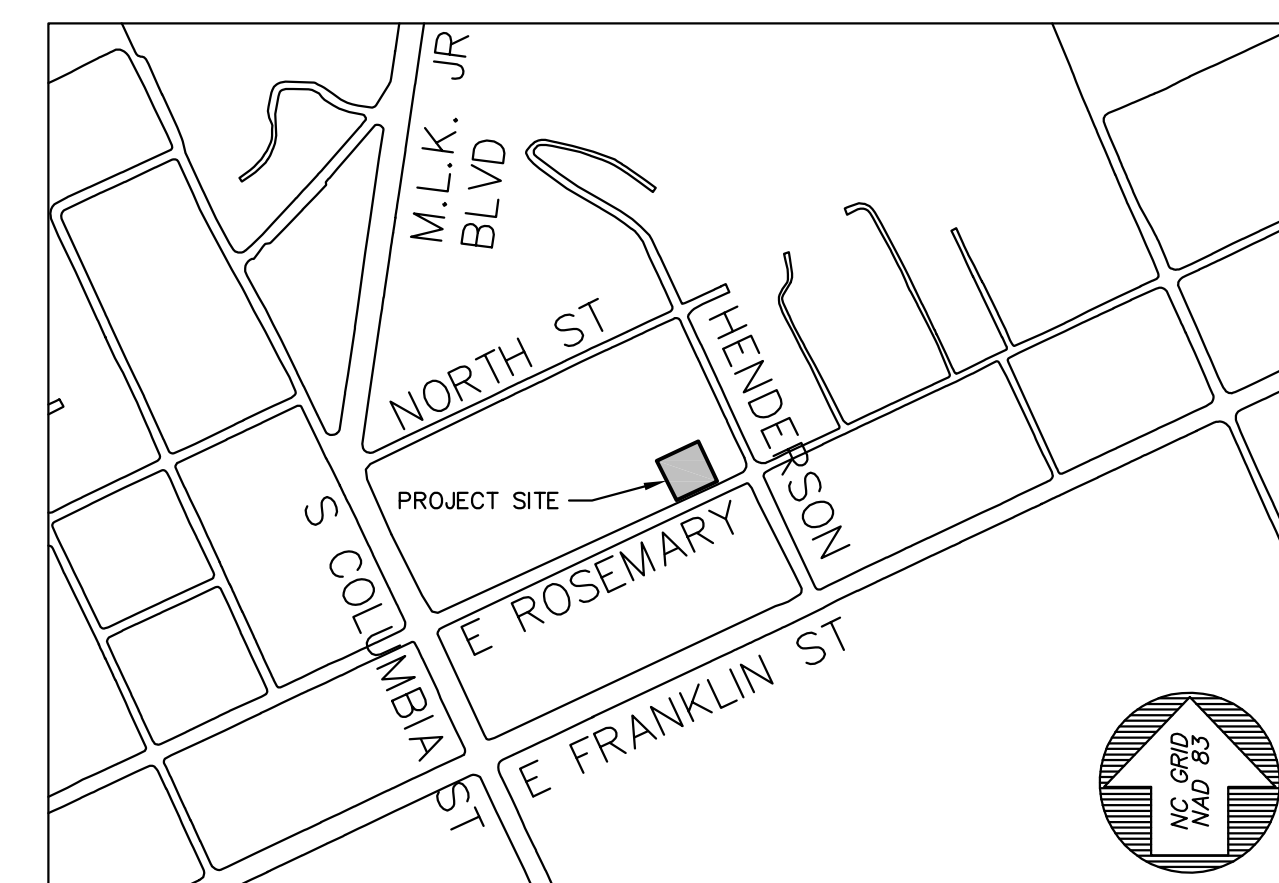


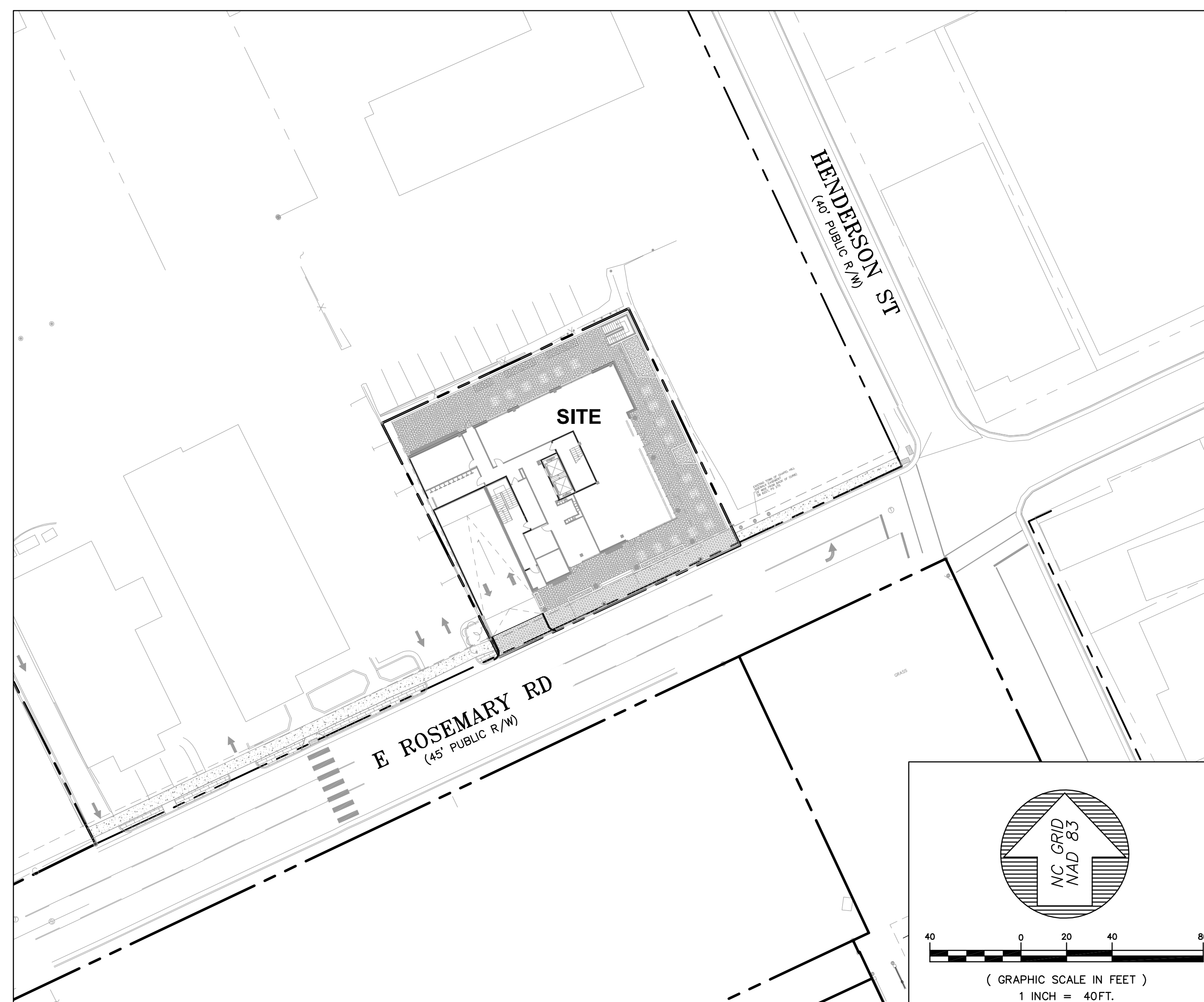
CONDITIONAL ZONING DRAWINGS

FOR 157 E. ROSEMARY STREET

CHAPEL HILL, NORTH CAROLINA
PIN: 9788-37-9926

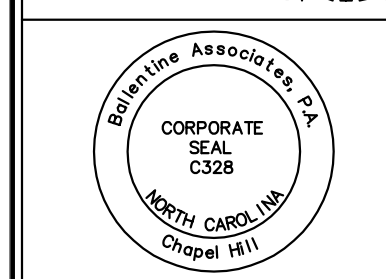
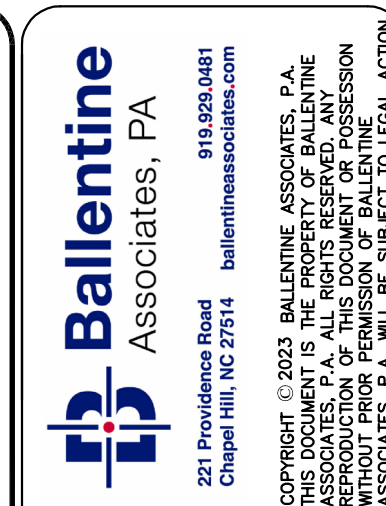


VICINITY MAP
SCALE: 1"=500'



DRAWING LIST

SHEET	DRAWING TITLE	LATEST ISSUE DATE
G0001	COVER	29 AUG 23
C0001	AREA MAP	25 JUL 23
C0101	EXISTING CONDITIONS PLAN	25 JUL 23
C0201	DEMO & LANDSCAPE PROTECTION PLAN	25 JUL 23
C1001	SITE PLAN	29 AUG 23
C1002	SOLID WASTE MANAGEMENT PLAN	25 JUL 23
C1101	UTILITY PLAN	25 JUL 23
C1201	GRADING AND DRAINAGE PLAN	25 JUL 23
A0.5	COLORED SITE PLAN	25 JUL 23
A1.0	LEVEL 1 FLOOR PLAN	25 JUL 23
A1.1	LOWER LEVEL FLOOR PLAN	25 JUL 23
A1.2	LEVEL 1 REFLECTED CEILING PLAN	25 JUL 23
A3.1	EXTERIOR ELEVATIONS - EAST & SOUTH	25 JUL 23
A3.2	EXTERIOR ELEVATIONS - NORTH	25 JUL 23
A3.3	EXTERIOR ELEVATIONS - WEST	25 JUL 23
A4.1	COLORED ELEVATIONS	25 JUL 23
A4.2	COLORED ELEVATIONS	25 JUL 23
