

Timberlyne Offices

120 Banks Drive

Chapel Hill Town Council Public Hearing

May 26, 2021

Applicant/Land Planning: TMTLA Associates

Developer: Parkway Holdings Phase 2, LLC

DRAFT

VICINITY MAP



Walgreens

Timberlyne
Animal
Hospital

Timberlyne Shopping
Center

SITE

20 BANKS DR, CH, NC, 27514

Mobile
Home
Park

1701
North
Apartments

Children's Campus
Daycare

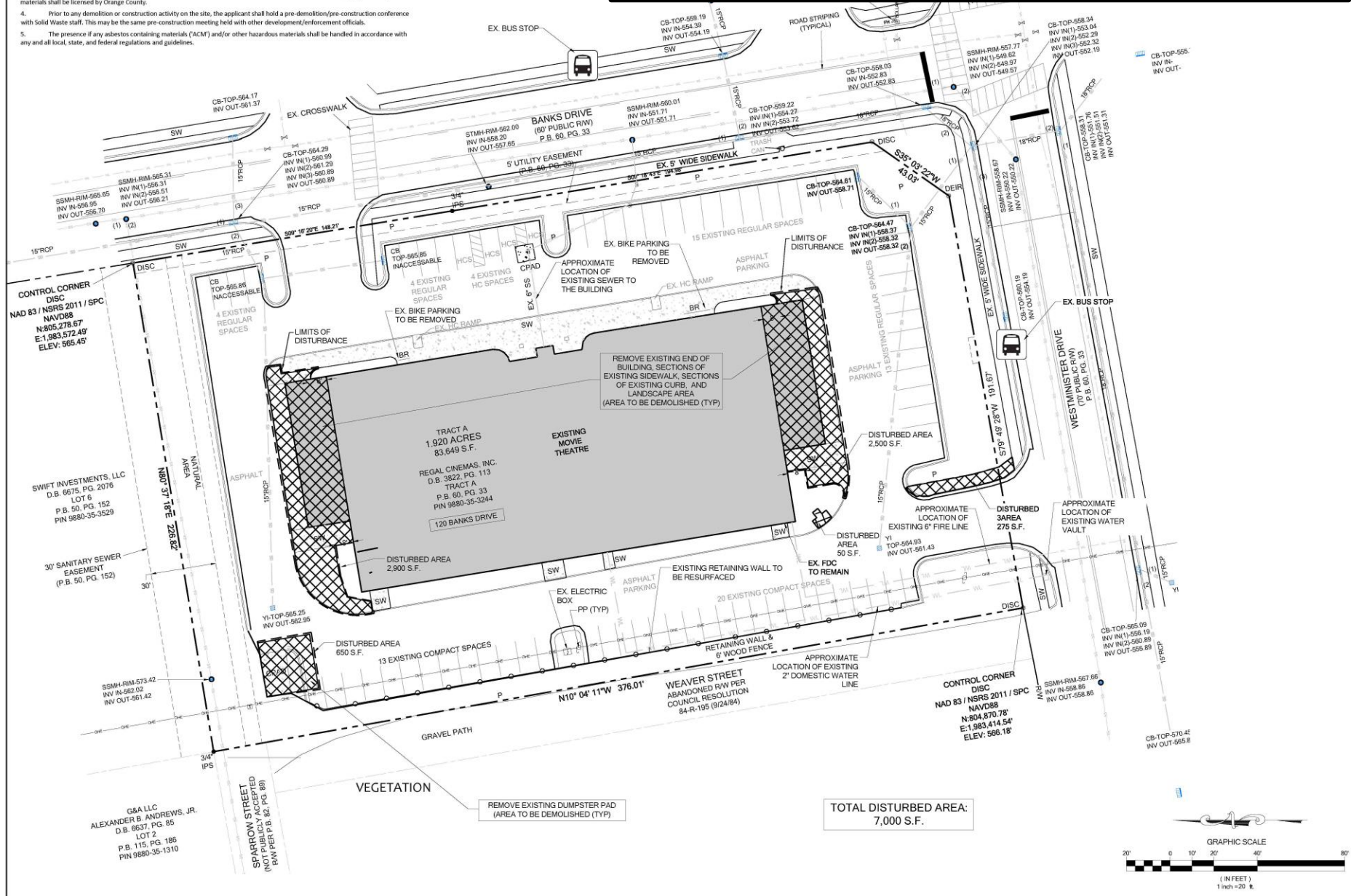
86 North Apartments

Site Information:
Area: 1.89 AC
Zone: CC
Existing Use: Movie Theater
Proposed Use: Medical Office

