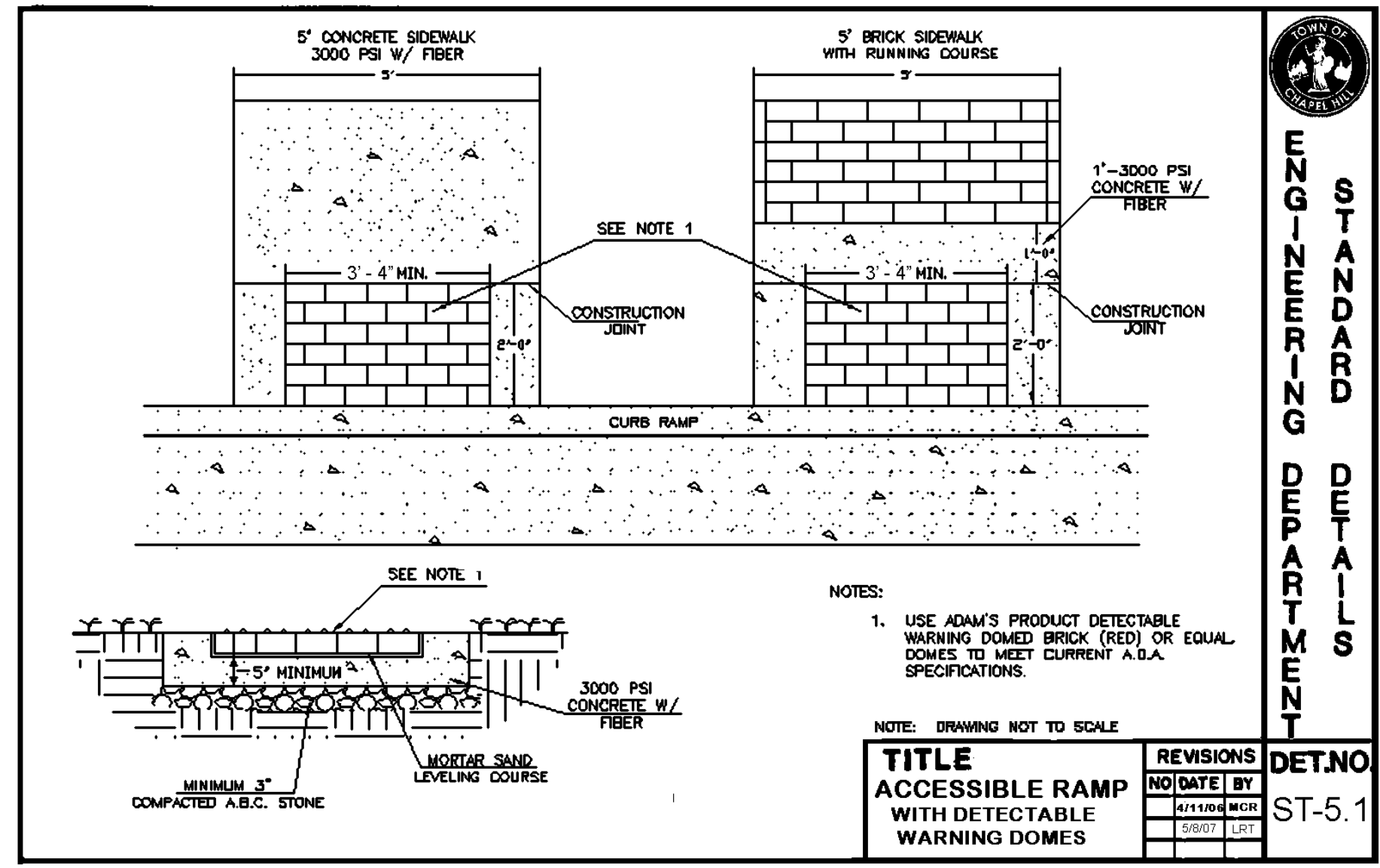
1 DUMPSTER W/ MASONRY SCREEN ENCLOSURE
SCALE: 1" = 10'



