

INDEPENDENT SENIOR HOUSING CHAPEL HILL

217 HOMESTEAD ROAD
CHAPEL HILL, NC 27516

TOWN OF CHAPEL HILL
SPECIAL USE PERMIT SUBMITTAL

SUBMITTED ON SEPTEMBER 27, 2017
RESUBMITTED ON JANUARY 16, 2018
RESUBMITTED ON APRIL 24, 2018
RESUBMITTED ON DEC. 26, 2018



VICINITY MAP
SCALE 1"=500'

SITE DATA	
PROJECT NAME	Independent Senior Housing Chapel Hill
SITE ADDRESS	217 HOMESTEAD ROAD CHAPEL HILL NC 27516
CITY	CHAPEL HILL
COUNTY	WILMINGTON COUNTY
PARCEL PIN #	15730000000000000000
PARCEL OWNER	WILLIAM BANISTER WOOD & VIRGINIA WOOD
PARCEL AREA	15.73 ACRES
TOTAL DISTURBED PROJECT AREA	387,084 SQUARE FEET (8.89 ACRES)
CURRENT ZONING	R2
EXISTING LAND USE	RESIDENTIAL
PROPOSED USE	AGE RESTRICTED RENTAL APARTMENTS
FLOODPLAIN	NONE
JORDAN RIVER/RAN BUFFER ZONE	NONE
WETLANDS	NONE
WATER B-E-D	JORDAN LAKE
RIVER BASH	CAVE FEAR RIVER BASH
STREAMS	NONE
CONSTRUCTION TYPE	NEW CONSTRUCTION
MIN REQUIRED STREET SETBACK (RESIDENTIAL PROPERTY LINE)	20
MIN REQUIRED SOLAR SETBACK (RESIDENTIAL PROPERTY LINE)	6
MIN REQUIRED SOLAR SETBACK (NORTH/NEIGHBOR PROPERTY LINE)	0
MAX BUILDING HEIGHT	11
MIN REQUIRED SIDE YARD SETBACK	5
EXISTING IMPERVIOUS AREA	13,405 S.F.
PROPOSED IMPERVIOUS AREA	198,940 S.F.

OVERALL PARKING SUMMARY					
PROVIDED REGULAR P20 SPACES	23	28	86	137	274
PROVIDED ADA ACCESSIBLE SPACES	3	2	3	8	16
TOTAL PARKING SPACES	26	30	90	145	290
BIKE PARKING	-	-	20	16	36
PARKING RATIO (1 BEDROOM, MULTI-FAMILY TYPE UNITS) 2.97:1	1 SPACES PER DWELLING UNIT	MIN 1.75 SPACES PER DWELLING UNIT (MAX)	1 BEDROOM (14 BEDROOMS)		
PARKING RATIO (2 BEDROOM, MULTI-FAMILY TYPE UNITS) 2.57:1	1.4 SPACES PER DWELLING UNIT	MIN 1.75 SPACES PER DWELLING UNIT (MAX)	2 BEDROOM (8 BEDROOMS)		
MIN REQUIRED (TOTAL) 1:14 = 18 + 232 SPACES	MAX REQUIRED (TOTAL) 1:14 = 141 + 289 SPACES				

APARTMENT UNIT BREAKDOWN	
111 One Bedroom Units	
84 Two Bedroom Units	
Total = 195 Dwelling Units	

UTILITIES IMPROVEMENTS QTY	
PRIVATE SEWER	600 LF
7" SEWER SERVICE	LF
PRIVATE WATER	600 LF
7" WATER MAIN	LF

SHEET #	SHEET NAME
C0.00	COVER SHEET
C1.00	EXISTING CONDITIONS PLAN
C1.01	AREA MAP
C2.00	DEVELOPMENTS PLAN
C3.00	SITE PLAN ENLARGEMENT (NORTH)
C3.01	SITE PLAN ENLARGEMENT (SOUTH)
C3.02	FUTURE RECREATIONAL PLAN
C3.40	CONSTRUCTION MANAGEMENT PLAN
C4.00	EROSION CONTROL NOTES
C4.01	EROSION CONTROL PLAN (PHASE I)
C4.02	EROSION CONTROL PLAN (PHASE II)
C4.03	EROSION CONTROL PLAN (PHASE III)
C5.00	STORMWATER MANAGEMENT PLAN (SMA)
C6.00	UTILITIES PLAN
C9.00	SITE DETAILS
C9.01	SITE DETAILS
C9.10	EROSION CONTROL DETAILS
L1.00	LANDSCAPE PROTECTION PLAN
L1.01	LANDSCAPE PROTECTION PLAN
L1.10	PLANTING PLAN
L1.11	PLANTING PLAN SCHEDULE
L2.00	LANDSCAPE DETAILS
L2.01	LANDSCAPE DETAILS
L2.02	LANDSCAPE DETAILS

APPLICANT/OWNER

CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE - GEOMATICS - GEOTECHNICAL ARCHITECTS



STEWART
1111 CHAPEL HILL DRIVE
CHAPEL HILL, NC 27516
919.886.4502

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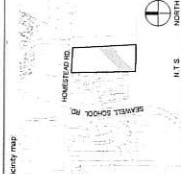
GURLITZ ARCHITECTURAL
171 S. ESTER DRIVE SUITE 100
CHAPEL HILL, NC 27516
CONTACT: NATAN HARMS
NATAN@GURLITZARCHITECTS.COM



STEWART
 PLANNING & DESIGN
 1000 W. MAIN ST. SUITE 100
 FAYETTEVILLE, NC 27034

Client:
 GLAHN2, LLC
 111 S. BENTLEY DRIVE SUITE 100
 CHAPEL HILL, NC 27514

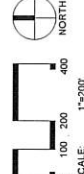
Project:
**INDEPENDENT
 SENIOR
 HOUSING
 CHAPEL HILL**



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Intend for
SUP SUBMITTAL

No.	Date	Description

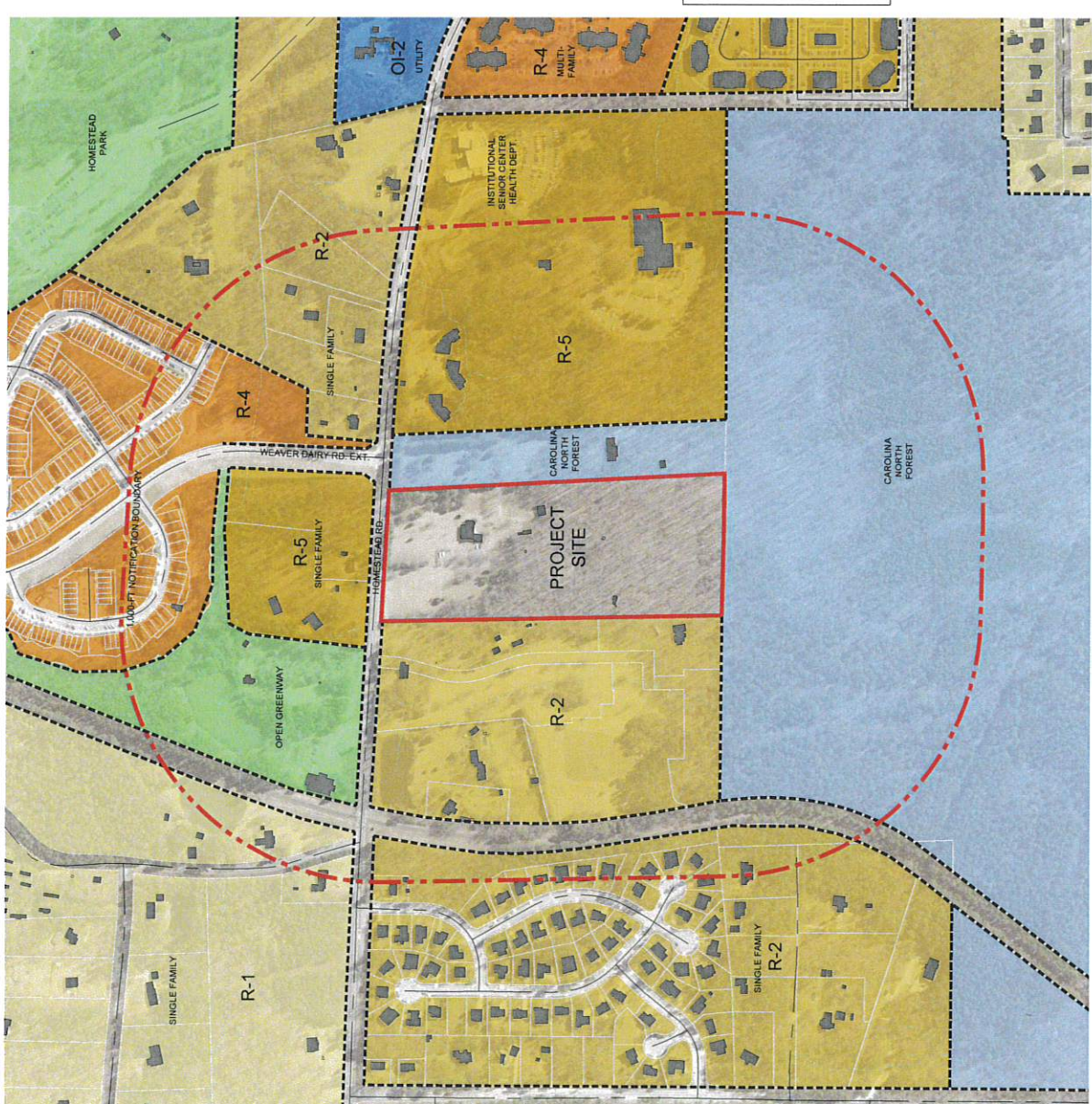


AREA MAP

Project Number: C10014 Sheet
 Date: 09.27.2017 RS
 Drawn by: ACP
 Approved by: ACP
C1.01

LEGEND

- 1000' NOTIFICATION (Red dashed line)
- PROPERTY LINES (Black dashed line)
- PERENNIAL STREAM (Blue wavy line)
- EPIHEMERAL STREAM (Light blue wavy line)
- ZONING BOUNDARY (Black dashed line)





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ARCHITECTURAL PARTNERSHIP
P.L.L.C.
1110 WEST 10TH STREET
DENVER, COLORADO 80202
PH: 303.733.0737
WWW.STEWARDARCHITECTS.COM

Client:

OLM-W2, LLC
1715 E. ENTER DRIVE SUITE 100
CHAPEL HILL, NC 27514

Project:

INDEPENDENT SENIOR HOUSING CHAPEL HILL
VIOLATION MAP

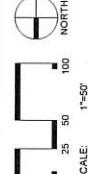
Scale:



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Submitted for
SUP SUBMITTAL

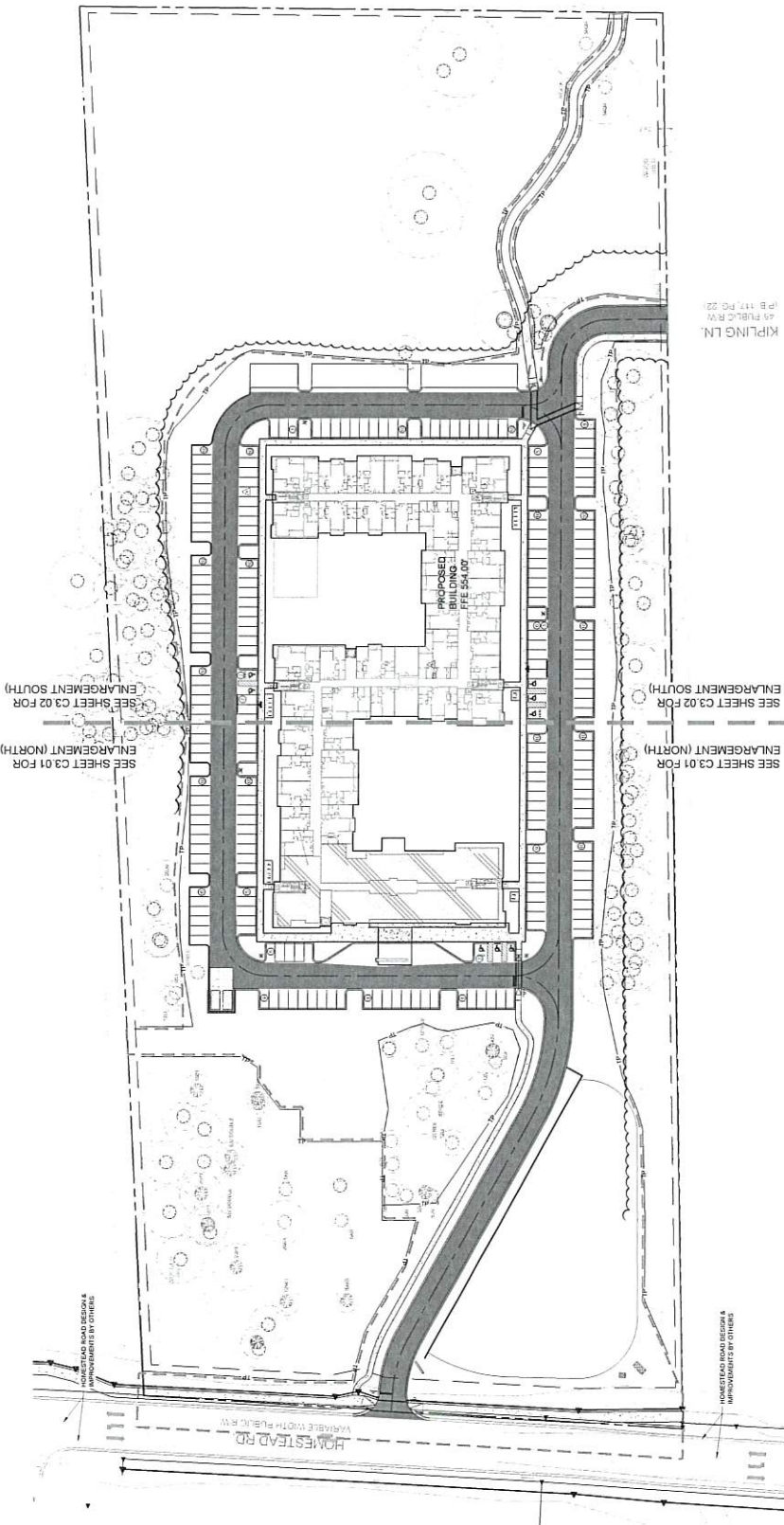
No.	Date	Description



Scale: 1"=50'