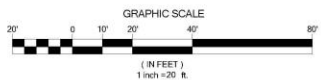
DRAFT

EXISTING CONDITIONS / DEMO

- OCSW Construction Waste Requirements:
- All existing structures 500 square feet and larger shall be assessed prior to the issuance of a demolition permit to ensure compliance with the County's Regulated Recyclable Materials Ordinance (RRMO) and to assess the potential for deconstruction and/or the reuse of salvageable materials. Contact the Orange County SW Enforcement Officer at 919-968-2788 to arrange for the assessment.
 - Pursuant to the County's RRMO, clean wood waste, scrap metal, and corrugated cardboard present in construction or demolition waste must be recycled.
 - Pursuant to the County's RRMO, all haulers of mixed construction and demolition waste which includes any regulated recyclable materials shall be licensed by Orange County.
 - Prior to any demolition or construction activity on the site, the applicant shall hold a pre-demolition/pre-construction conference with Solid Waste staff. This may be the same pre-construction meeting held with other development/enforcement officials.
 - The presence if any asbestos containing materials (ACM) and/or other hazardous materials shall be handled in accordance with any and all local, state, and federal regulations and guidelines.



TOTAL DISTURBED AREA:
7,000 S.F.



REVISIONS:
2/18/2021

DEMO PLAN
TIMBERLYNE OFFICES
Chapel Hill, North Carolina

SCALE:
1" = 20'
DRAWN BY:
PMP
PROJECT #
20096
DATE:
11/30/2020
SHEET
L-1b
OF

TITILA ASSOCIATES
5011 SCURRY DRIVE, STE. 200 - DURHAM, NC 27713
P: (919) 469-8886 e: info@titila.com