A4.3	COLORED ELEVATIONS	25 JUL 23
A5.1	COLORED FLOOR PLANS	25 JUL 23
A5.2	COLORED FLOOR PLANS	25 JUL 23
A5.3	COLORED FLOOR PLANS	25 JUL 23
A5.4	COLORED FLOOR PLANS	25 JUL 23
A5.5	COLORED FLOOR PLANS	25 JUL 23
A6.1	RENDERINGS	25 JUL 23
A6.2	EXISTING CONDITION PHOTOS	25 JUL 23
A7.1	PHI MU SCREENING EXHIBIT	25 JUL 23
A7.2	LINE OF SIGHT EXHIBIT	25 JUL 23



DATE	REVISIONS	NUM
26 MAY 23	PER ROUND 1 CZ COMMENTS	1
25 JUL 23	PER ROUND 2 CZ COMMENTS	2
29 AUG 23	MINOR SITE DATA TABLE REVS	3

OWNER INFORMATION
TJ Capital II LLC
4006 Abbey Park Way
SUITE 350
Raleigh, NC 27612
OWNERS REPRESENTATIVE:
Bill Jackson
PH: (919) 740-2487
FAX: (919) XXX-XXXX
EMAIL: bill@tjcapital.com

DATE	ISSUED
31 MAR 23	CZ SUBMITTAL #1
26 MAY 23	CZ SUBMITTAL #2
25 JUL 23	CZ SUBMITTAL #3
29 AUG 23	CZ SUBMITTAL #4

157 E. ROSEMARY STREET
CHAPEL HILL, NORTH CAROLINA
CONDITIONAL ZONING DRAWINGS

JOB NUMBER: 122002.00
DATE: 30 MAR 23
SCALE: AS NOTED
DRAWN BY: MP
REVIEWED BY: G.J.R.