SITE PLAN

Project Number: 17-0014 - Sheet
Drawn By: SPJ/3/17
Approved By: ACP
C3.00



- GENERAL NOTES:**
- THE ACTUAL LOCATION OF ALL UTILITIES TO BE CONVEALED SHALL BE AS SHOWN ON THE UTILITIES MAPS AND NOT TO BE CONSIDERED AS A GUARANTEE OF ANY UTILITIES.
 - ALL UTILITIES UTILITIES IDENTIFIED BY THE CONTRACTOR SHALL BE KEPT OPEN AND PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. UTILITIES SHALL NOT BE RELOCATED OR DEGRADED WITHOUT THE WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
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- TOWN OF CHAPEL HILL INSPECTION NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF CHAPEL HILL AND THE STATE OF NORTH CAROLINA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF CHAPEL HILL AND THE STATE OF NORTH CAROLINA.
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- SITE NOTES:**
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- SITE LEGEND**
- PROPOSED BUILDING
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED HEAVY DUTY PAVEMENT
 - PROPOSED CURB & GUTTER
 - PROPOSED STOP BAR
 - PROPOSED WIDE STANDING CROSSWALK
 - PROPOSED ADA PARKING SPACE
 - PROPOSED CP WALK
 - PROPOSED ASPHALT THAIL
 - PROPOSED WHEEL STOP
 - PROPOSED LIGHT
 - PROPOSED BIKE RACK
 - LIMITS OF DISTURBANCE
 - FUTURE ROADWAY IMPROVEMENTS (BY OTHERS)



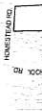
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 427 MARKET STREET, SUITE 400
 PHILADELPHIA, PA 19106
 PHONE: 215.561.1000
 FAX: 215.561.1001

CLIENT
 GMM2 LLC
 321 S. BATES DRIVE SUITE 100
 CHAPEL HILL, NC 27514

PROJECT

**INDEPENDENT
 SENIOR
 HOUSING
 CHAPEL HILL**

VELOCITY ARCH



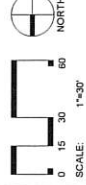
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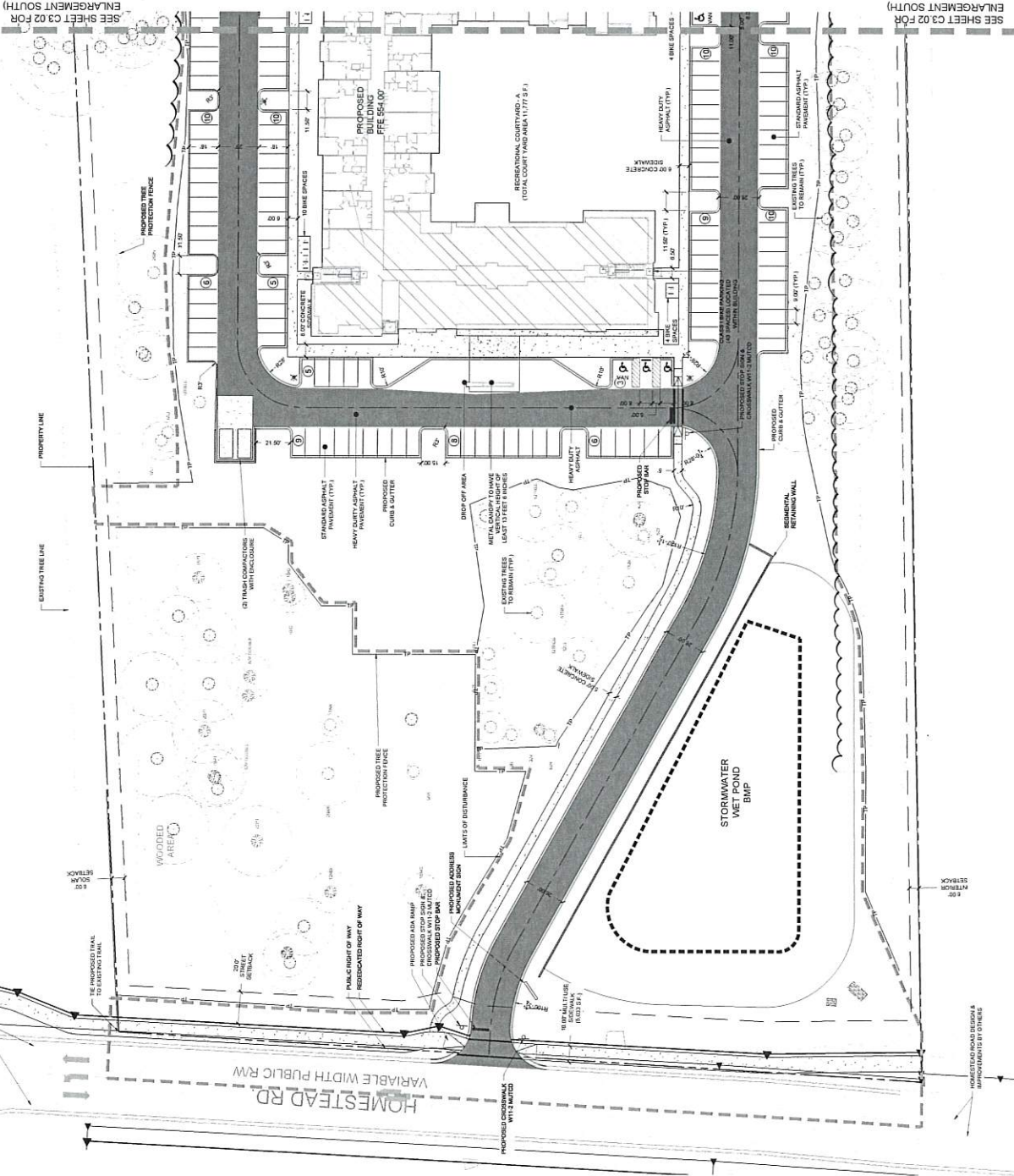
ISSUED FOR
 SUP SUBMITTAL

No. Date Description



**SITE PLAN
 ENLARGEMENT
 (NORTH)**

Project Number: C17004 - Sheet
 Date: 03/27/2018
 Drawn by: JBS
 Approved by: ACP
C3.01



- SITE LEGEND**
- PROPOSED BUILDING
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED HEAVY DUTY PAVEMENT
 - PROPOSED CURB & GUTTER
 - PROPOSED STOP BAR
 - PROPOSED 6" WIDE STANDARD CROSSWALK
 - PROPOSED SIGN
 - PROPOSED ADA PARKING SPACE
 - PROPOSED OP WALL
 - PROPOSED WHEEL STOP
 - PROPOSED ASPHALT TRAIL
 - PROPOSED LIGHT
 - PROPOSED BIKE RACK
 - LIMITS OF DISTURBANCE
 - FUTURE ROADWAY IMPROVEMENTS (BY OTHERS)

NOTES:
 1. SEE SHEET C3.00 FOR GENERAL AND SITE NOTES

SEE SHEET C3.02 FOR
 ENLARGEMENT SOUTH

SEE SHEET C3.02 FOR
 ENLARGEMENT SOUTH

HOMESTEAD ROAD DESIGN &
 IMPROVEMENTS BY OTHERS

HOMESTEAD ROAD DESIGN &
 IMPROVEMENTS BY OTHERS



Client: GIMAZ, LLC
171 S. ESTERES DRIVE SUITE 100
CHAPEL HILL, NC 27514

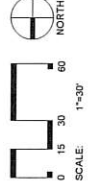
Project: **INDEPENDENT SENIOR HOUSING CHAPEL HILL**



Issued for: **PRELIMINARY - DO NOT USE FOR CONSTRUCTION**

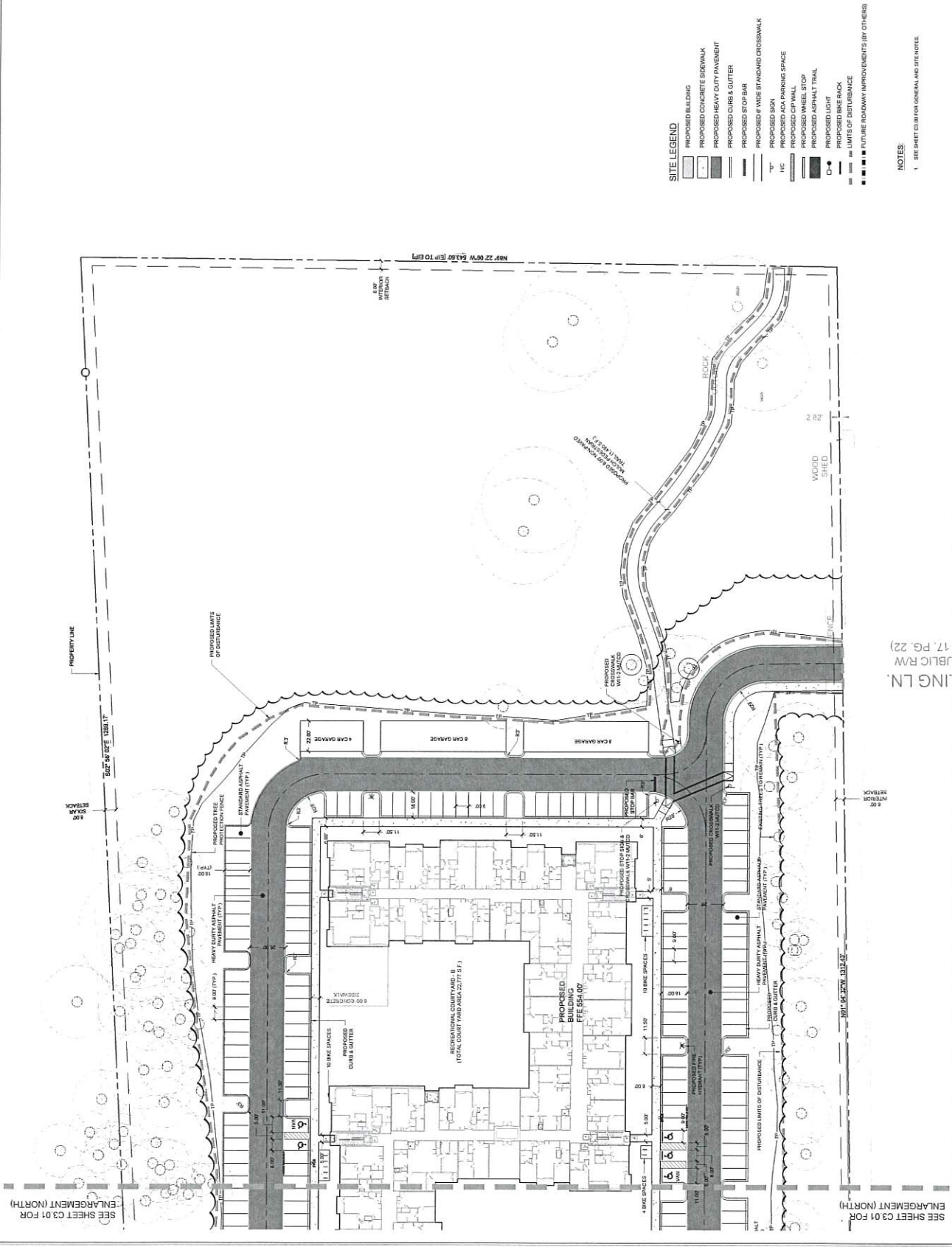
SUP SUBMITTAL

No.	Date	Description



SITE PLAN ENLARGEMENT (SOUTH)

Project number: C17004 Sheet
Drawn by: BS
Approved by: ACP **C3.02**



- SITE LEGEND**
- PROPOSED BUILDING
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED HEAVY DUTY PAVEMENT
 - PROPOSED CURB & GUTTER
 - PROPOSED STOP BAR
 - PROPOSED 6" WISE STANDARD CROSSWALK
 - PROPOSED SIGN
 - PROPOSED ADA PARKING SPACE
 - PROPOSED OP WALL
 - PROPOSED WHEEL STOP
 - PROPOSED ASPHALT TRAIL
 - PROPOSED LIGHT
 - PROPOSED BIKE RACK
 - LIMITS OF DISTURBANCE
 - FUTURE ROADWAY IMPROVEMENTS (BY OTHERS)

NOTES:
1. SEE SHEET C17004 FOR GENERAL AND SITE NOTES.