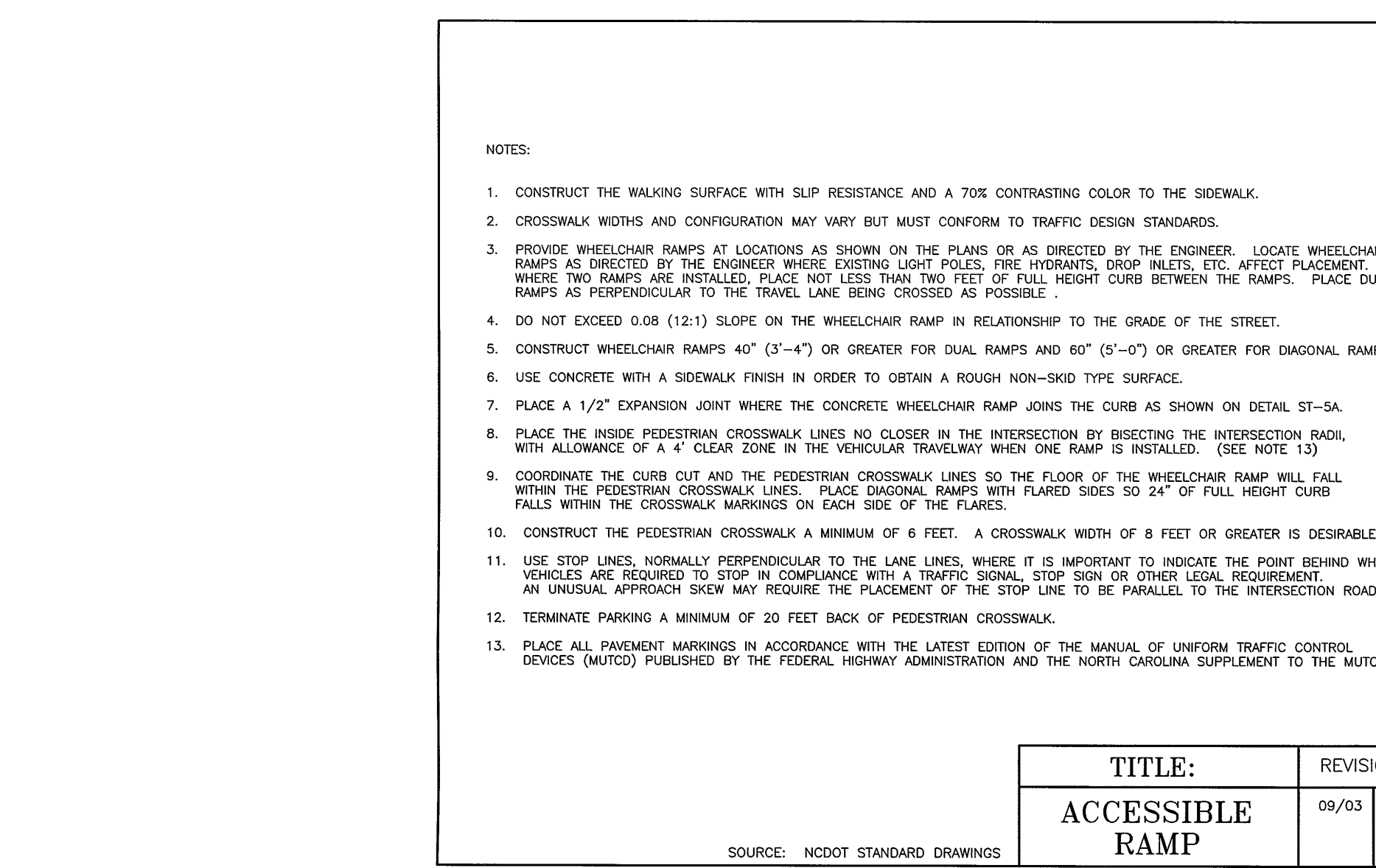
2 SHRUB DETAIL
NO SCALE



3 TREE PLANTING DETAIL
NO SCALE