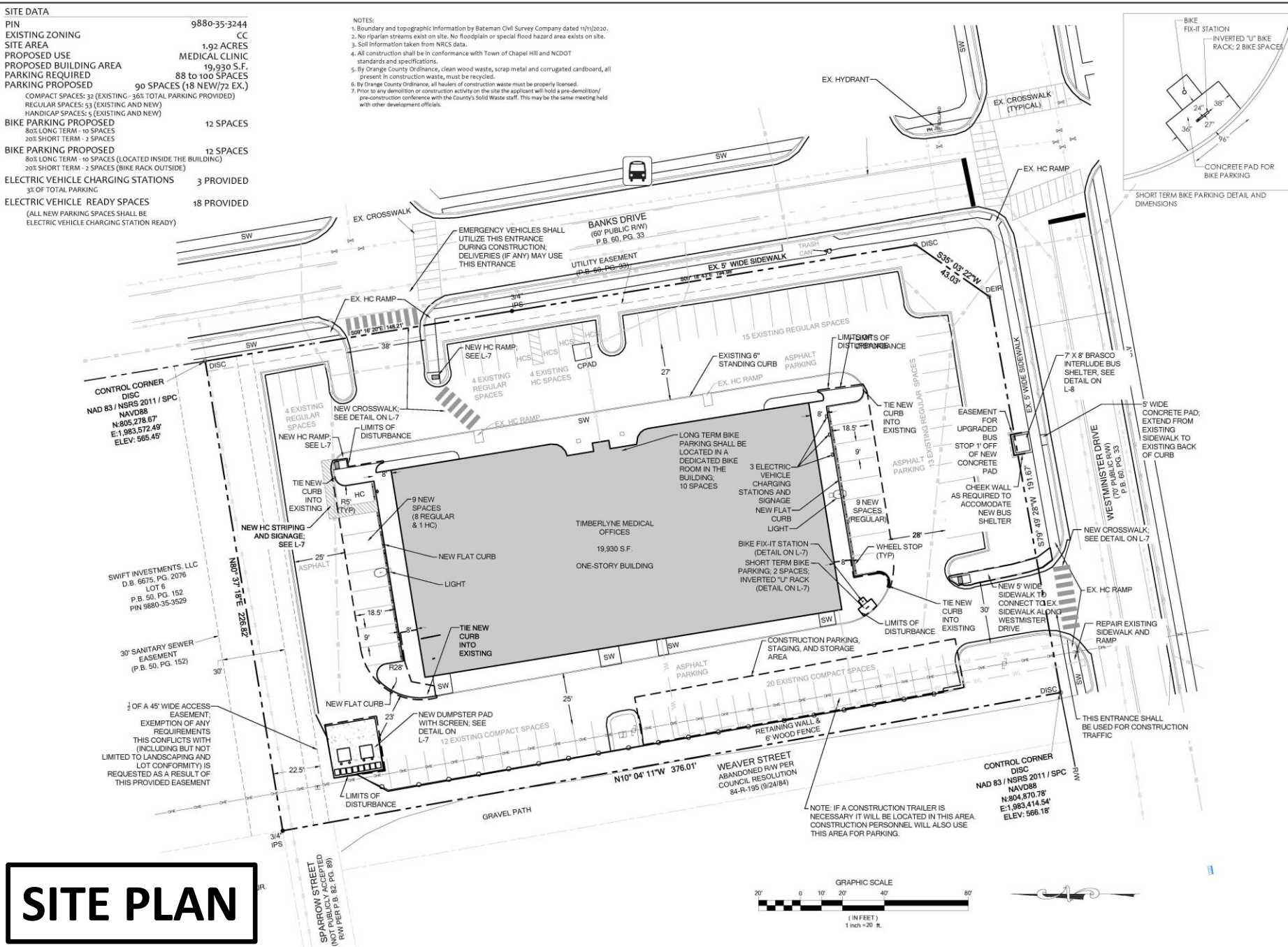
DRAFT

PRELIMINARY
NOT FOR
CONSTRUCTION

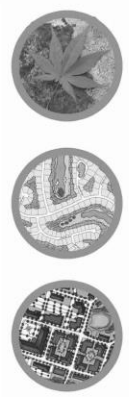
SITE DATA

PIN	9880-35-3244
EXISTING ZONING	CC
SITE AREA	1.92 ACRES
PROPOSED USE	MEDICAL CLINIC
PROPOSED BUILDING AREA	19,930 S.F.
PARKING REQUIRED	88 TO 100 SPACES
PARKING PROPOSED	90 SPACES (18 NEW/72 EX.)
COMPACT SPACES: 32 (EXISTING - 365 TOTAL PARKING PROVIDED)	
REGULAR SPACES: 53 (EXISTING AND NEW)	
HANDICAP SPACES: 5 (EXISTING AND NEW)	
BIKE PARKING PROPOSED	12 SPACES
80% LONG TERM - 10 SPACES	
20% SHORT TERM - 2 SPACES	
BIKE PARKING PROPOSED	12 SPACES
80% LONG TERM - 10 SPACES (LOCATED INSIDE THE BUILDING)	
20% SHORT TERM - 2 SPACES (BIKE RACK OUTSIDE)	
ELECTRIC VEHICLE CHARGING STATIONS	3 PROVIDED
3% OF TOTAL PARKING	
ELECTRIC VEHICLE READY SPACES	18 PROVIDED
(ALL NEW PARKING SPACES SHALL BE ELECTRIC VEHICLE CHARGING STATION READY)	

- NOTES:
- Boundary and topographic information by Bateman Civil Survey Company dated 11/11/2020.
 - No riparian streams exist on site. No floodplain or special flood hazard area exists on site.
 - Soil information taken from NRCS data.
 - All construction shall be in conformance with Town of Chapel Hill and NCDOT standards and specifications.
 - By Orange County Ordinance, clean wood waste, scrap metal and corrugated cardboard, all present in construction waste, must be recycled.
 - By Orange County Ordinance, all haulers of construction waste must be properly licensed.
 - Prior to any demolition or construction activity on the site the applicant will hold a pre-demolition/pre-construction conference with the County's Solid Waste staff. This may be the same meeting held with other development officials.