SEE SHEET C3.01 FOR ENLARGEMENT (NORTH)

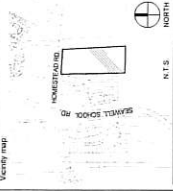
SEE SHEET C3.01 FOR ENLARGEMENT (NORTH)

JING LN.
JBLIC RW
17, PG. 22)



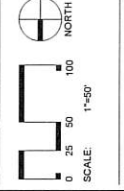
Client
 CLANK 2, LLC
 121 S. ETTES DRIVE SUITE 100
 CHAPEL HILL, NC 27514

Project
INDEPENDENT SENIOR HOUSING CHAPEL HILL



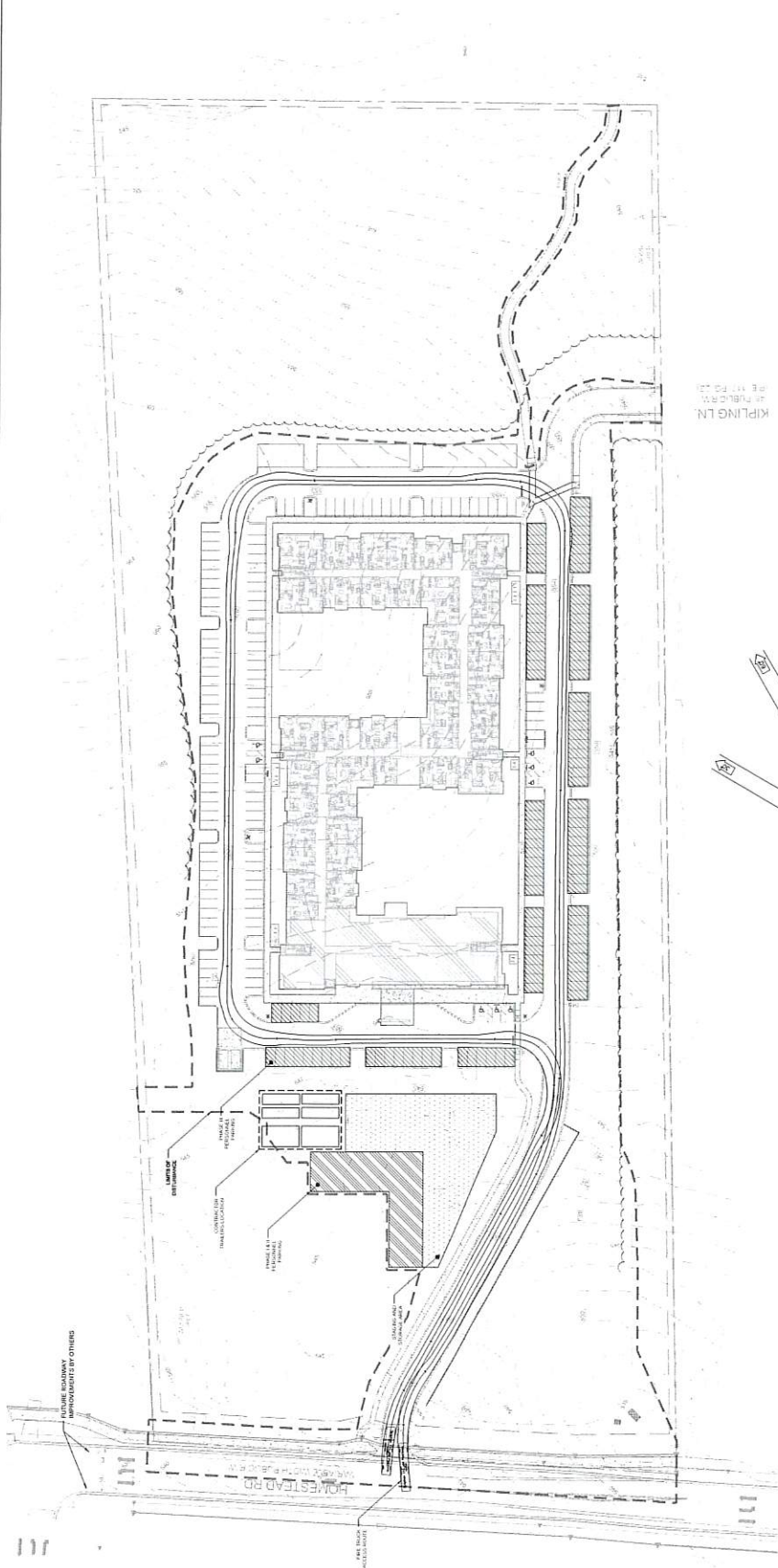
Prepared for
PRELIMINARY - DO NOT USE FOR CONSTRUCTION
 SUP SUBMITTAL

No.	Date	Description



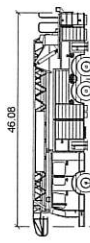
Title
CONSTRUCTION MANAGEMENT PLAN

Project Number: C17704 Sheet
 Date: 03/27/2018
 Drawn by: JAS
 Approved by: ACP
C3.40



- SITE LEGEND**
- PROPOSED BUILDING
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED BRICK SIDEWALK
 - PROPOSED HEAVY DUTY PAVEMENT
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED GRAVEL
 - PROPOSED CURB & GUTTER
 - PROPOSED STOP BAR
 - PROPOSED CROSSWALK
 - PROPOSED WIDE STANDARD CROSSWALK
 - PROPOSED WIDE HIGH VISIBILITY CROSSWALK
 - PROPOSED SIGN
 - PROPOSED ADA PARKING SPACE
 - PROPOSED KEYSTONE WALL
 - PROPOSED CURB WALL
 - PROPOSED WHEEL STOP
 - PROPOSED GRAVEL TRAIL
 - PROPOSED ASPHALT TRAIL
 - PROPOSED TREE LINE
 - PROPOSED VEHICLE GATE (X' WIDE)
 - PROPOSED TRANSFORMER
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED BRICK
 - PROPOSED BOLLARD
 - PROPOSED PEDESTRIAN STEEL PLATE
 - PROPOSED ADA APPOINTMENT UNIT
 - LIMIT OF DISTURBANCE

KLING STUBBINS
 1000 KIPPLING LN.
 CHAPEL HILL, NC 27514



Supphen 110 MM Platform
 Width: 8.00
 Track: 8.00
 Unit to Lock Time: 25.5
 Steering Angle: 25.5



STEWART
 ARCHITECTURAL & ENGINEERING
 17101 W. 10TH AVE. SUITE 400
 DENVER, CO 80242

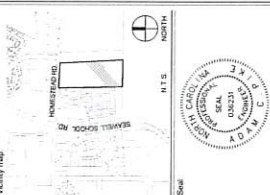
Client

QIAN-2 LLC
 1376 ENTER DRIVE SUITE 100
 CHAPEL HILL, NC 27614

Project

INDEPENDENT SENIOR HOUSING CHAPEL HILL

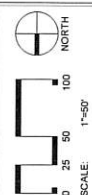
Vegety map



PRELIMINARY - DO NOT USE FOR CONSTRUCTION

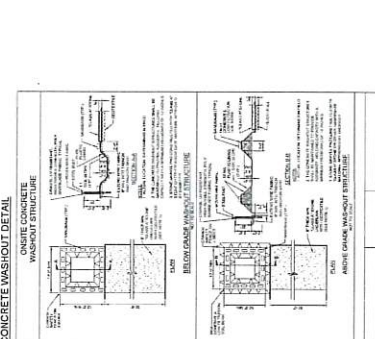
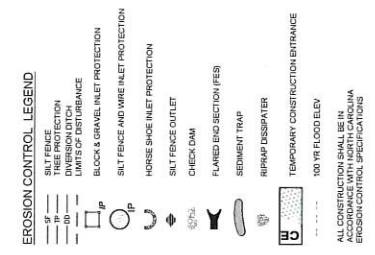
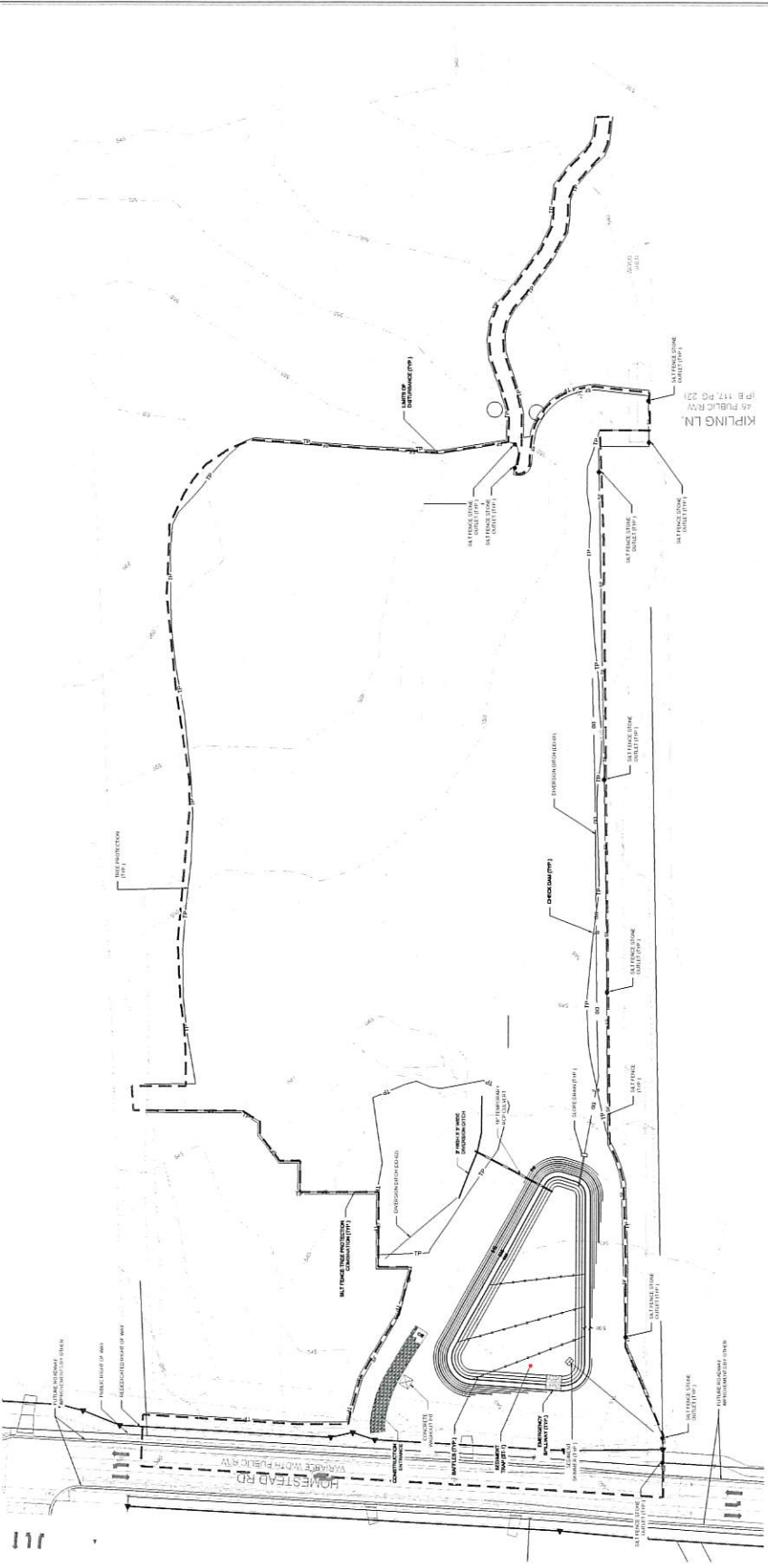
Issued for
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No.	Date	Description



EROSION CONTROL PLAN (PHASE I)

Project number: C77004 - Sheet
 of 15
 Drawn by: RSC/CS
 Approved by: ACP
C4.01



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE EROSION CONTROL SPECIFICATIONS