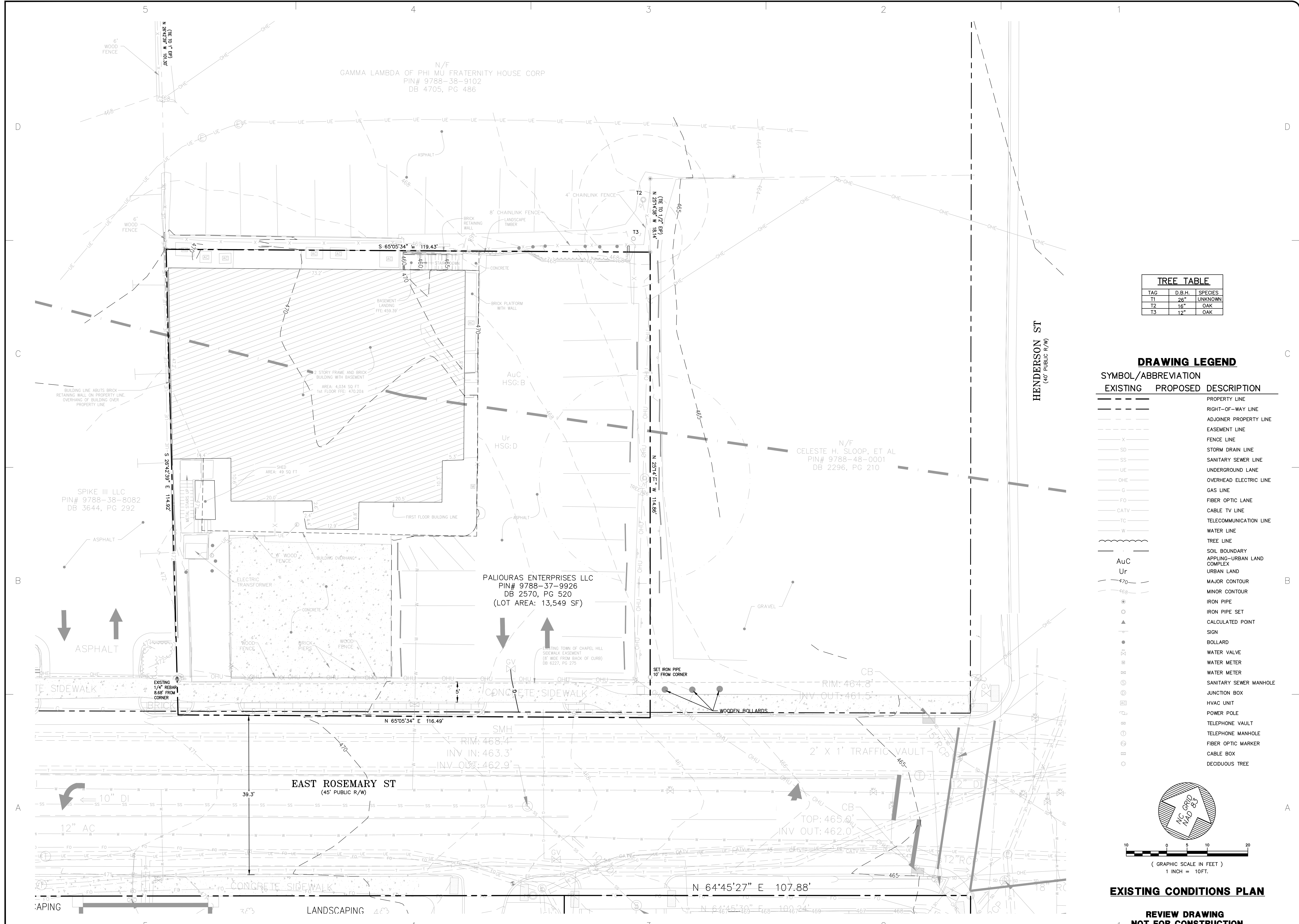
SHEET
G0001



PROJECT OWNER / DEVELOPER:
TJ CAPITAL II LLC
4006 Abbey Park Way
Raleigh, NC 27612
(919) 740-2487



REVIEW DRAWING
NOT FOR CONSTRUCTION



N/F
 GAMMA LAMBDA OF PHI MU FRATERNITY HOUSE CORP
 PIN# 9788-38-9102
 DB 4705, PG 486

N/F
 CELESTE H. SLOOP, ET AL
 PIN# 9788-48-0001
 DB 2296, PG 210

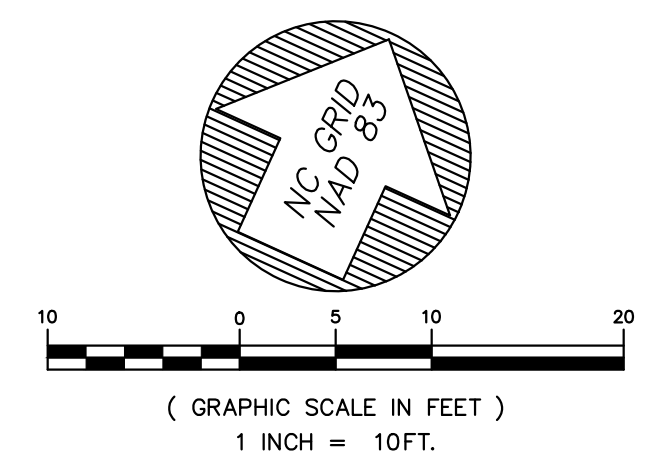
PALIOURAS ENTERPRISES LLC
 PIN# 9788-37-9926
 DB 2570, PG 520
 (LOT AREA: 13,549 SF)