SITE PLAN



REVISIONS:
2/18/2021

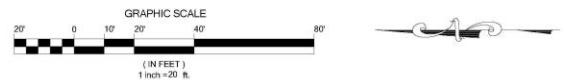
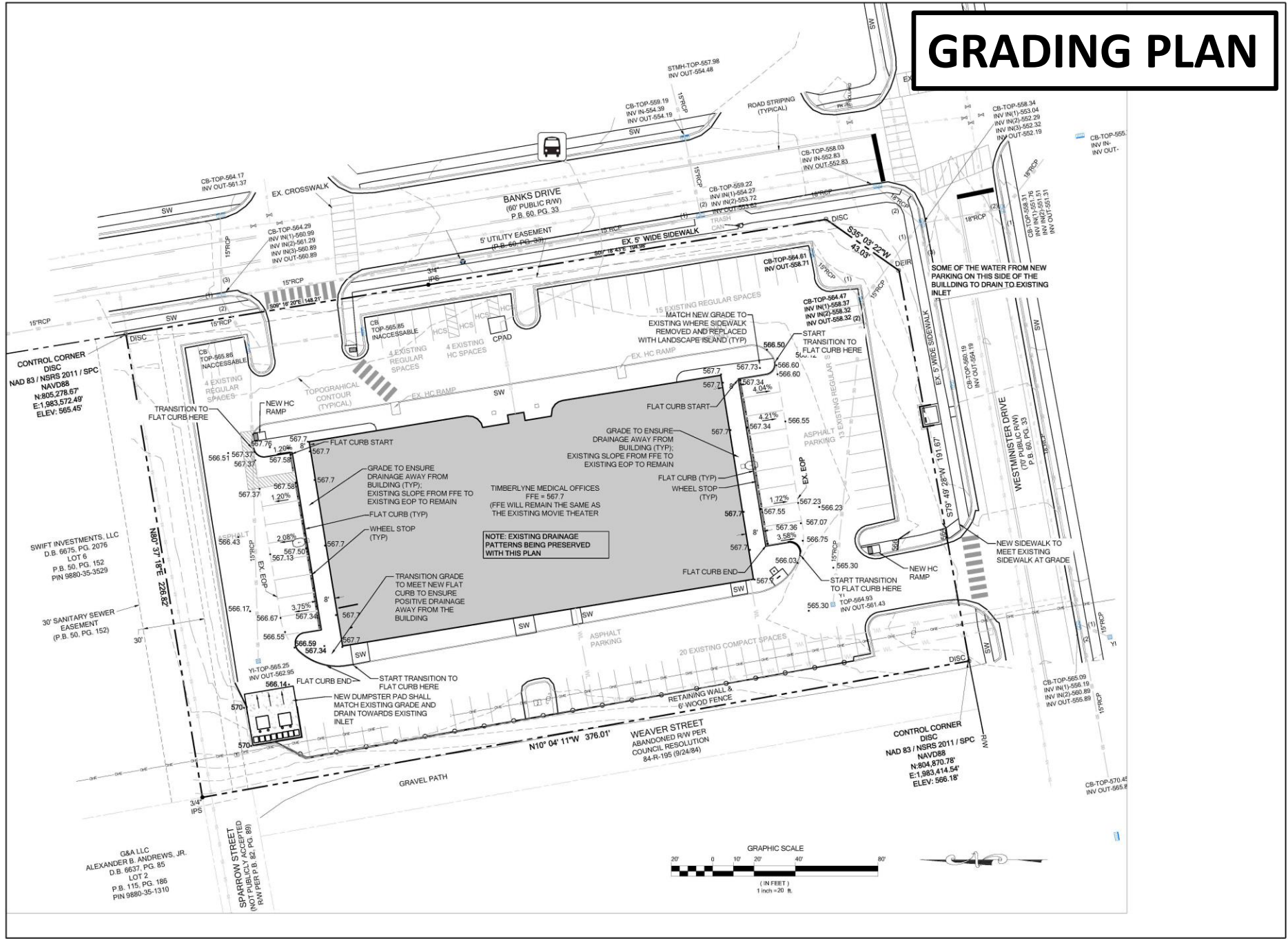
DETAILED SITE PLAN
TIMBERLYNE OFFICES
Chapel Hill, North Carolina

SCALE:
1" = 20'
DRAWN BY:
PMP
PROJECT #
20096
DATE:
11/30/2020
SHEET
L-2
OF

TMTLA ASSOCIATES
3011 SOUTH PARK DRIVE, STE. 200 - DURHAM, NC 27713
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DRAFT

GRADING PLAN



Know what's below.
Call before you dig.