STEWART
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 401 W. MAIN ST., SUITE 100
 CHARLOTTE, NC 28202
 TEL: 704.375.2100

Client:

GLM-2, LLC
 131 S. LEBES DRIVE SUITE 100
 CHARLOTTE, NC 28204

Project:

**INDEPENDENT
 SENIOR
 HOUSING
 CHAPEL HILL**

Vicinity map:



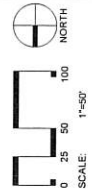
Scale: N.T.S. NORTH



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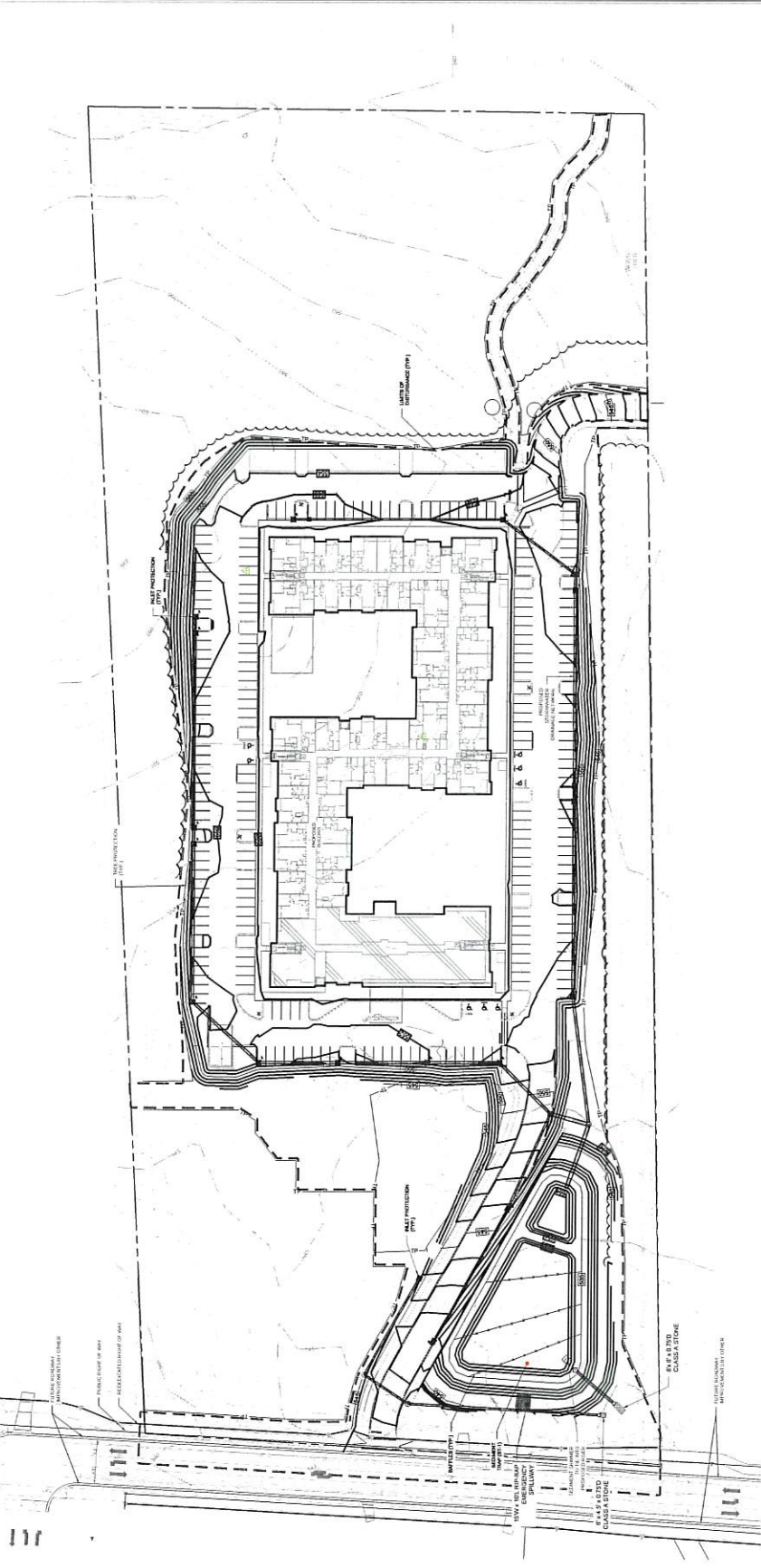
No.	Date	Description



Title:

**EROSION CONTROL
 PLAN (PHASE III)**

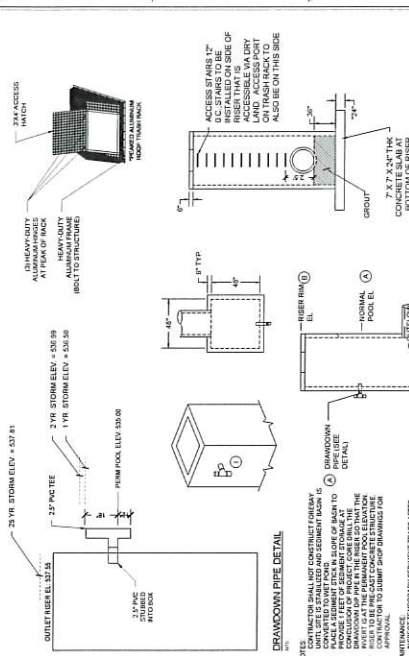
Project Number: C17056 - Sheet
 Date: 08/27/2017
 Drawn by: RES/DC
 Approved by: ACP
C4.03



EROSION CONTROL LEGEND

- S- SILT FENCE
- TF- TREE PROTECTION
- D- DIMENSION LITCH
- SD- SLOPE STABILIZATION
- IP- BLOCK & GRAVEL INLET PROTECTION
- CP- SILT FENCE AND WIRE INLET PROTECTION
- H- HORSE SHOE INLET PROTECTION
- SO- SILT FENCE OUTLET
- CD- CHECK DAM
- FE- FLARED END SECTION (FES)
- ST- SEDIMENT TRAP
- RD- RIPRAP DISSIPATER
- TB- TEMPORARY CONSTRUCTION ENTRANCE
- 100- 100 YR FLOOD ELEV.

ALL CONSTRUCTION SHALL BE IN
 ACCORDANCE WITH THE LATEST
 EROSION CONTROL SPECIFICATIONS



- NOTES:**
- CONTRACTOR SHALL NOT CONTRACT FERRY... (text continues)
 - CONTRACTOR SHALL NOT CONTRACT FERRY... (text continues)
 - CONTRACTOR SHALL NOT CONTRACT FERRY... (text continues)
 - CONTRACTOR SHALL NOT CONTRACT FERRY... (text continues)

POND OUTLET STRUCTURE NOTES:

- OUTLET BERM SHALL BE CONSTRUCTED... (text continues)
- OUTLET BERM SHALL BE CONSTRUCTED... (text continues)
- OUTLET BERM SHALL BE CONSTRUCTED... (text continues)
- OUTLET BERM SHALL BE CONSTRUCTED... (text continues)

POND AND DAM SAFETY STATEMENT

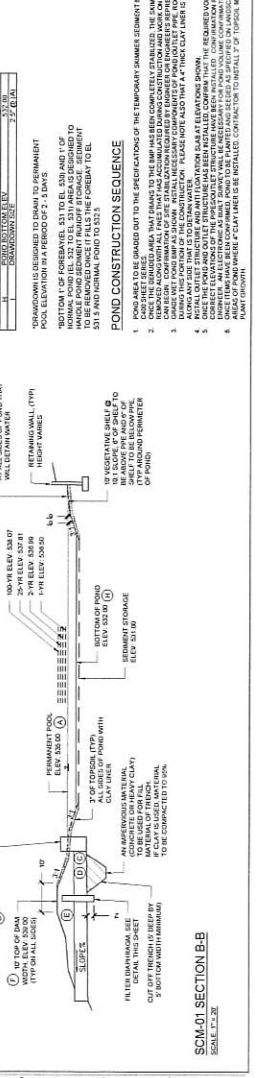
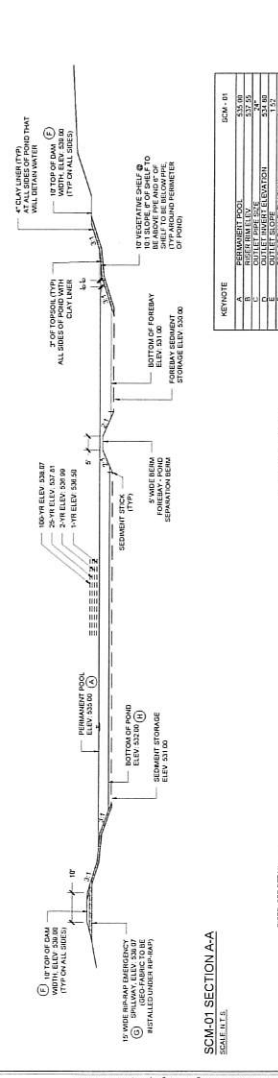
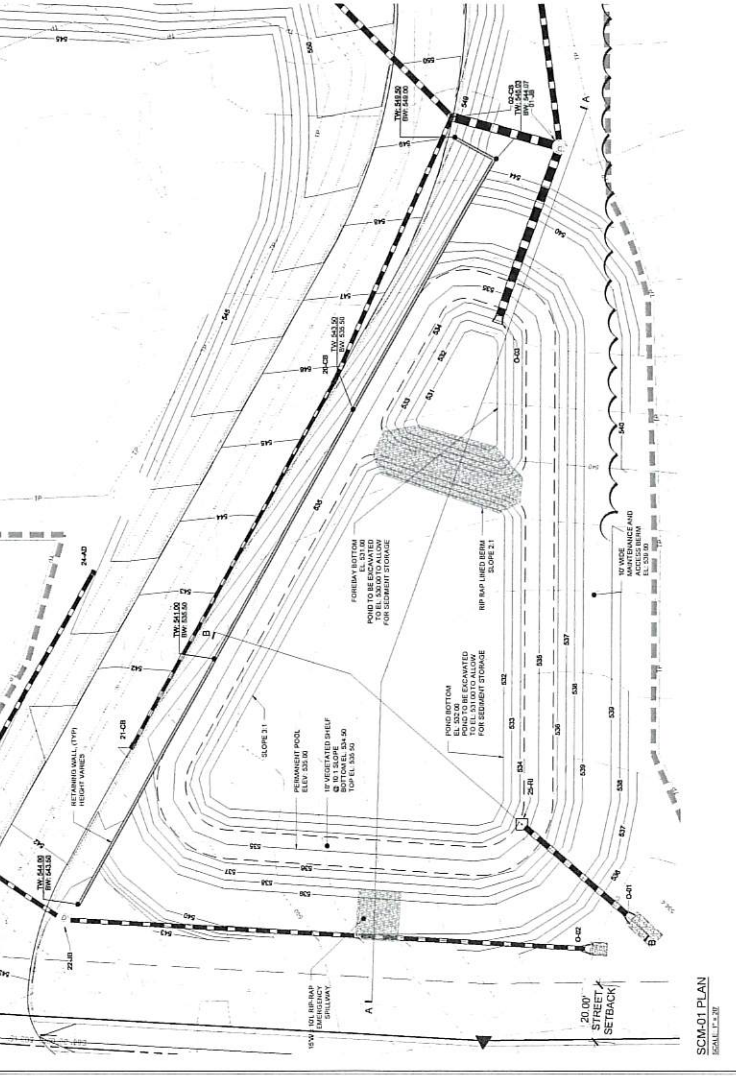
THE STORMWATER POND AND DAM... (text continues)

BERM SOIL AND COMPACTION SPECIFICATIONS

- ALL SOILS FOR BERM... (text continues)
- ALL SOILS FOR BERM... (text continues)
- ALL SOILS FOR BERM... (text continues)
- ALL SOILS FOR BERM... (text continues)

SHEET NOTES

- ALL CONSTRUCTION METHODS... (text continues)
- ALL CONSTRUCTION METHODS... (text continues)
- ALL CONSTRUCTION METHODS... (text continues)
- ALL CONSTRUCTION METHODS... (text continues)



REMARK	DATE
REVISED PER PLAN ROOM...	01/20/20
REVISED PER PLAN ROOM...	01/20/20
REVISED PER PLAN ROOM...	01/20/20
REVISED PER PLAN ROOM...	01/20/20

POND CONSTRUCTION SEQUENCE

- POUND AREA TO BE GRADED... (text continues)
- CONSTRUCT BERM... (text continues)
- CONSTRUCT FOREBAY... (text continues)
- CONSTRUCT FOREBAY... (text continues)
- CONSTRUCT FOREBAY... (text continues)