SPIKE III LLC
 PIN# 9788-38-8082
 DB 3644, PG 292

TREE TABLE		
TAG	D.B.H.	SPECIES
T1	26"	UNKNOWN
T2	16"	OAK
T3	12"	OAK

DRAWING LEGEND

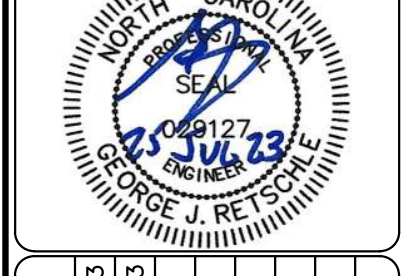
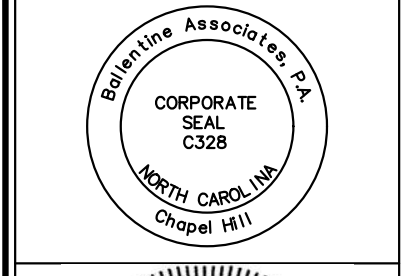
SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
X	X	FENCE LINE
SD	SD	STORM DRAIN LINE
SS	SS	SANITARY SEWER LINE
UE	UE	UNDERGROUND LANE
OHE	OHE	OVERHEAD ELECTRIC LINE
G	G	GAS LINE
FO	FO	FIBER OPTIC LANE
CATV	CATV	CABLE TV LINE
TC	TC	TELECOMMUNICATION LINE
W	W	WATER LINE
---	---	TREE LINE
---	---	SOIL BOUNDARY
AuC	AuC	APPLING-URBAN LAND
Ur	Ur	URBAN LAND
470	470	MAJOR CONTOUR
468	468	MINOR CONTOUR
○	○	IRON PIPE
○	○	IRON PIPE SET
▲	▲	CALCULATED POINT
●	●	SIGN
●	●	BOLLARD
○	○	WATER VALVE
○	○	WATER METER
○	○	WATER METER
○	○	SANITARY SEWER MANHOLE
○	○	JUNCTION BOX
○	○	HVAC UNIT
○	○	POWER POLE
○	○	TELEPHONE VAULT
○	○	TELEPHONE MANHOLE
○	○	FIBER OPTIC MARKER
○	○	CABLE BOX
○	○	DECIDUOUS TREE



EXISTING CONDITIONS PLAN

**REVIEW DRAWING
 NOT FOR CONSTRUCTION**

Ballentine Associates, PA
 2515...
 Charlotte, NC 27214
 704.333.1111
 ballentine.com



DATE	REVISIONS
26 MAY 23	PER ROUND 1 CZ COMMENTS
25 JUL 23	PER ROUND 2 CZ COMMENTS

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 TU Capital II LLC
 4006 Abbey Park Way
 SUITE 350
 Raleigh, NC 27612
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157 E. ROSEMARY STREET
 CHAPEL HILL, NORTH CAROLINA
CONDITIONAL ZONING DRAWINGS

JOB NUMBER: 122002.00
 DATE: 30 MAR 23
 SCALE: AS NOTED
 DRAWN BY: MP
 REVIEWED BY: G.J.R.

**SHEET
 C0101**

N/F
 GAMMA LAMBDA OF PHI MU FRATERNITY HOUSE CORP
 PIN# 9788-38-9102
 DB 4705, PG 486

OCSW CONSTRUCTION WASTE REQUIREMENTS

- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS. CONTACT THE ORANGE COUNTY SW ENFORCEMENT OFFICER AT 919-968-2788 TO ARRANGE FOR THE ASSESSMENT.
- PURSUANT TO THE COUNTY'S RRMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- PURSUANT TO THE COUNTY'S RRMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS ("ACM") AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

DEMOLITION CONSTRUCTION SEQUENCE:

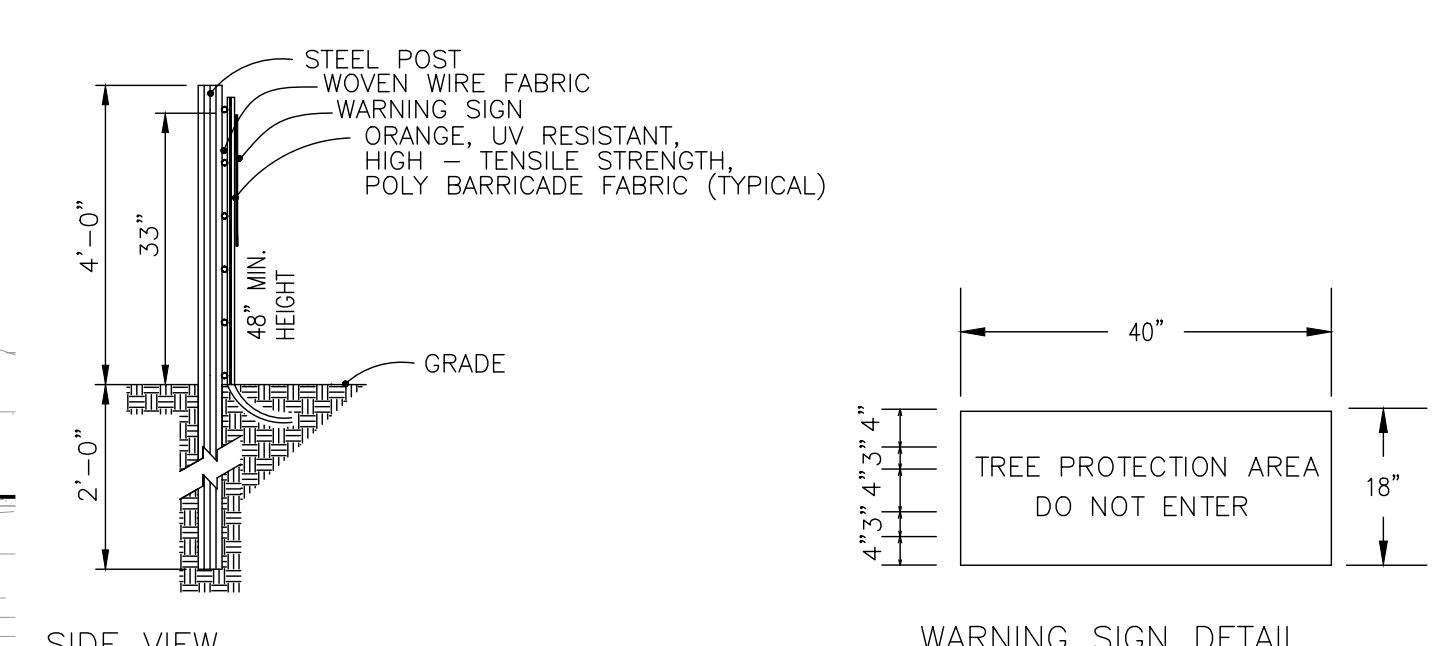
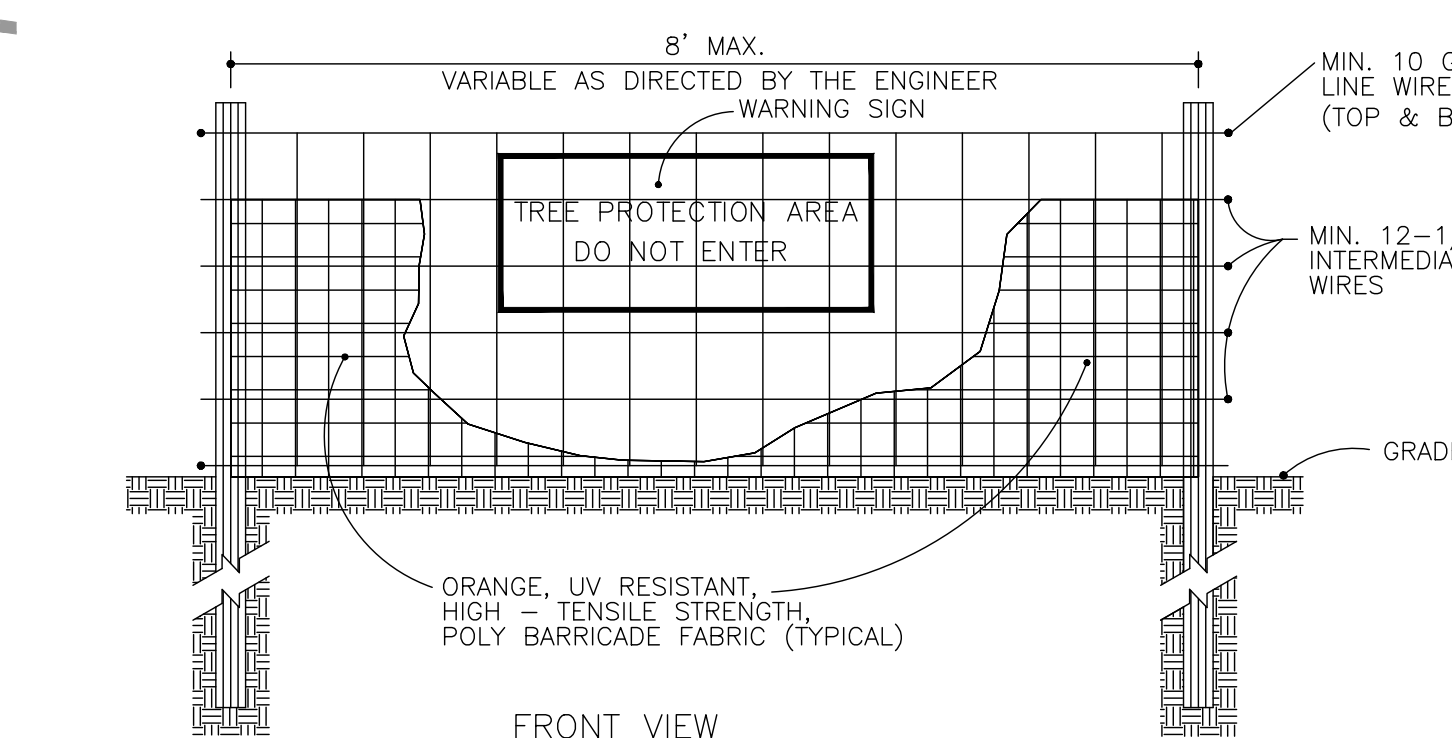
- OBTAIN ZONING COMPLIANCE, DEMOLITION AND GRADING PERMITS.
- OBTAIN DEMOLITION PERMIT FROM TOWN OF CHAPEL HILL BUILDING INSPECTIONS.
- HOLD PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE AS NOTED IN GENERAL DEMOLITION NOTES.
- INSTALL STANDARD TREE PROTECTION FENCE.
- CALL TOWN OF CHAPEL HILL URBAN FORESTER AT (919) 969-5114 FOR AN INSPECTION OF TREE PROTECTION FENCE.
- IF TREE PROTECTION FENCING IS APPROVED, INSTALL REMAINING EROSION CONTROL MEASURES PER CONSTRUCTION SEQUENCE ON SHEET 1301.
- UPON APPROVAL FROM NCEQ DIVISION OF LAND QUALITY RALEIGH REGIONAL OFFICE & THE TOWN OF CHAPEL HILL, PROCEED WITH DEMOLITION AS SHOWN ON THIS SHEET.