REVISIONS:
2/18/2021

GRADING PLAN
TIMBERLYNE OFFICES
Chapel Hill, North Carolina

SCALE:
1" = 20'
DRAWN BY:
PMP
PROJECT #
20096
DATE:
11/30/2020

SHEET
L-4
OF

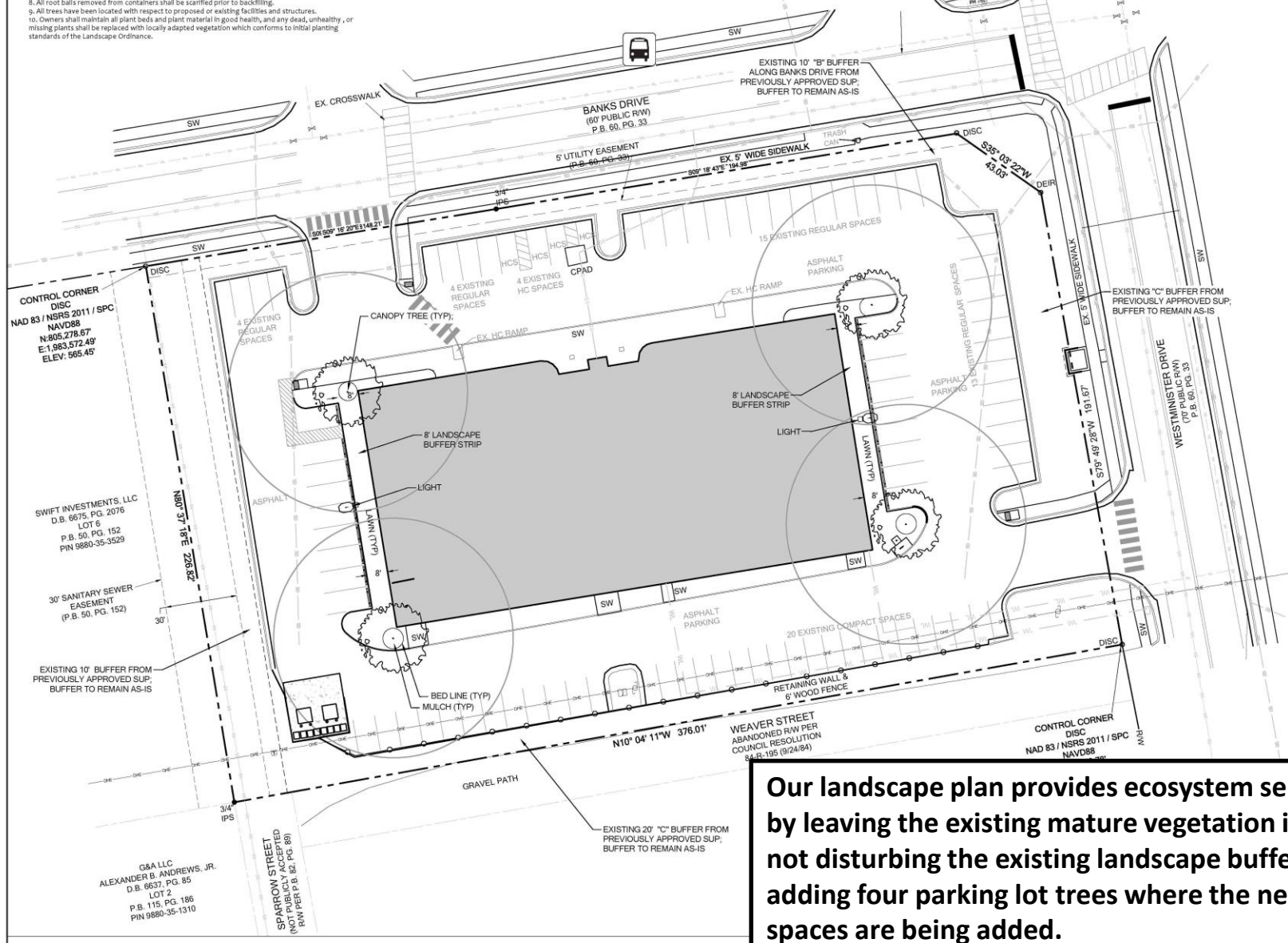
TITIA ASSOCIATES
5011 SCULPTOR DRIVE, STE. 200 - DURHAM, NC 27713
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PRELIMINARY
NOT FOR
CONSTRUCTION