STEWART
 ALLIANCE PARTNERSHIP
 1000 W. BROADWAY, SUITE 100
 CHARLOTTE, NC 28202

Client
 GUMZ, LLC
 1000 W. BROADWAY, SUITE 100
 CHARLOTTE, NC 28202

Project
**INDEPENDENT
 SENIOR
 HOUSING
 CHAPEL HILL**

Utility map



PRELIMINARY - DO NOT
 USE FOR CONSTRUCTION

SUP SUBMITTAL

No.	Date	Description

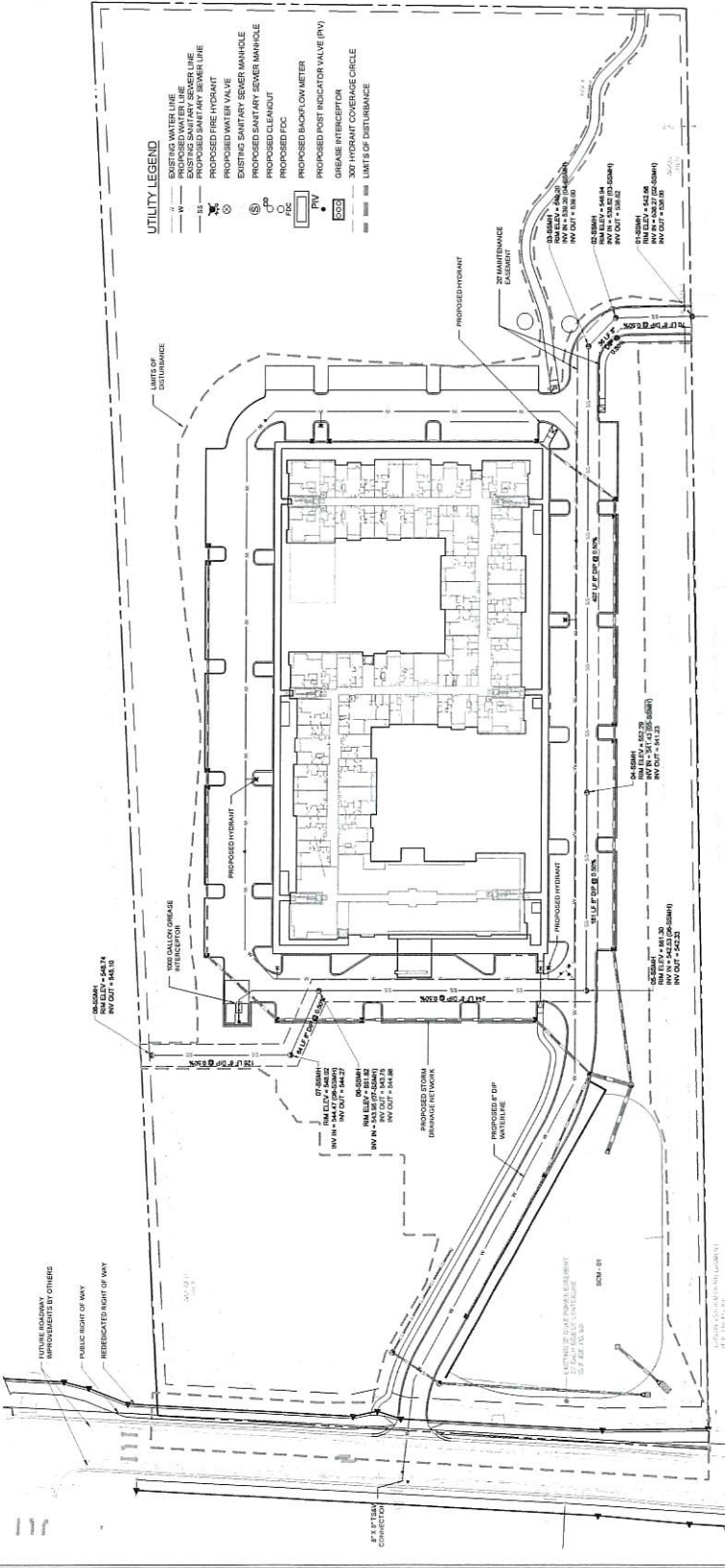


SCALE: 1"=50'

UTILITIES PLAN

Project Number: C17004 - Sheet
 Date: 09/12/2017
 Drawn by: DCBERS
 Approved by: ACP

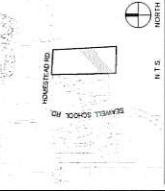
C6.00



UTILITY LEGEND

- EXISTING WATERLINE
- EXISTING SANITARY SEWER LINE
- PROPOSED FIRE HOSELINE
- PROPOSED FIRE HOSELINE
- EXISTING WATER VALVE
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED CLEANOUT
- PROPOSED FDC
- PROPOSED BACKFLOW METER
- PROPOSED POST INDICATOR VALVE (PIV)
- GRADE INTERSECTION
- 300 HYDRANT COVERAGE CIRCLE
- LIMITS OF DISTURBANCE

- UTILITY NOTES:**
- REFER TO SHEET C6.01 FOR GENERAL NOTES
 - UNLESS OTHERWISE NOTED, ALL MANHOLES SHALL BE PRE-CAST
 - THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF UNDERGROUND UTILITIES (WATER, SEWER, STORM, ELECTRICAL, GAS, AND TELEPHONE) WITH THE LOCAL UTILITY COMPANIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND CONNECTION OF ALL UTILITIES TO THE BUILDING.
 - THE CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS ON THE SITE TO AVOID CONFLICTS AND TO MAINTAIN THE SMOOTH TRANSITION BETWEEN DISCIPLINES.
 - THE CONTRACTOR SHALL COORDINATE WITH ALL RESIDENTIAL AND COMMERCIAL UTILITY COMPANIES TO OBTAIN NECESSARY PERMITS AND TO SCHEDULE WORK AT LEAST 72 HOURS PRIOR TO BEGINNING WORK.
 - THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK UNLESS THE APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND ALL APPLICABLE PERMITS AND ORDINANCES HAVE BEEN OBTAINED AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES DURING ALL WORK UNDER THE PUBLIC RIGHT-OF-WAY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES DURING ALL WORK UNDER THE PUBLIC RIGHT-OF-WAY.
 - ALL UTILITIES SHALL BE IDENTIFIED ON THE LOCATION BASED ON SURVEY INFORMATION OBTAINED FROM FIELD WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES DURING ALL WORK UNDER THE PUBLIC RIGHT-OF-WAY.
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 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES DURING ALL WORK UNDER THE PUBLIC RIGHT-OF-WAY.
- SEWER NOTES:**
- SANITARY SEWER CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY CLEANOUTS.
 - UNLESS OTHERWISE NOTED, ALL SANITARY SEWER MANHOLES ARE 30" DIA.
 - MANHOLES LOCATED IN PAVEMENT, CONCRETE OR OTHER TRAFFIC AREAS SHALL BE SET AT GRADE MANHOLES LOCATED IN OTHER AREAS (E.G. GRASS OR WOODED AREAS) SHALL BE SET 18" ABOVE FINISHED GRADE. MANHOLES LOCATED IN STREET AREAS SHALL BE SET TO ALLOW FOR WATER PENETRATION SHALL HAVE A MINIMUM REQUIRED COVER OF 18" ABOVE FINISHED GRADE.
 - MINIMUM REQUIRED COVER OF 18" ABOVE FINISHED GRADE.
 - SEWER SERVICE SHALL BE 12" DIA. UNLESS OTHERWISE NOTED, LOCATE SANITARY SEWER CLEANOUTS AT ALL MANHOLES AND LOCATE THEM AT LEAST 18" ABOVE FINISHED GRADE.
 - SEWER SERVICE SHALL BE 12" DIA. UNLESS OTHERWISE NOTED, LOCATE SANITARY SEWER CLEANOUTS AT ALL MANHOLES AND LOCATE THEM AT LEAST 18" ABOVE FINISHED GRADE.
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- PROPOSED UTILITY SEPARATION:**
- WATER MAINS SHALL BE Laid AT LEAST 18" BELOW HORIZONTALLY FROM SEWER MAINS.
 - SEWER MAINS SHALL BE Laid AT LEAST 18" BELOW HORIZONTALLY FROM WATER MAINS.
 - SEWER MAINS SHALL BE Laid AT LEAST 18" BELOW HORIZONTALLY FROM WATER MAINS.
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 - SEWER MAINS SHALL BE Laid AT LEAST 18" BELOW HORIZONTALLY FROM WATER MAINS.
- SEPARATION OF SANITARY SEWERS AND STORM SEWERS:**
- SANITARY SEWERS SHALL BE Laid AT LEAST 18" BELOW STORM SEWERS.
 - SANITARY SEWERS SHALL BE Laid AT LEAST 18" BELOW STORM SEWERS.
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- FIRE DEPARTMENT ACCESS NOTES:**
- ALL MANHOLES SHALL BE IDENTIFIED TO LOCAL JURISDICTIONS.
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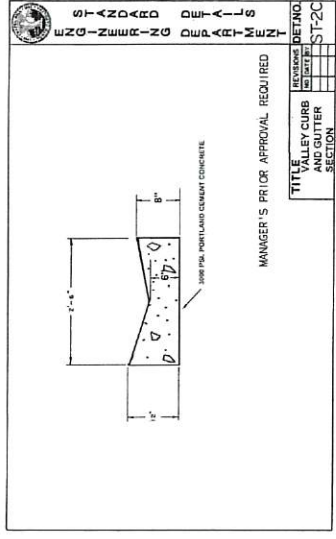


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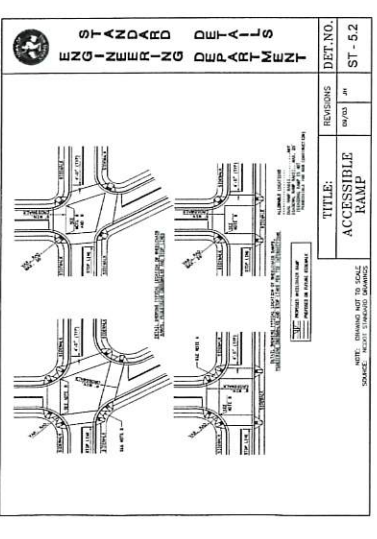
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Title