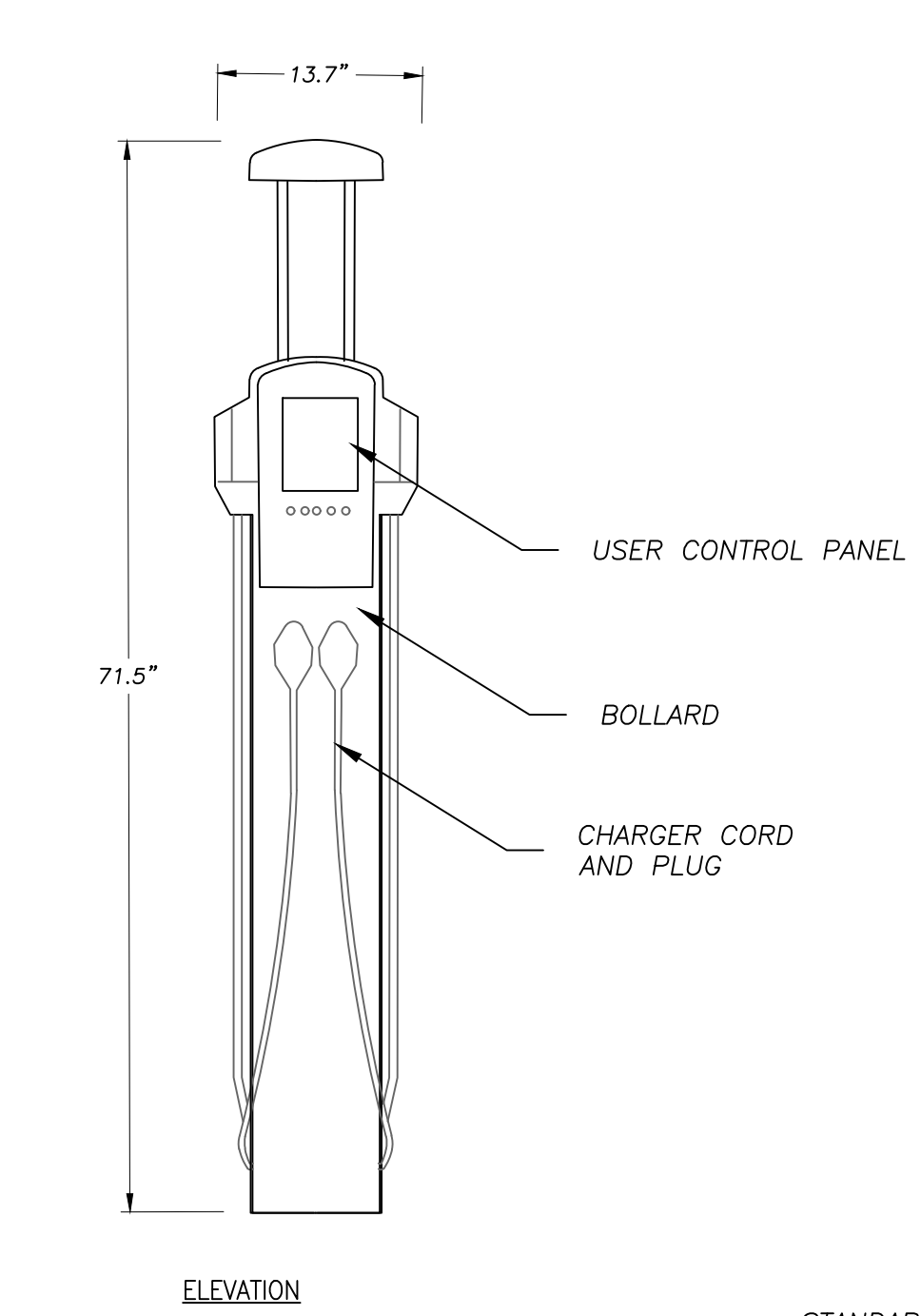


STANDARD DETAILS
ENGINEERING DEPARTMENT
DET.NO ST-5.1



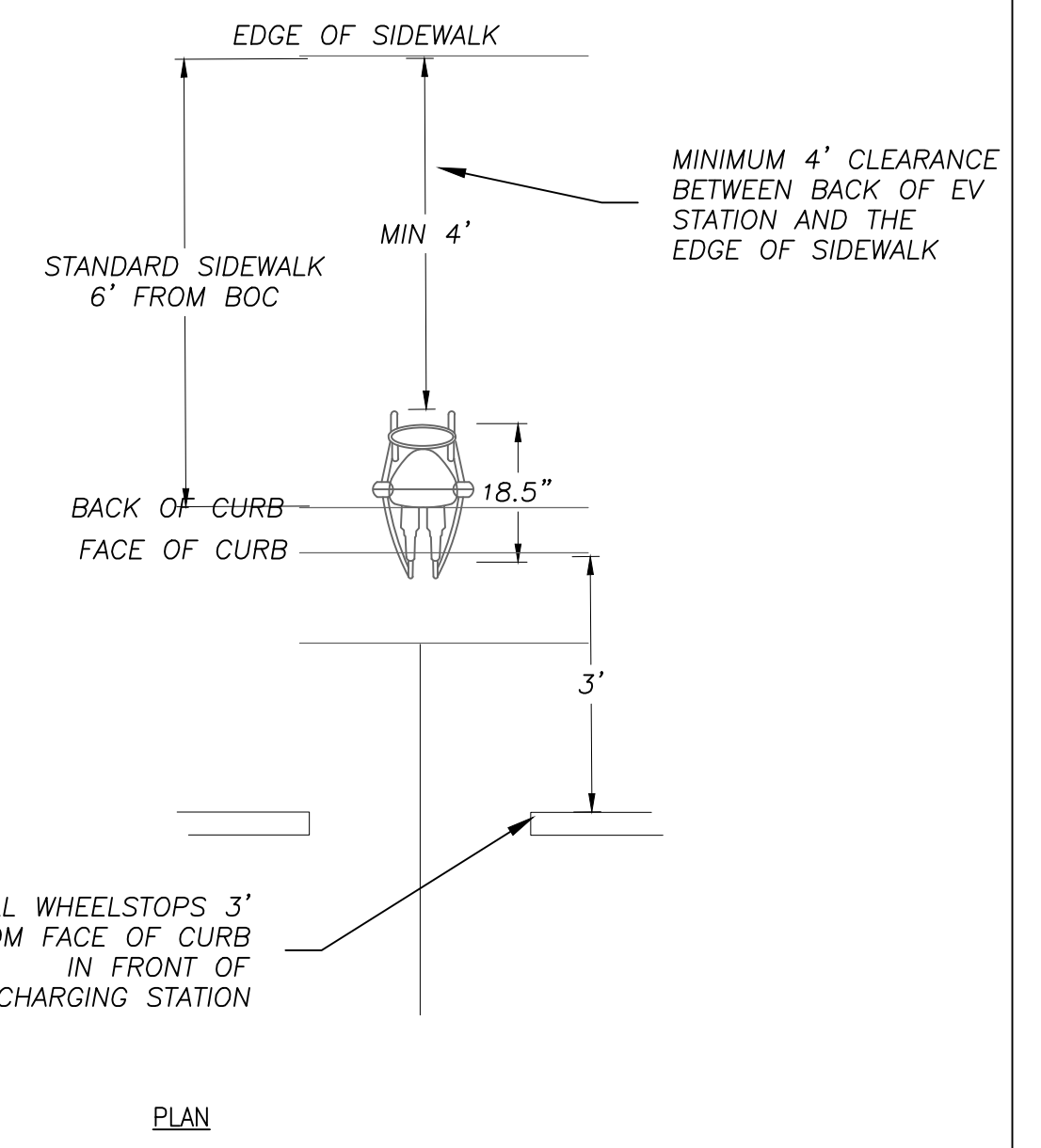
STANDARD DETAILS
ENGINEERING DEPARTMENT
DET.NO ST-5.4

4 ACCESSIBLE SIDEWALK RAMP
NO SCALE



NOTES:

- BASIS OF DESIGN: CHARGEPOINT MODEL CT4021
- BOLLARD TYPE CHARGING STATION
- 2-VEHICLE SIMULTANEOUS CHARGE CAPACITY



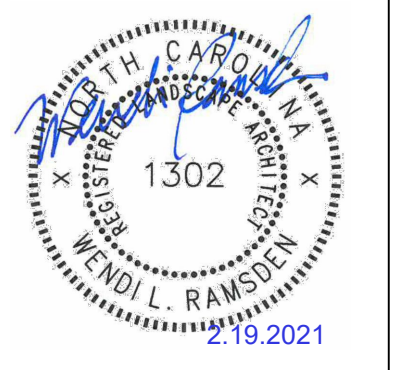
5 EV CHARGING STATION
NO SCALE



111 West Main Street
Durham, N.C. 27701
p 919.682.0368
f 919.688.5648
www.cjtpa.com

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC #C-1209

NC BOARD OF LANDSCAPE ARCHITECTS LIC #C-104



Project
Putt-Putt Fun Center

115 / 135 Chapel Point Road
Chapel Hill, NC

Pin 9870997083

Job Number 1952

Drawn WLR, MTC

Checked WLR, PBR

Date 7/27/2020

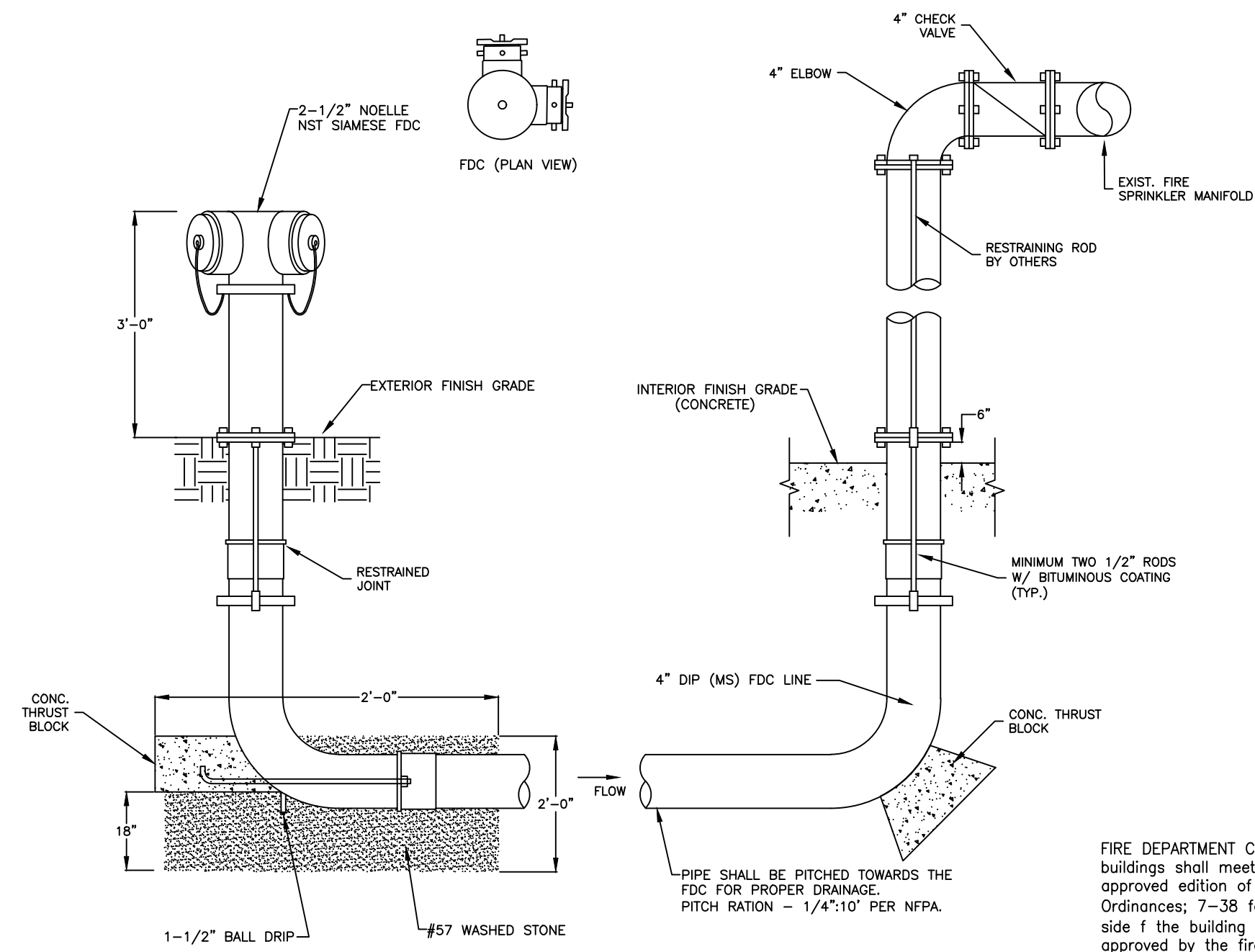
Revisions 12/10/2020 TRT REVIEW RESPONSE

2/19/2021 TRT REVIEW RESPONSE

CONDITIONAL ZONING PERMIT APPLICATION NOT ISSUED FOR CONSTRUCTION

Sheet Title
SITE DETAILS

Sheet Number
CZ-8.1



FIRE DEPARTMENT CONNECTIONS, LOCATIONS; Any required FDCs for any buildings shall meet the design and installation requirements for the current, approved edition of NFPA 13, 13D, 13R, or 14 of the NCFC and Town Ordinances; 7-38 for location. FDCs shall be installed on the street/address side of the building and within 100' of a hydrant or unless otherwise approved by the fire code official and shall not be obstructed or hindered by parking or landscaping.

THE LOW POINT DRAIN SHALL BE CORROSION RESISTANT AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS. THE DRAIN ARRANGEMENT SHALL BE SUBMITTED AS PART OF THE SITE PLAN UTILITY DETAIL AND APPROVED BY FIRE PREVENTION AND ENGINEERING. A DRAINAGE PIT TWO FEET IN DIAMETER SHALL BE EXCAVATED BELOW EACH DRAIN AND FILLED COMPLETELY WITH CRUSHED STONE MIXED WITH COURSE SAND UNDER AND AROUND THE DRAIN TO A LEVEL 6 INCHES ABOVE THE DRAIN. PITS SHALL NEITHER BE CONNECTED TO A STORM OR SANITARY SEWER NOR LOCATED WITHIN THE RIGHT-OF-WAY OR ANY EASEMENT AREA.