DEMOLITION NOTES

- PRIOR TO DEMOLITION, CONTRACTOR SHALL HAVE NORTH CAROLINA 811 (1-800-632-4949) LOCATE ALL EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS.
- PRIOR TO DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF ASBESTOS REMEDIATION IS REQUIRED, AND IF SO, CONTRACTOR SHALL PROVIDE ASBESTOS REMEDIATION IN ACCORDANCE WITH FEDERAL, STATE & LOCAL REGULATIONS.
- OPEN BURNING OF TREES, LIMBS, STUMPS AND CONSTRUCTION DEBRIS IN ASSOCIATION WITH THIS DEVELOPMENT IS PROHIBITED.
- ANY EXISTING WATER AND SEWER SERVICES AND CLEANOUTS TO BE REMOVED, SHALL BE ABANDONED IN ACCORDANCE WITH OWASA REQUIREMENTS.
- ANY EXISTING GAS, ELECTRIC, FIBER AND ANY OTHER UTILITIES SERVING THE STRUCTURE TO BE DEMOLISHED SHALL BE FIELD LOCATED AND TERMINATED IN ACCORDANCE WITH STATE & LOCAL REGULATIONS, AND IN ACCORDANCE WITH THE RESPECTIVE PROVIDER'S STANDARDS & SPECIFICATIONS.
- PRIOR TO ANY LAND DISTURBANCE, DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE CONTRACTOR SHALL COORDINATE AND HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH:
 - CIVIL ENGINEER AND OWNER'S REPRESENTATIVE
 - TOWN OF CHAPEL HILL URBAN FORESTER: (919) 969-5114
 - TOWN OF CHAPEL HILL STORMWATER DIVISION: (919) 969-7246
 - ORANGE COUNTY SOLID WASTE STAFF: (919) 968-2788
 - NCEQ DIVISION OF LAND QUALITY RALEIGH REGIONAL OFFICE: (919) 791-4200
- IN ALL AREAS WHERE IMPERVIOUS COVER IS SHOWN TO BE REMOVED AND RESTORED WITH PERVIOUS COVER, THE FOLLOWING STEPS SHALL BE TAKEN:
 - REMOVE ALL ASPHALT CONCRETE, BEDDING MATERIALS, GRAVEL, DEBRIS, BUILDING MATERIALS, ETC.
 - RIP AND AERATE TO A DEPTH OF 18 INCHES BELOW ORIGINAL GRADE, UNLESS WITHIN THE CRITICAL ROOT ZONE OF A TREE TO BE PRESERVED. IN THAT CASE, LIMIT RIPPING TO A DEPTH OF 6".
 - PLACE 4-6 INCHES OF TOPSOIL (TO FINISHED GRADE) AND INSTALL PLANTINGS AND/OR SEED DISTURBED AREA ACCORDING TO LANDSCAPE PLAN. DO NOT COMPACT TOPSOIL.
- DURING DEMOLITION AND/OR CONSTRUCTION, ALL ASPECTS OF CHAPTER 14 OF THE NC FIRE PREVENTION SHALL BE FOLLOWED. THE OWNER/DEVELOPER SHALL DESIGNATE ONE PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE RESPONSIBLE FOR ENFORCING CHAPTER 14 OF THE NC FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGHOUT COMPLETION OF THE PROJECT.
- DURING CONSTRUCTION, FIREFIGHTING VEHICLE ACCESS SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS.
- CONSTRUCTION OPERATIONS SHOULD BE LIMITED TO 7:00 AM TO 7:00 PM ON WEEKDAYS AND 8:00 AM TO 7:00 PM ON WEEKENDS.
- THE CONTRACTOR SHOULD CONTACT JERRY NEVILLE WITH THE TOWN'S TRAFFIC ENGINEERING DIVISION AT 919-969-5096 PRIOR TO ANY ROAD OR SIDEWALK CLOSURE TO OBTAIN THE NECESSARY PERMIT APPROVAL.

DRAWING LEGEND

SYMBOL/ABBREVIATION	DESCRIPTION
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJOINER PROPERTY LINE
SD	STORM DRAIN LINE
W	WATER LINE
SS	SANITARY SEWER LINE
UE	UNDERGROUND ELECTRIC LINE
OHE	OVERHEAD ELECTRIC LINE
G	GAS LINE
FO	FIBER OPTIC LINE
TC	TELECOMMUNICATION LINE
470	TREE LINE
468	MAJOR CONTOUR
---	MINOR CONTOUR
---	SOIL BOUNDARY
AuC	APPLING-URBAN LAND COMPLEX
Ur	URBAN LAND
+	EXISTING IRON PIPE
+	SIGN
+	CATCH BASIN
+	WATER METER
+	WATER VALVE
+	SANITARY SEWER MANHOLE
+	POWER POLE
+	ELECTRIC BOX
+	HVAC UNIT
+	GAS VALVE
+	TELEPHONE VAULT
+	FIBER OPTIC MARKER
+	DECIDUOUS TREE
+	CONCRETE SIDEWALK
+	LIMITS OF DISTURBANCE

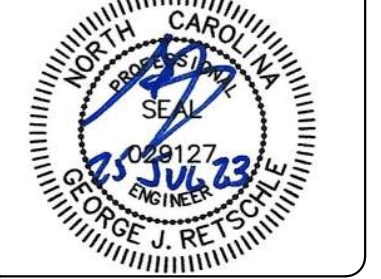
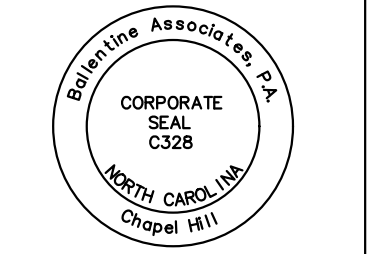


- NOTES:
- WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
 - LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 - SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS.
 - PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.
 - FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
 - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 - MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
 - ADDITIONAL SIGNS MAY BE REQUIRED BY TOWN OF ARDEN INSPECTIONS DEPARTMENT BASED ON ACTUAL FIELD CONDITIONS.
 - PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.

A2
 C0201
TEMPORARY TREE PROTECTION FENCE
 SCALE: N.T.S.

DEMOLITION & LANDSCAPE PROTECTION PLAN
 REVIEW DRAWING
 NOT FOR CONSTRUCTION

Ballentine Associates, PA
 2515 North Carolina Street
 Chapel Hill, NC 27514
 (919) 969-5114
 ballentineassociates.com



DATE	REVISIONS
26 MAY 23	PER ROUND 1 CZ COMMENTS
25 JUL 23	PER ROUND 2 CZ COMMENTS

OWNER INFORMATION
 TU Capital II LLC
 4006 Abbey Park Way
 SUITE 350
 Raleigh, NC 27612
OWNER'S REPRESENTATIVE:
 Bill Jackson
 PH: (919) 740-2487
 FAX: (XXX) XXX-XXXX
 EMAIL: bill@tucapital.com

DATE	ISSUED
31 MAR 23	CZ SUBMITTAL #1
26 MAY 23	CZ SUBMITTAL #2
25 JUL 23	CZ SUBMITTAL #3

157 E. ROSEMARY STREET
 CHAPEL HILL, NORTH CAROLINA
CONDITIONAL ZONING DRAWINGS

JOB NUMBER: 122002.00
 DATE: 30 MAR 23
 SCALE: AS NOTED
 DRAWN BY: MP
 REVIEWED BY: G.J.R.