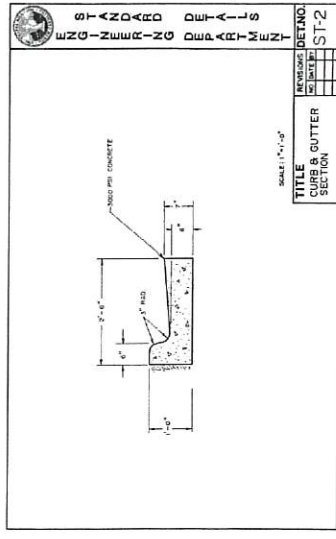
SITE DETAILS



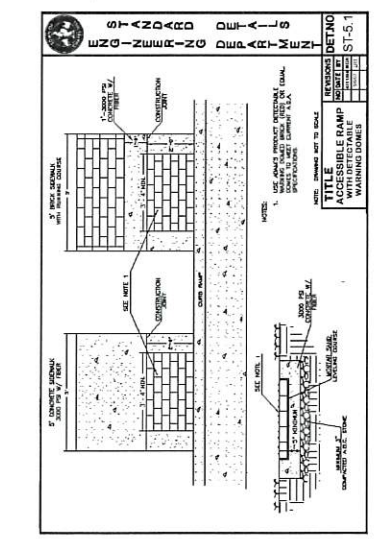
3 VALLEY CURB & GUTTER SECTION NTS



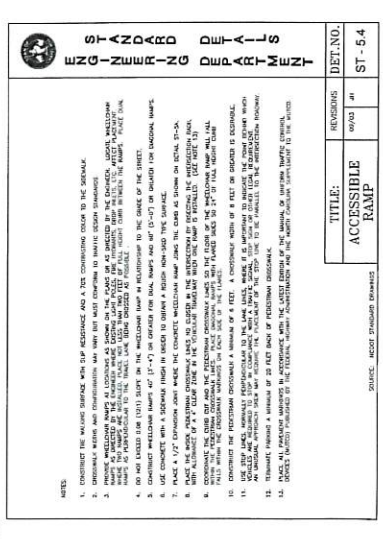
6 ACCESSIBLE RAMP DETAIL (PART 2) NTS



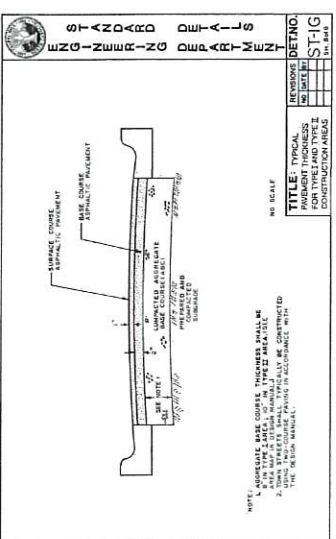
2 CURB & GUTTER SECTION NTS



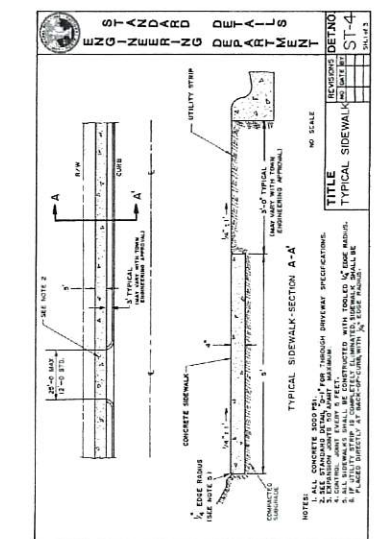
5 ACCESSIBLE RAMP DETAIL (PART 1) NTS



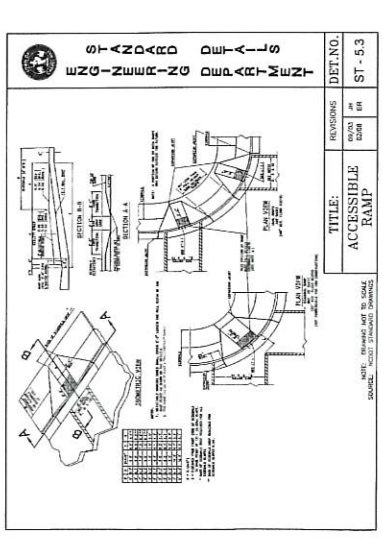
8 ACCESSIBLE RAMP DETAIL (PART 4) NTS



1 TYPICAL PAVEMENT SECTION NTS



4 TYPICAL SIDEWALK DETAIL NTS



7 ACCESSIBLE RAMP DETAIL (PART 3) NTS



STEWART
 ENGINEERING
 411 PARKWAY EAST, SUITE 400 FARMHOUSE & COUNTRY
 27017-2000 WASHINGTON, NC

CLIENT
 CLARK 2, LLC
 101 E EGGS DRIVE SUITE 100
 CHAPEL HILL, NC 27514

**INDEPENDENT
 SENIOR
 HOUSING
 CHAPEL HILL**



Project: _____
 Scale: N.T.S.
 Date: _____
 Drawn by: _____
 Checked by: _____
 Issue for: SUP SUBMITTAL
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SCALE: N.T.S.
 TITLE: SITE DETAILS

Project Number: C17004 - Sheet
 Date: 09/27/2018
 Drawn by: ACP
 Approved by: ACP
C9.01

STANDARD DETAILS
 ENO-ZWUR-NG DEKLART-MEZY

HEIGHTS AND LOCATIONS OF SIGNS FOR TYPICAL INSTALLATIONS

NO SCALE
TITLE
 TYPICAL SIGN
 INSTALLATIONS
REVISIONS
 NO. DATE BY
 1 01/11/18 ACP
DETNO.
 ST-12

3 TYPICAL SIGN INSTALLATIONS DETAIL N.T.S.

NO SCALE
TITLE
 INVERTED U BIKE RACK WITH CROSS BRACE DETAIL
REVISIONS
 NO. DATE BY
 1 01/11/18 ACP
DETNO.
 P-2

6 INVERTED U BIKE RACK WITH CROSS BRACE DETAIL N.T.S.

STANDARD DETAILS
 ENO-ZWUR-NG DEKLART-MEZY

NO SCALE
TITLE
 CONCRETE
 ISLAND
REVISIONS
 NO. DATE BY
 1 01/11/18 ACP
DETNO.
 ST-11

2 CONCRETE ISLAND DETAIL N.T.S.

STANDARD DETAILS
 ENO-ZWUR-NG DEKLART-MEZY

NO SCALE
TITLE
 TYPICAL 90° LOT
 LAYOUT
REVISIONS
 NO. DATE BY
 1 01/11/18 ACP
DETNO.
 P-2

5 TYPICAL 90° PARKING LOT LAYOUT N.T.S.

STANDARD DETAILS
 ENO-ZWUR-NG DEKLART-MEZY

NO SCALE
TITLE
 INTEGRAL CONCRETE
 PAVEMENT SECTION
 FOR BUS STOPS
REVISIONS
 NO. DATE BY
 1 01/11/18 ACP
DETNO.
 ST-9

1 INTEGRAL CONCRETE PAVEMENT SECTION FOR BUS STOPS N.T.S.

STANDARD DETAILS
 ENO-ZWUR-NG DEKLART-MEZY

NO SCALE
TITLE
 LOT LAYOUT
 SCHEDULE
REVISIONS
 NO. DATE BY
 1 01/11/18 ACP
DETNO.
 P-1

A. STRONGER AUTOMOBILES						
A	B	C	D	E	F	G
0'	8.0'	10.0'	12.0'	14.0'	16.0'	18.0'
0'	8.0'	10.0'	12.0'	14.0'	16.0'	18.0'
0'	8.0'	10.0'	12.0'	14.0'	16.0'	18.0'
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0'	8.0'	10.0'	12.0'	14.0'	16.0'	18.0'

4 PARKING LOT LAYOUT SCHEDULE N.T.S.



STEWART
4245 HAVESVILLE RD. SUITE 400 FARMINGTON, CT 06030
TEL: 860.274.0000 FAX: 860.274.0001

Client
GRANLZ LLC
121 S BETES DRIVE SUITE 100
CHAPEL HILL, NC 27514

Project
INDEPENDENT SENIOR HOUSING CHAPEL HILL
VOLUME TWO

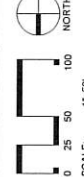


Scale
1" = 50'

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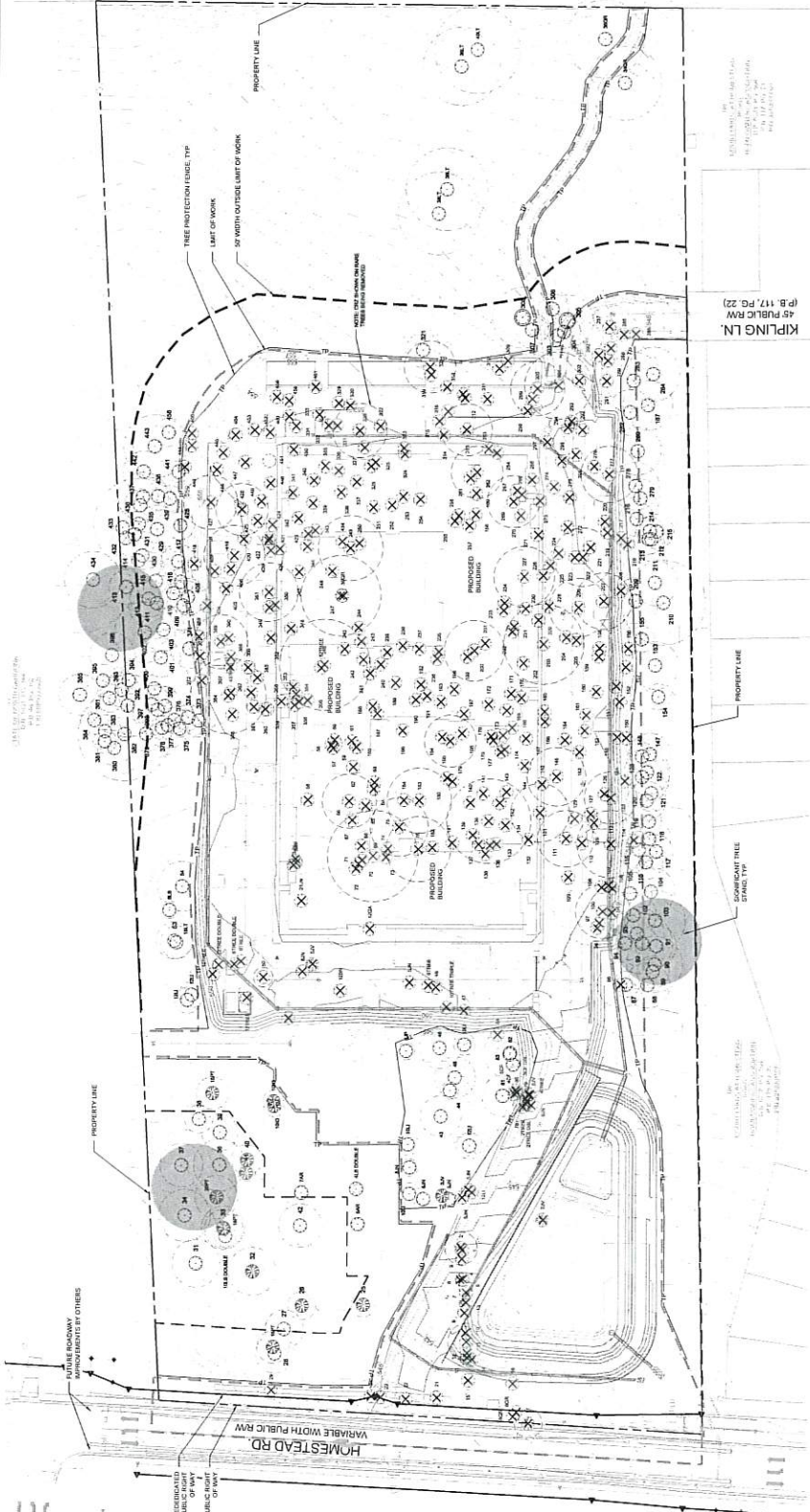
Submitted for
SUP SUBMITTAL

No. Date Description



LANDSCAPE PROTECTION PLAN

Project number: CT17014
Sheet: 1 OF 3
Drawn by: CM
Approved by: CM
L1.00



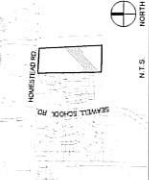
- LEGEND**
- X RARE AND SPECIMEN TREES PROPOSED TO BE REMOVED
 - RARE OR SPECIMEN TREES TO BE PROTECTED
 - LIMIT OF WORK
 - 50' WIDTH TREE PROTECTION FENCE
 - TREE PROTECTION FENCE
 - SIGNIFICANT TREE STAND
 - RARE OR SPECIMEN TREE TO BE REMOVED
 - RARE OR SPECIMEN TREE TO BE PROTECTED
 - NON-RARE OR SPECIMEN TREE
- NOTE:**
SEE SHEET L1.01 FOR TREE SPECIES LIST AND ALL TREES BEING REMOVED.
- LANDSCAPING PROTECTION NOTES:**
- THE CONTRACTOR SHALL MAINTAIN THE EXISTING LANDSCAPE AND PROTECT ALL EXISTING TREES AND PLANTS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING LANDSCAPE AND PROTECT ALL EXISTING TREES AND PLANTS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING LANDSCAPE AND PROTECT ALL EXISTING TREES AND PLANTS.
 - THE CONTRACTOR SHALL MAINTAIN THE EXISTING LANDSCAPE AND PROTECT ALL EXISTING TREES AND PLANTS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING LANDSCAPE AND PROTECT ALL EXISTING TREES AND PLANTS. THE CONTRACTOR SHALL MAINTAIN THE EXISTING LANDSCAPE AND PROTECT ALL EXISTING TREES AND PLANTS.
- EXISTING TREE CANOPY CALCULATIONS**
- PROPOSED TOTAL CANOPY AREA: 39 AC
 - PROPOSED REMOVAL CANOPY AREA: 11 AC
 - ACTIVE CANOPY AREA (AFTER REMOVAL): 28 AC
 - EXISTING CANOPY COVERAGE: 22 AC (69%)
 - PROPOSED CANOPY COVERAGE: 28 AC (69%)
 - PROPOSED CANOPY COVERAGE: 28 AC (69%)
 - PROPOSED CANOPY COVERAGE: 28 AC (69%)
 - PROPOSED CANOPY COVERAGE: 28 AC (69%)
- LANDSCAPING PROTECTION NOTES:**
- ALL LANDSCAPING PROTECTION SUPERVISORS WHO ARE REGISTERED WITH THE FOLLOWING ACTIVITIES: FERTILIZER APPLICATION, PEST CONTROL, PLANTING, PRUNING, TRIMMING, BURNING, AND MAINTENANCE OF PROTECTION FENCES AND THE EXISTING LANDSCAPE AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.
 - PROTECTION FENCES SHALL BE INSTALLED TO PROTECT TREES TO REMAIN FROM CONSTRUCTION ACTIVITIES. THE FENCES SHALL BE INSTALLED TO PROTECT TREES TO REMAIN FROM CONSTRUCTION ACTIVITIES. THE FENCES SHALL BE INSTALLED TO PROTECT TREES TO REMAIN FROM CONSTRUCTION ACTIVITIES.
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- LANDSCAPE PROTECTION NOTES:**
- ALL LARGE CONCENTRATIONS OF GRAVEL DEBRIS REGARDLESS OF SIZE ARE TO BE REMOVED PRIOR TO SODDING OR PLANTING.
 - ALL PLANT BEDS ARE TO RECEIVE A MINIMUM OF 6" OF APPROVED TOPSOIL.
 - SOIL SHOULD BE TESTED AND AMENDED WITH USE AND FERTILIZER FOR NUTRIENT LEVELS AS REQUIRED. CONSULT LANDSCAPE ARCHITECT FOR FERTILIZER RECOMMENDATIONS.
 - DRY-SPREAD HANDED MULCH TO BE USED EXCEPT AT CROWN OF PLANT UNLESS OTHERWISE SPECIFIED. MULCH SHALL BE APPLIED TO A DEPTH OF 2" TO 4" OVER THE ENTIRE SURFACE OF THE SOIL TO A MINIMUM OF 100% OF THE SURFACE AREA.
 - USE STANDARD "WATER" BASED FERTILIZERS IN AREAS NOT UNDER YEARLY MAINTENANCE OR AS DIRECTED BY GROUND MAINTENANCE.
 - USE "NO-BURN" OR EQUIVALENT ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. FOR AREAS NOT UNDER MAINTENANCE, RECOMMENDATIONS FOR AREAS NOT UNDER MAINTENANCE MUST BE ON FILE PRIOR TO REQUEST FOR A CONTRACTUAL OF CONTRACT.
 - TOP OF ROOTBALL TO BE MAINTAINED 2 INCHES ABOVE EXISTING GRADE.
 - TOP OF ROOTBALL TO BE MAINTAINED 2 INCHES ABOVE EXISTING GRADE.
 - CONSTRUCTION OF PROTECTION FENCES SHALL BE INSTALLED TO PROTECT TREES TO REMAIN FROM CONSTRUCTION ACTIVITIES. THE FENCES SHALL BE INSTALLED TO PROTECT TREES TO REMAIN FROM CONSTRUCTION ACTIVITIES. THE FENCES SHALL BE INSTALLED TO PROTECT TREES TO REMAIN FROM CONSTRUCTION ACTIVITIES.
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STEWART
41 PARKVIEW BLVD. SUITE 100
FARMHOUSE & COTTAGE
7711 W. BRIDGEWAY
DURHAM, NC 27704