1 FDC
CZ-8.2 NO SCALE

2 NOT USED
CZ-8.2 NO SCALE

3 NOT USED
CZ-8.2 NO SCALE



111 West Main Street
Durham, N.C. 27701
p 919.682.0368
f 919.688.5646
www.cjtpa.com

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC # C-1209
NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104



Project
Putt-Putt Fun Center

115 / 135 Chapel Point Road
Chapel Hill, NC

PIN 9870997083

Job Number 1952
Drawn WLR, MTC
Checked WLR, PBR
Date 7/27/2020
Revisions 12/10/2020 TRT REVIEW RESPONSE
2/19/2021 TRT REVIEW RESPONSE

CONDITIONAL ZONING PERMIT APPLICATION NOT ISSUED FOR CONSTRUCTION

Sheet Title
UTILITY SITE DETAILS

Sheet Number
CZ-8.2

CHAPEL HILL LAND USE MANAGEMENT ORDINANCE

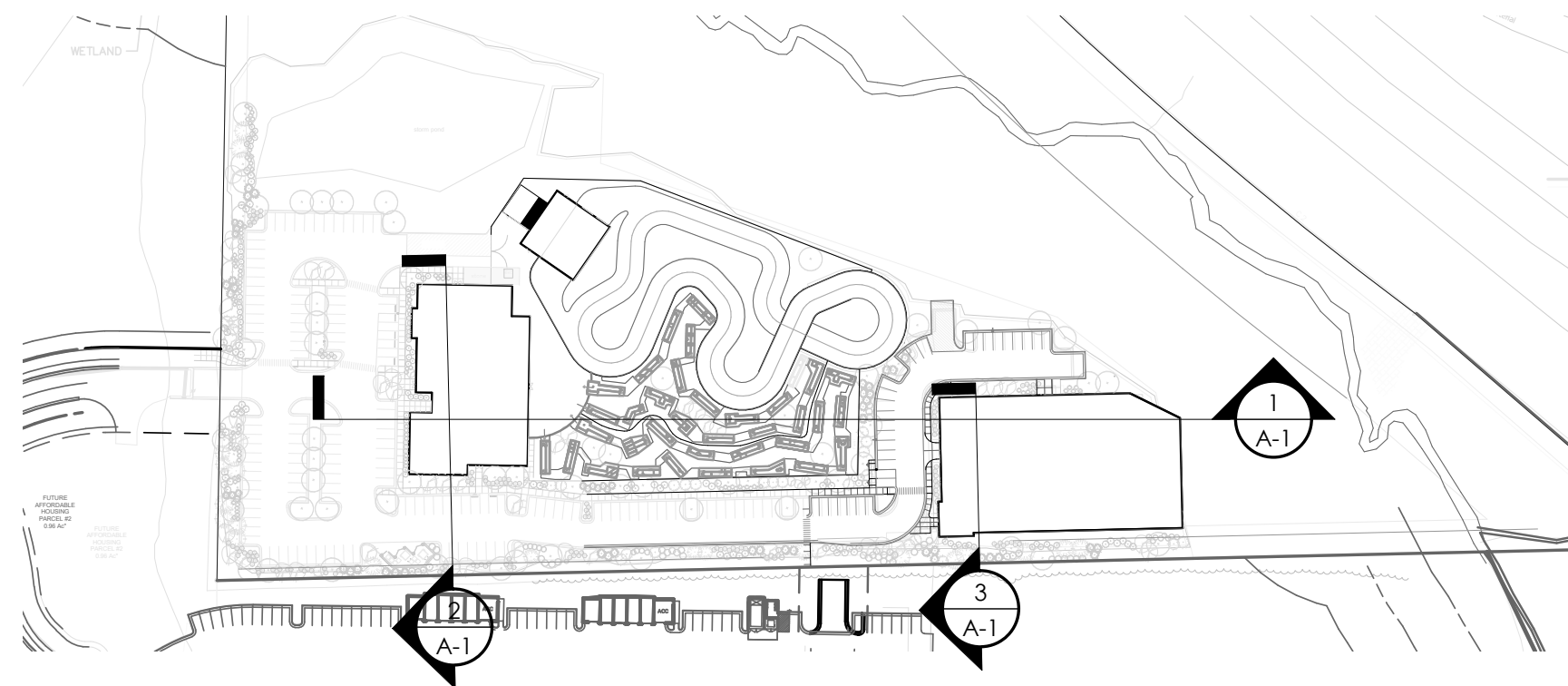
3.8.3 EXCEPTIONS TO SETBACK AND HEIGHT REGULATIONS.