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LANDSCAPE PLAN

- GENERAL PLANTING NOTES:**
1. Verification of total quantities shown in the plant list shall be the responsibility of the landscape contractor, and the total quantities shall be required on the planting plan.
 2. All trees, shrubs, and plants shall conform to the accepted standards established by the American Nursery and Landscape Association.
 3. All caucers shall be soaked with water and mulched immediately following planting.
 4. All plants shall bear the same relation to finish grade as R bore to previous existing grade.
 5. The size of all root balls shall conform to ANA standards.
 6. Fertilize all plants with Agiform fertilizer tablets or equal to be applied at manufacturers recommended rate.
 7. Cuying, if necessary, shall be removed after one (1) growing season.
 8. All root balls removed from containers shall be scanned prior to backfilling.
 9. All trees have been located with respect to proposed or existing facilities and structures.
 10. Owners shall maintain all plant beds and plant material in good health, and any dead, unhealthy, or missing plants shall be replaced with locally adapted vegetation which conforms to initial planting standards of the Landscape Ordinance.



Our landscape plan provides ecosystem service benefits by leaving the existing mature vegetation intact. We are not disturbing the existing landscape buffers and we are adding four parking lot trees where the new parking spaces are being added.



Know what's below.
Call before you dig.

REVISIONS:
2/18/2021

LANDSCAPE PLAN
TIMBERLYNE OFFICES
Chapel Hill, North Carolina

SCALE:
1" = 20'
DRAWN BY:
PMP
PROJECT #
20096
DATE:
11/30/2020
SHEET
L-3
OF

TMITLA ASSOCIATES
5011 SCOURTWAY DRIVE, STE. 200 - DURHAM, NC 27713
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PRELIMINARY
NOT FOR
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LIGHTING PLAN



Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Total Lamp Lumens LLF	
⊙	2	150 watt LED Area	SINGLE	N/A	1,800

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
site	Luminance	Fc	0.18	3.2	0.0
			Arg/Min		Max/Min
			N/A		N/A

Luminaire Location Summary		
LampNo	Label	Mounting Height
9	150 watt LED Area	25
10	150 watt LED Area	25
		103.392
		277.293



- 15'
- 20'
- 25'
- 30'
- 35'

- 50W
- 70W
- 110W
- 150W
- 220W
- 280W

POLE STYLE A



Description
 Pole Style A is a round, smooth tapered shaft available in varying heights, and is fixed or dimmable
 Colors: Bronze, Black, Gray, Green (not available in all mounting heights)
 Material: Fiberglass
 Mounting height
 Anchor Based (with concrete embed): 218, 268, 318
 Direct Based: 128, 178, 208, 258, 308, 358



#	Date	Comments

Drawn By: Tom Grantham, LC, CEM
 Checked By:
 Date: 11/20/2020
 Scale: 1" = 50'

Timberlyne
 Chapel Hill

DRAFT

4 May 2021

NOT FOR CONSTRUCTION

- PROGRESS PRINT
- HEALTH DEPT. PLAN CHECK
- BUILDING DEPT. PLAN CHECK
- BID SET
- CONSTRUCTION SET
- SUBMITTAL DOCUMENT

-
-
-
-
-
-
-
-

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PROVIDED BY THE ARCHITECT FOR THIS PROJECT ARE NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY APPROVALS FROM ALL APPLICABLE AGENCIES. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS SHALL NOT BE USED BY THE OWNER OR CONTRACTOR FOR ANY OTHER PROJECT, FOR ANY OTHER PURPOSE, OR FOR ANY OTHER PROJECT, WITHOUT THE ARCHITECT'S WRITTEN CONSENT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE SCOPE OF THE SERVICES PROVIDED BY THE ARCHITECT.