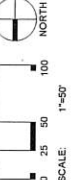
CHART
CMM 2 LLC
1212 ESTATES DRIVE SUITE 100
CHAPEL HILL, NC 27514

INDEPENDENT SENIOR HOUSING CHAPEL HILL



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Table with 2 columns: No, Description



LANDSCAPE PROTECTION PLAN

Project Number: CTD04 Sheet: 08 of 27
Drawn by: BCS
Approved by: CDM
Scale: 1"=50'

Main table with 4 columns: Station, Description, Quantity, and Material. Contains detailed list of plants and trees for the landscape protection plan.

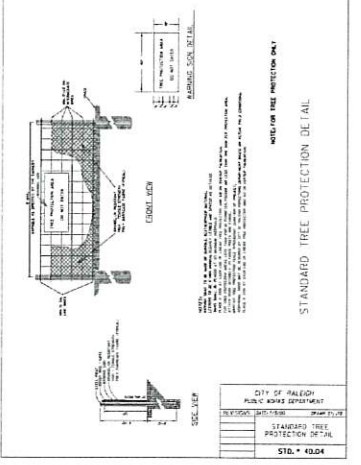


Table with 4 columns: Station, Description, Quantity, and Material. Continuation of the main table, listing various plant species and their quantities.

Table with 4 columns: Station, Description, Quantity, and Material. Continuation of the main table, listing various plant species and their quantities.



STEWART
 AN AFFILIATE OF STANTEC INC. PROFESSIONAL & CIVIL
 1750 MAIN STREET, SUITE 400
 CHAPEL HILL, NC 27614

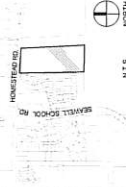
Client

OLM-2 LLC
 1275 E. ESTATE DRIVE SUITE 100
 CHAPEL HILL, NC 27614

Project

**INDEPENDENT
 SENIOR
 HOUSING
 CHAPEL HILL**

Vertical view



Scale

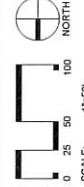


Issued for
**PRELIMINARY - DO NOT
 USE FOR CONSTRUCTION**

SUP SUBMITTAL

No. Date Description

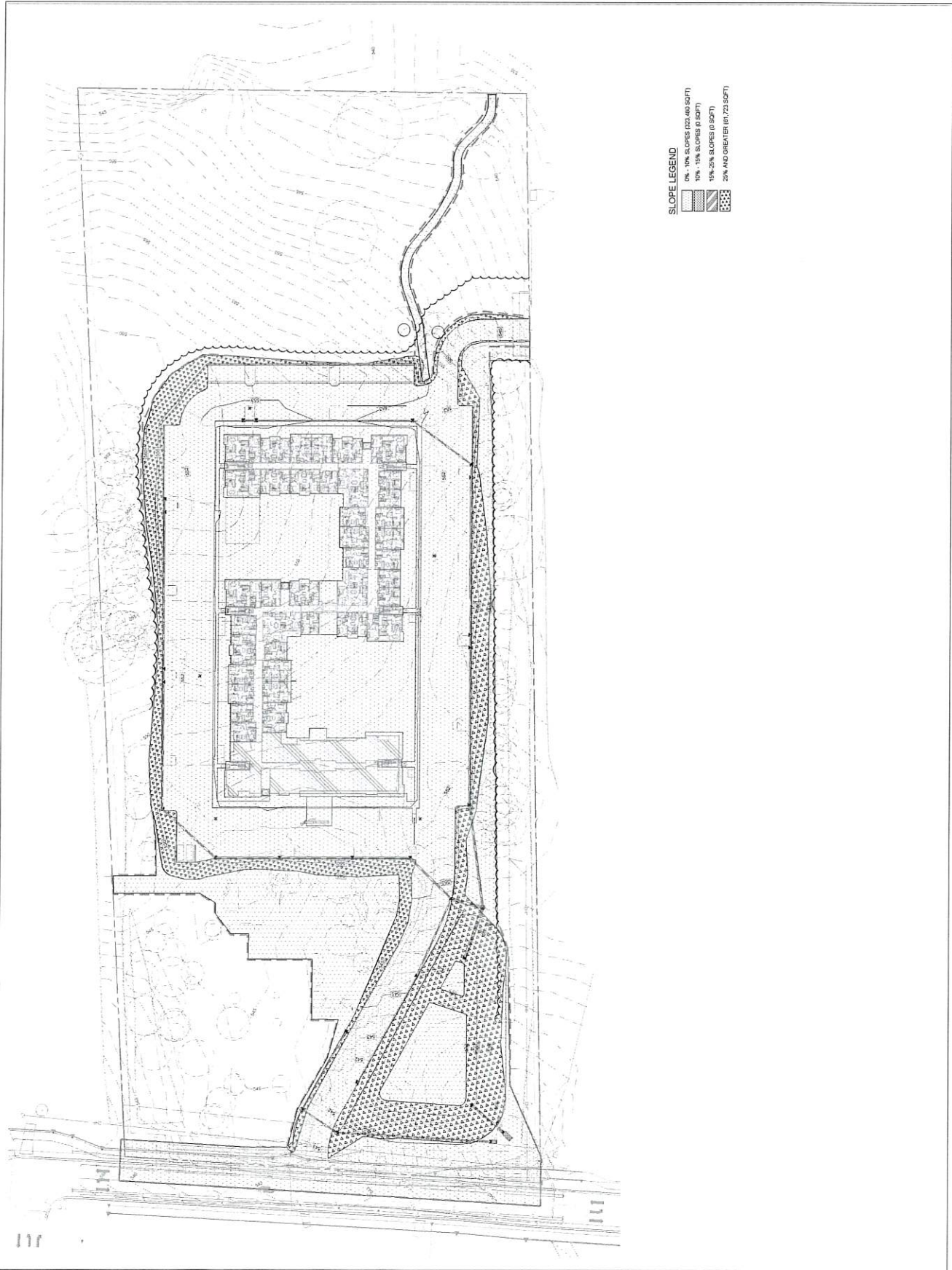
No.	Date	Description



Title

STEEP SLOPE PLAN

Project number: CT1704 - Sheet
 Drawn by: DOBRS
 Approved by: CJM **L1.20**





STEWART
 40 EAST WYOMING ST., SUITE 400 FARMINGTON, AR 72630
 501.925.3500

Client:
 GLW-2, LLC
 1615 EIGHTH DRIVE, SUITE 100
 CHAPEL HILL, NC 27614

Project:
INDEPENDENT SENIOR HOUSING CHAPEL HILL

INDEPENDENT SENIOR HOUSING CHAPEL HILL

Utility Map



Scale: N.T.S.



PRELIMINARY - DO NOT USE FOR CONSTRUCTION

SUP SUBMITTAL

No. Date Description

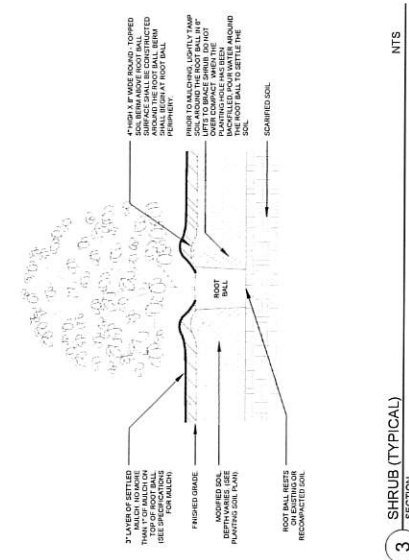
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SCALE: N.T.S.

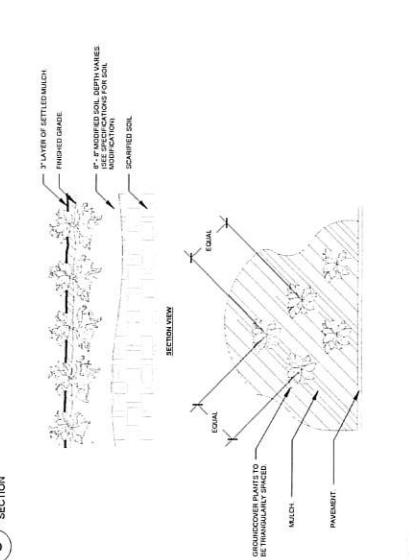
Title

LANDSCAPE DETAILS

Project Number: CL7004 Sheet
 Date: 08/27/2017
 Drawn by: DUBS
 Approved by: CJM
L2.00



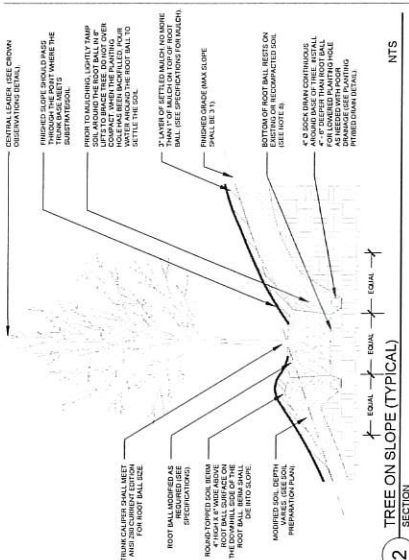
3 SHRUB (TYPICAL)
 SECTION
 N.T.S.



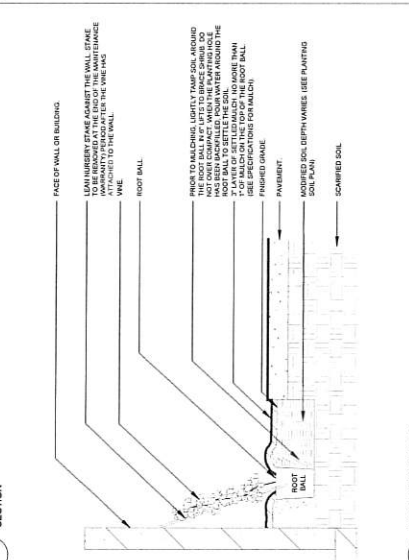
6 GROUNDCOVER PLANTING (TYPICAL)
 PLAN
 N.T.S.