(B) THE FOLLOWING FEATURES MAY PROJECT ABOVE THE BUILDING ENVELOPE DEFINED BY THE MAXIMUM HEIGHT LIMITATIONS AND ADDITIONAL SETBACK REQUIREMENTS CONTAINED IN RULES FOR INTERPRETATION OF TABLE 3.8-1, COLUMNS (F) AND (G), BELOW, PROVIDED THE TOWN MANAGER DETERMINES THAT SUCH FEATURES DO NOT SIGNIFICANTLY IMPAIR THE DEGREE OF SOLAR ACCESS PROVIDED ADJACENT PROPERTIES THROUGH APPLICATION OF THE APPROPRIATE SOLAR SETBACK REQUIREMENTS:

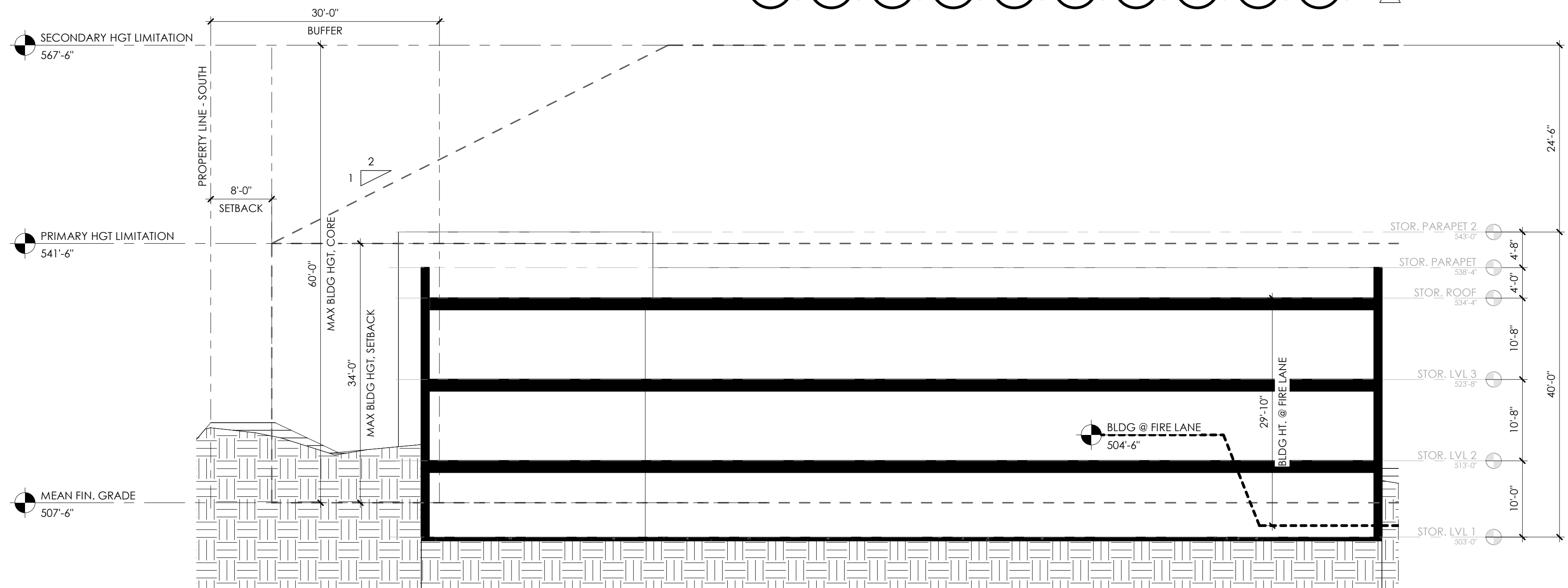
- (1) CHIMNEYS, ACCESSORY RADIO OR TELEVISION ANTENNAS, FLAGPOLES, MONUMENTS, CUPOLAS, PARAPETS, DORMERS, CLOCK TOWERS OR DECORATIVE TOWERS WITH A FOOTPRINT NOT EXCEEDING TWENTY (20) PERCENT OF THE PRINCIPAL BUILDING, PROVIDED THE PROJECTION OF SUCH STRUCTURES ABOVE THE BUILDING ENVELOPE DOES NOT EXCEED FIFTEEN (15) PERCENT OF THE MAXIMUM HEIGHT LIMITATION THAT DEFINES THE PORTION OF THE BUILDING ENVELOPE PENETRATED BY SUCH STRUCTURES;

DESIGN NOTES:

- ALL ROOFS ARE WITHIN THE BUILDING ENVELOPE AS DEFINED BY THIS CODE:
- THE ALLOWABLE CORE HEIGHT INCREASES AT A RATE OF ONE (1) FOOT IN HEIGHT FOR EVERY TWO (2) FEET OF DISTANCE INTERIOR TO THE LOT, MEASURED AWAY FROM THE PERIMETER SETBACKS. THIS IS EQUIVALENT TO A SLOPE OF 1/2 (RISE/RUN) OR 1:2. (PER 3.8.2 (G) (1))
- ALL PARAPETS COMPLY WITH THE ABOVE REFERENCED EXCEPTION, NOT EXCEEDING 15% OF THE MAXIMUM HEIGHT LIMITATION.