SHEET C0201

N/F
 GAMMA LAMBDA OF PHI MU FRATERNITY HOUSE CORP
 PIN# 9788-38-9102
 DB 4705, PG 486

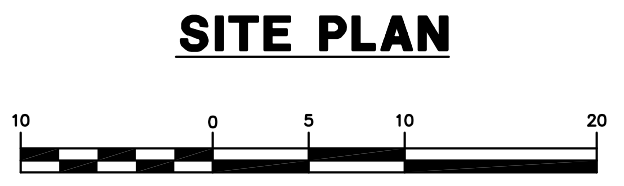
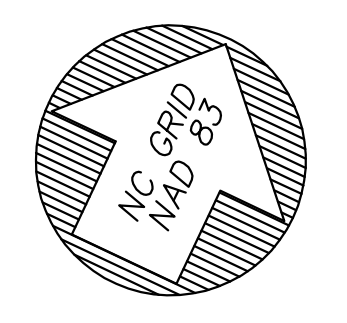
SPIKE III LLC
 PIN# 9788-38-8082
 DB 3644, PG 292

PALIOURAS ENTERPRISES LLC
 PIN# 9788-37-9926
 DB 2570, PG 520

CELESTE H SLOOP, ET AL
 PIN# 9788-48-0001
 DB 2296, PG 210

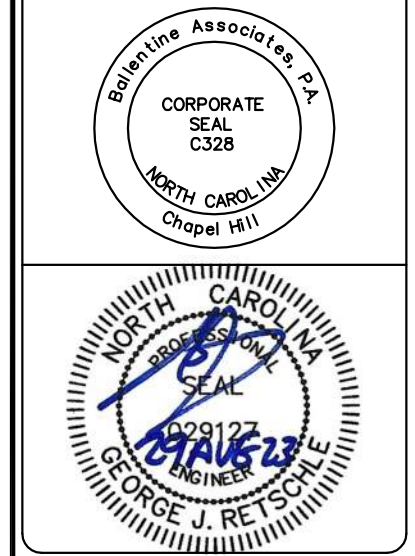
SITE DATA			
DEVELOPER:	TJ CAPITAL II LLC		
APPLICANT:	PALIOURAS ENTERPRISES LLC		
PROPERTY OWNER:	PALIOURAS ENTERPRISES LLC		
PROPERTY ADDRESS:	157 EAST ROSEMARY STREET, CHAPEL HILL, NC		
PIN NUMBERS:	9788379926		
DEED REFERENCES:	DB 2570, PG 520		
EXISTING ZONING:	TC-2		
PROPOSED ZONING:	R-CP-CZD		
EXISTING USE:	COMMERCIAL		
PROPOSED USE:	RESIDENTIAL, RETAIL		
NET LAND AREA:	13,549 SF (0.31 AC)		
CREDITED STREET AREA:	1,355 SF (0.03 AC)		
GROSS LAND AREA:	14,904 SF (0.34 AC)		
FLOOR AREA SUMMARY:			
FAR per R-CP-CZD	1.10		
MAX. FLOOR AREA (per R-CP-CZD) (1.10 X 14,904)	16,394 + 47,600 (AH BONUS) = 63,994		
PROPOSED FLOOR AREA	89,250 SF		
VEHICLE PARKING SUMMARY:			
	REGULAR	ACCESSIBLE	TOTAL
MINIMUM REQUIRED			84
MAXIMUM ALLOWED			108
PROPOSED	22 (INCL. ACCESS.)	1 (VAN)	22
BICYCLE PARKING SUMMARY:			
	LONG TERM (90%)	SHORT TERM (10%)	TOTAL
MINIMUM REQUIRED (1 PER 4 DWELLING UNITS) + 4 RETAIL	14	4	18
PROPOSED	56	4	60
REQUIRED ACCESSIBLE PARKING	1 (INCL. 1 VAN ACCESSIBLE)		
PROPOSED ACCESSIBLE PARKING	1 (INCL. 1 VAN ACCESSIBLE)		
IMPERVIOUS SUMMARY:			
EXISTING	12,978 SF (0.30 AC)		
POST DEVELOPED TOTAL	13,011 SF (0.30 AC)		
NET IMPERVIOUS INCREASE	33 SF (0.001 AC)		
RECREATION SPACE SUMMARY:			
REQUIRED (0.218 X GLA)	3,249 SF		
PROPOSED	= 100% OF REQUIREMENT VIA. PAYMENT IN LIEU;		

DRAWING LEGEND		
SYMBOL/ABBREVIATION	EXISTING	PROPOSED DESCRIPTION
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
---	---	TREE LINE
---	---	OVERHEAD ELECTRIC LINE
---	---	EXISTING IRON PIPE
---	---	IRON PIPE SET
---	---	CALCULATED POINT
---	---	DECIDUOUS TREE
---	---	BRICK SIDEWALK
---	---	CONCRETE SIDEWALK
---	---	PERMEABLE PAVERS



SITE PLAN
 (GRAPHIC SCALE IN FEET)
 1 inch = 10 ft.
**REVIEW DRAWING
 NOT FOR CONSTRUCTION**

Ballentine Associates, PA
 221 Providence Road
 Chapel Hill, NC 27514
 ballentineassociates.com
 919.929.0481
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DATE	REVISIONS
26 MAY 23	PER ROUND 1 CZ COMMENTS
25 JUL 23	PER ROUND 2 CZ COMMENTS
29 AUG 23	MINOR SITE DATA TABLE REVS

OWNER INFORMATION
 TJ Capital II LLC
 4006 Abbey Park Way
 SUITE 350
 Raleigh, NC 27612
OWNERS REPRESENTATIVE:
 Bill Jackson
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 FAX: (XXX) XXX-XXXX
 EMAIL: bjackson@tjcap.com

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157 E. ROSEMARY STREET
 CHAPEL HILL, NORTH CAROLINA
CONDITIONAL ZONING DRAWINGS

JOB NUMBER: 122002.00
 DATE: 30 MAR 23
 SCALE: AS NOTED
 DRAWN BY: MP
 REVIEWED BY: G.J.R.