Timberlyne Medical Office Bldg Adaptive Re-Use
120 Banks Dr.
Chapel Hill, NC 27515
SCHEMATIC DESIGN

DESIGNER : -
DRAWN : -
CHECKED : -
SCALE : AS SHOWN
JOB NUMBER : 8115
SHEET TITLE

Exterior Elevations
SHEET NUMBER
A211



2 Exterior Elevation North
A211 SCALE: 1/8"=1'-0"



1 Exterior Elevation East
A211 SCALE: 1/8"=1'-0"

DRAFT

4 May 2021

NOT FOR CONSTRUCTION

- PROGRESS PRINT
- HEALTH DEPT. PLAN CHECK
- BUILDING DEPT. PLAN CHECK
- BID SET
- CONSTRUCTION SET
- SUBMITTAL DOCUMENT

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PROVIDED BY THE ARCHITECT FOR THIS PROJECT ARE NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF COMMON LAW, STATUTE AND OTHER APPLICABLE RIGHTS INCLUDING COPYRIGHT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS SHALL NOT BE USED BY THE OWNER OR CONTRACTOR ON OTHER PROJECTS, OR FOR ANY OTHER PURPOSE, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

Timberlyne Medical Office Bldg Adaptive Re-Use
120 Banks Dr.
Chapel Hill, NC 27515
SCHEMATIC DESIGN

DESIGNER : -
DRAWN : -
CHECKED : -
SCALE : AS SHOWN
JOB NUMBER : 8115
SHEET TITLE

Exterior Elevations
SHEET NUMBER
A212



2 Exterior Elevation South
A212 SCALE: 1/8"=1'-0"



1 Exterior Elevation West
A212 SCALE: 1/8"=1'-0"

DRAFT

ADVISORY BOARD COMMENTS AND RESPONSES

ESAB

- Use of permeable materials for parking areas and new sidewalk
Response: We looked into this and since we don't have a stormwater device to tie the permeable pavement into we decided it was best to use standard paving (asphalt and concrete) for the newly paved areas.
- Make the building solar ready
Response: We will make the building solar ready by providing the space for the wiring for solar panels if the owner decides to install solar panels in the future.
- More information regarding the interior planning prior to a decision
Response: Each tenant will be designing and upfitting the space prior to constructing their space so we do not have any additional information regarding interior planning at this time. This detail will be available for review during building permit submittal to the Town.
- Use the Town's Climate Action Plan as a guideline for further construction within the building.
Response: We will use the Climate Action Plan as a guideline for further construction.

TCAB

- Work with Chapel Hill Transit to include electronic digital signage to alert riders to when the next bus will arrive
Response: We will work with Chapel Hill Transit to see if this is feasible.
- Use a comfortable bench without a central divider in the bus shelter
Response: The bus shelter we are showing is the approved Town detail. We will follow the guidance and recommendation of the Town regarding what detail they would like us to use for the bus shelter.

DRAFT

Modifications to the Existing Special Use Permit:

1. Modification of the approved SUP to revise the use to medical offices. The site is currently a movie theater.
2. Shared parking agreement with the Timberlyne Shopping Center is voided because of the change of use.
3. Modification of the approved SUP to remove the requirement for 20 bicycle parking spaces. We will only require 12 bicycle parking spaces for this site.
4. Modification of the approved SUP to revise the floor area of the building from 22,724 s.f. to 19,930 s.f..
5. Modification of the approved SUP to remove reference to recombination of lots as this recombination occurred when the first SUP on this site was approved.

DRAFT

Any Questions?

Pamela Porter, PLA, LEED AP

TMTLA Associates

(919) 484-8880

pam@tmtla.com

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