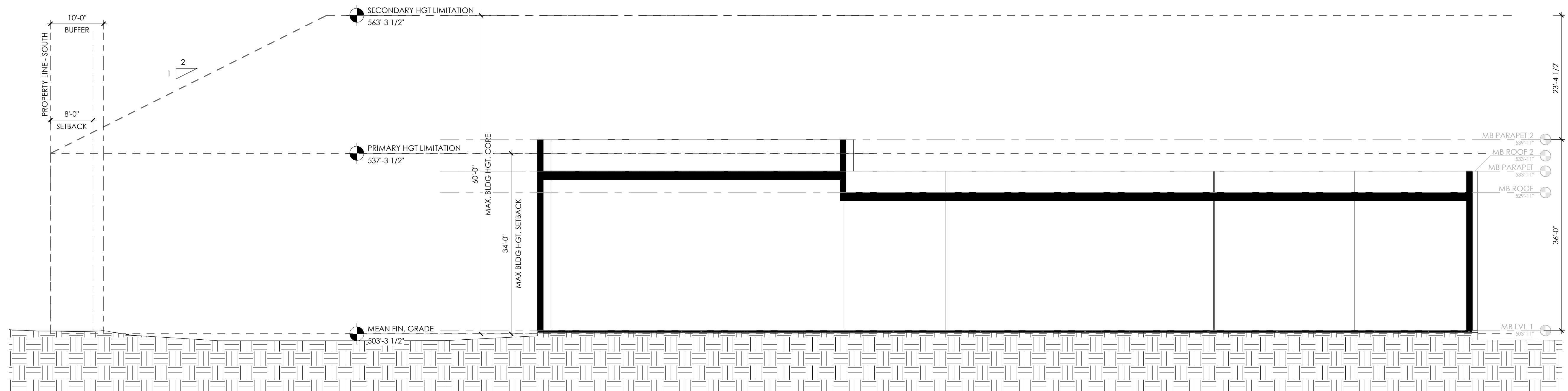


KEY PLAN
1" = 160'-0" **4**

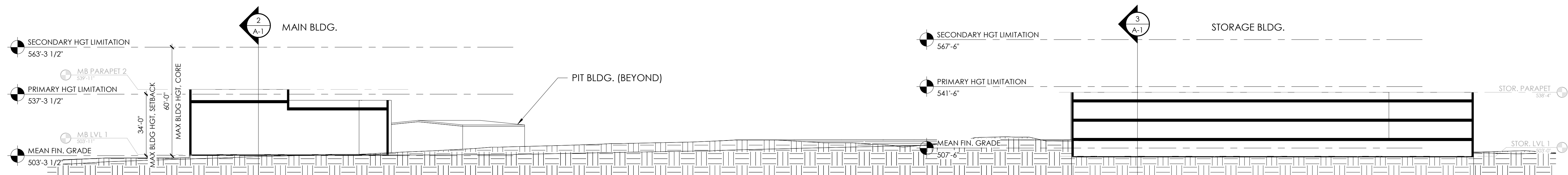


STORAGE BLDG. SECTION - N/S
3/32" = 1'-0" **3**

STORAGE BUILDING COMPLETELY REVISED.
NO CHANGE TO MAIN BUILDING.



MAIN BLDG. SECTION - N/S
3/32" = 1'-0" **2**



SITE BLDG SECTION - E/W
1" = 30'-0" **1**

PRELIMINARY CONCEPT
NOT FOR CONSTRUCTION

THESE DRAWINGS AND THE ACCOMPANYING SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND AS SUCH SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THEY HAVE BEEN PREPARED FOR A SPECIFIC PROJECT AND SHALL NOT BE USED IN CONJUNCTION WITH ANY OTHER PROJECTS WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT.
© MHAworks 2018

SHEET NAME:
ARCHITECTURAL BUILDING SECTIONS

PHASE:
PRELIM DESIGN

REVISIONS:

#	DESC.	DATE
1	REVISION 1	02/19/21

ISSUE DATE: **07/27/20**
PROJECT #: **20068**
DRAWN BY: **RK**

SHEET NUMBER
A-1