- PLANTING NOTES:**
1. ROUND SHAPE TREES SPECIFICATIONS SPECIFIED BY THE CLIENT SHALL BE USED UNLESS OTHERWISE NOTED. ALL TREES SHALL BE PLANTED ON SLOPES.
 2. WHERE SPECIAL NEEDS WILL BE PLANTED, CLOSE TOGETHER WITH THE ROOT BALL ON TOP OF THE SOIL, PROVIDE SPECIAL AMENDMENTS TO A DEPTH OF 4\"/>

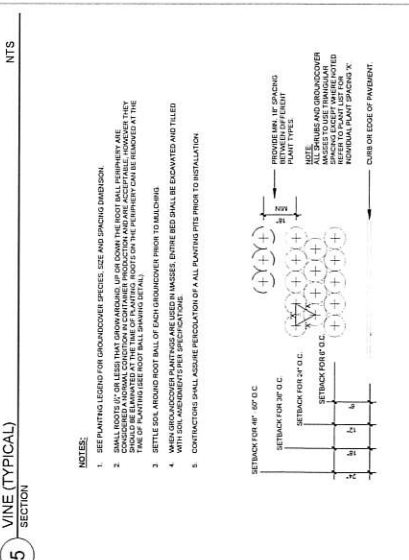
9 PLANTING NOTES



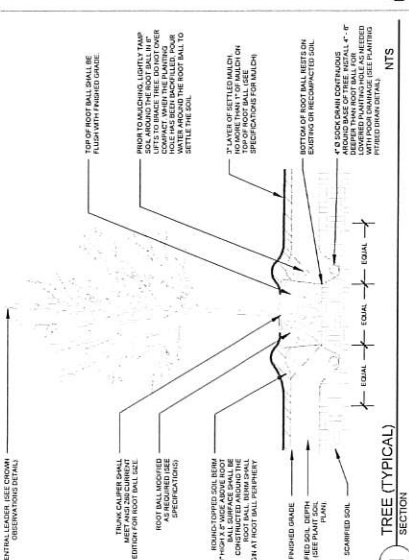
2 TREE ON SLOPE (TYPICAL)
 SECTION
 N.T.S.



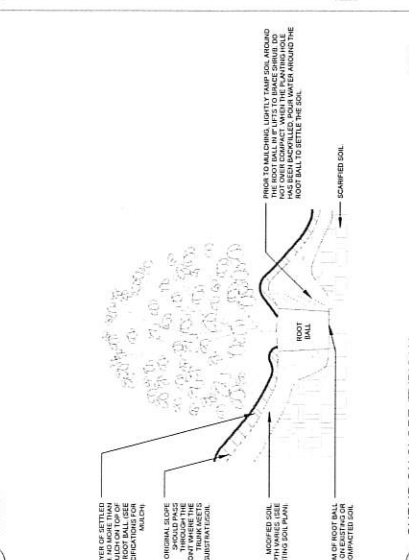
5 VINE (TYPICAL)
 SECTION
 N.T.S.



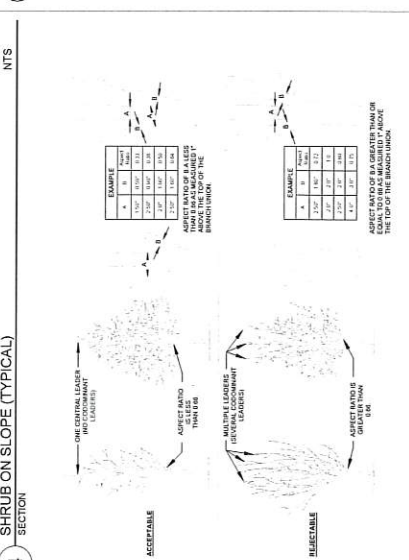
8 SHRUB AND GROUND COVER SPACING
 PLAN
 N.T.S.



1 TREE (TYPICAL)
 SECTION
 N.T.S.

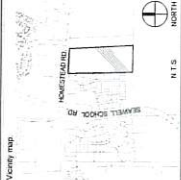


4 SHRUB ON SLOPE (TYPICAL)
 SECTION
 N.T.S.



7 CROWN OBSERVATIONS - HIGH BRANCHED
 SECTION
 N.T.S.

Project
**INDEPENDENT
SENIOR
HOUSING
CHAPEL HILL**



Scale
N.T.S.
North

Issued for
SUP SUBMITTAL

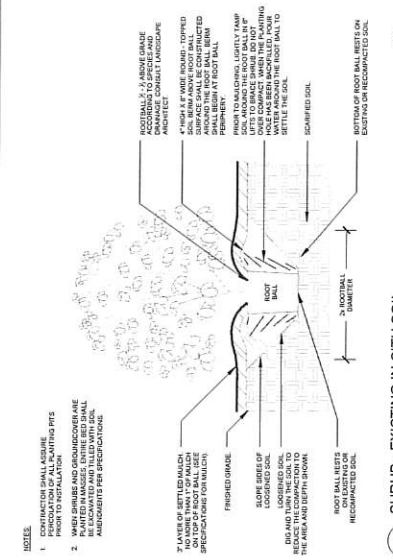
No.	Date	Description

SCALE: N.T.S.

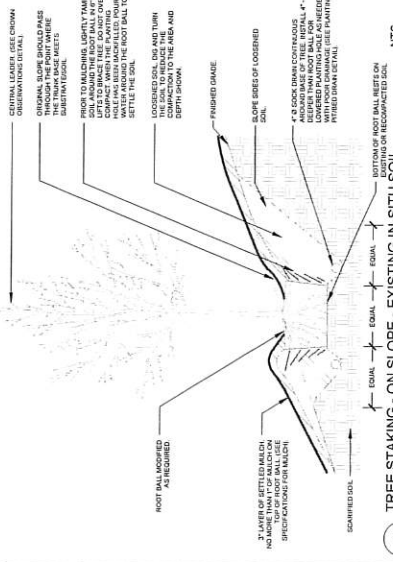
Title

LANDSCAPE DETAILS

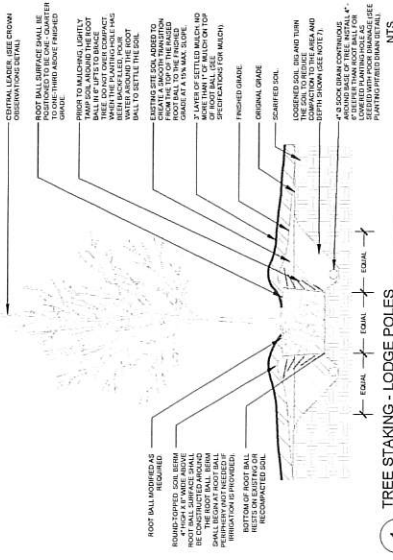
Project Number: C171004 Sheet
Date: 03/20/2019
Drawn By: J. HARRIS
Approved By: C.M. L2.01



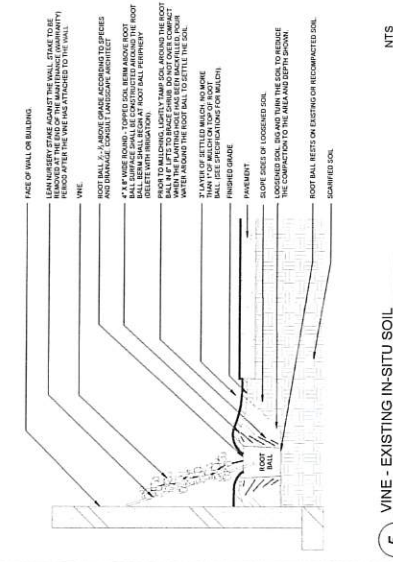
1 TREE STAKING - LODGE POLES
SECTION



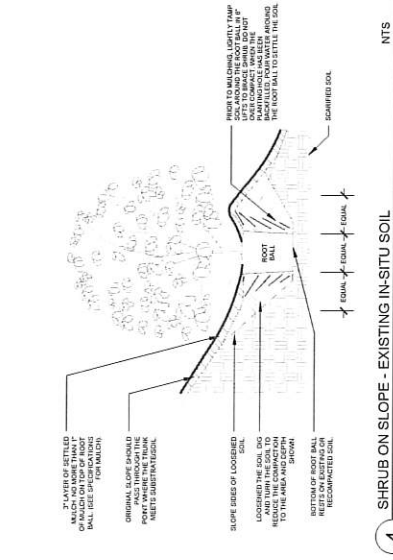
2 TREE STAKING - ON SLOPE - EXISTING IN-SITU SOIL
SECTION



3 SHRUB - EXISTING IN-SITU SOIL
SECTION



4 SHRUB ON SLOPE - EXISTING IN-SITU SOIL
SECTION



5 VINE - EXISTING IN-SITU SOIL
SECTION



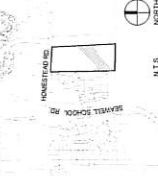
STEWART
 421 W. STATE ST. SUITE 400 PERRINAMINE # C-1004
 1330 S. STATE ST. COLUMBUS, OH 43204

CHELSEA
 GLM-12, LLC
 171 S. SERIES DRIVE SUITE 100
 CHAPEL HILL, NC 27514

Project

**INDEPENDENT
 SENIOR
 HOUSING
 CHAPEL HILL**

Neighborhood



Scale



PRELIMINARY - DO NOT
 USE FOR CONSTRUCTION

Issued for
SUP SUBMITTAL

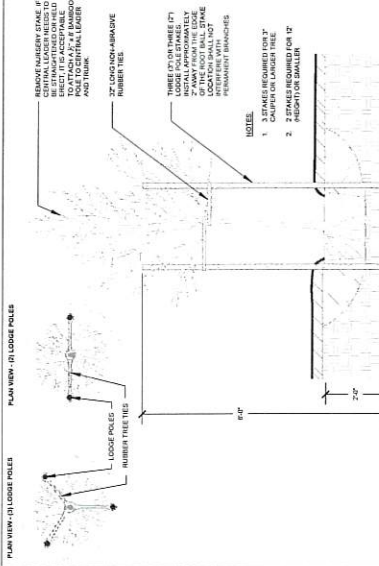
No.	Date	Description

SCALE: N.T.S.

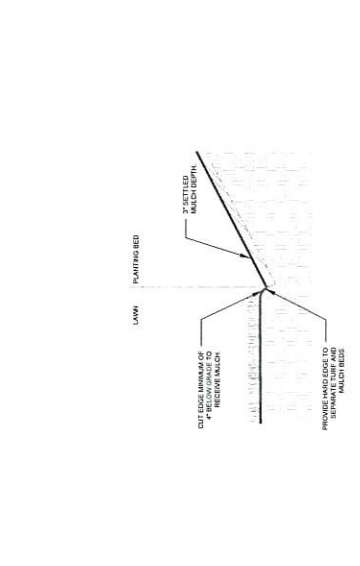
Title

LANDSCAPE DETAILS

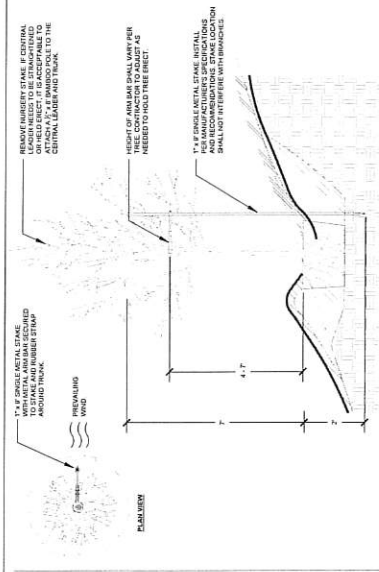
Project number: C11004 Sheet
 Date: 10/15/18
 Drawn by: LCOBBS
 Approved by: CMH
L2.02



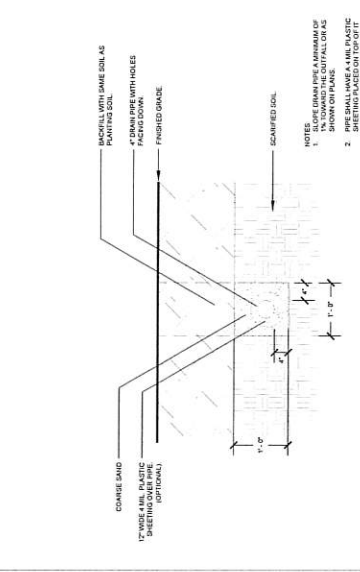
1 TREE STAKING - LODGE POLES
 SECTION N.T.S.



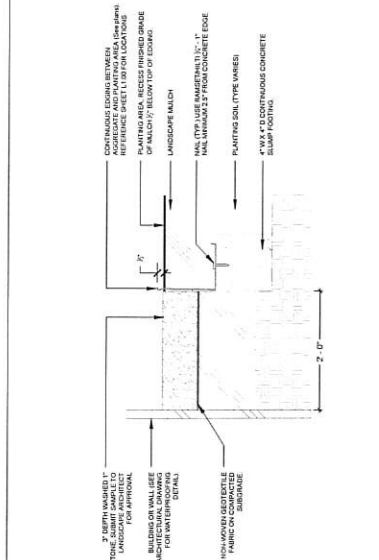
2 TREE STAKING - ON SLOPE
 SECTION N.T.S.



3 GRAVEL BAND WITH STEEL EDGING
 SECTION N.T.S.



4 LAWN / PLANT BED TRENCH EDGING
 SECTION N.T.S.



5 PLANTING PIT / BED DRAIN DETAIL
 SECTION N.T.S.

0201717104 - Cityplan Overview Chapel Hill/CST1 - D:\proj\11104\T1104-12-00-Facility & Sign Detail.dwg Apr 23, 2018 - 10:28AM