**SHEET
 C1001**

N/F
 GAMMA LAMBDA OF PHI MU FRATERNITY HOUSE CORP
 PIN# 9788-38-9102
 DB 4705, PG 486

SPIKE III LLC
 PIN# 9788-38-8082
 DB 3644, PG 292

PALIOURAS ENTERPRISES LLC
 PIN# 9788-37-9926
 DB 2570, PG 520

CELESTE H SLOOP, ET AL
 PIN# 9788-48-0001
 DB 2296, PG 210

PUBLIC RECYCLING WAIVER

1. APPLICANT ELECTS TO PROVIDE RECYCLING SERVICES TO RESIDENTS/TENANTS OF THIS PROPERTY IN LIEU OF BUILDING A RECYCLING STATION CONSTRUCTED TO ORANGE COUNTY SPECIFICATIONS. THE SITE WILL NOT RECEIVE PUBLIC RECYCLING COLLECTION NOW OR IN THE FUTURE UNLESS SUCH A RECYCLING STATION IS CONSTRUCTED OR CONTINGENCY FOR SUCH A STATION IS INCLUDED ON THE DEVELOPMENT PLANS.
2. APPLICANT MUST REQUIRE AT THE LEAST THE SAME LEVEL OF SERVICE (CURRENT OR FUTURE) TO ITS RESIDENTS AS THAT PROVIDED BY ORANGE COUNTY.
3. COUNTY FEES FOR RECYCLING AND WASTE MANAGEMENT ASSOCIATED WITH THIS PROJECT/PROPERTY WILL NOT BE WAIVED.
4. APPLICANT AGREES TO ENTER INTO A SERVICE AGREEMENT WITH A PRIVATE SOLID WASTE/RECYCLING COLLECTION CONTRACTOR THAT IS ACCEPTABLE TO ORANGE COUNTY. FURTHER, THE AGREEMENT SHALL PROVIDE FOR THE COLLECTION AND RECYCLING OF CORRUGATED CARDBOARD IN ADDITION TO THE OTHER CO-MINGLED RECYCLABLES AND AN EXECUTED COPY OF THE AGREEMENT SHALL BE PROVIDED TO AND APPROVED BY ORANGE COUNTY PRIOR TO APPROVAL OF FINAL CONSTRUCTION PLANS FOR THE PROPERTY/PROJECT.

CONSTRUCTION WASTE NOTES

1. ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS.
2. PURSUANT TO THE COUNTY'S RMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
3. PURSUANT TO THE COUNTY'S RMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE (WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS) SHALL BE LICENSED BY ORANGE COUNTY.
4. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
5. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

SOLID WASTE MANAGEMENT PLAN

PROJECT NARRATIVE

THE FOLLOWING IS A NARRATIVE OF HOW SOLID WASTE, MIXED RECYCLABLES, AND CORRUGATED CARDBOARD WILL BE HANDLED FOR THE 157 E ROSEMARY ST. DEVELOPMENT ON E. ROSEMARY ST IN CHAPEL HILL. IT IS THE INTENT OF THE PROJECT DEVELOPER/APPLICANT TO UTILIZE THE SERVICES OF A PRIVATE COMPANY FOR THE COLLECTION OF THE STORED SOLID WASTE, MIXED RECYCLABLES, AND CORRUGATED CARDBOARD PURSUANT TO THIS OUTLINE. IN DOING SO, THE PROJECT DEVELOPER/APPLICANT UNDERSTANDS AND AGREES THAT THEY ARE WAIVING THEIR RIGHTS TO HAVE ORANGE COUNTY COMMUNITY RECYCLING COLLECT MIXED RECYCLABLES AND THAT THE PROJECT WILL NOT RECEIVE PUBLIC RECYCLING COLLECTION AT ANY TIME NOW OR IN THE FUTURE UNLESS A RECYCLING CENTER IS CONSTRUCTED TO ORANGE COUNTY SPECIFICATIONS OR CONTINGENCY FOR SUCH A CENTER IS INCLUDED ON THE DEVELOPMENT PLANS. FURTHER, THE PROJECT DEVELOPER/APPLICANT UNDERSTANDS THAT THE FEES FOR PUBLIC RECYCLING AND WASTE MANAGEMENT WILL NOT BE WAIVED. IN ADDITION, PRIOR TO PLAN APPROVAL, THE PROJECT DEVELOPER/APPLICANT SHALL PROVIDE A COPY OF A LETTER FROM THE INTENDED PRIVATE GARBAGE, MIXED RECYCLABLE AND CORRUGATED CARDBOARD COLLECTOR ACKNOWLEDGING THAT THEY HAVE REVIEWED THE PROJECT PLANS AND AGREE TO THE PRESCRIBED METHODS FOR STORAGE AND COLLECTION OF THESE MATERIALS AS STATED HEREIN.

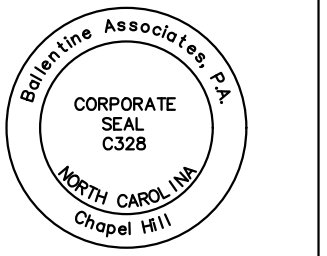
REFUSE SUMMARY

- A. TRASH CHUTES AND GARBAGE RECEPTACLES WILL BE LOCATED THROUGHOUT THE BUILDING AND WILL BE MONITORED AND COLLECTED AS NEEDED BY MANAGEMENT PERSONNEL. RESIDENTS WILL BE RESPONSIBLE FOR DEPOSITING THEIR TRASH INTO THE RECEPTACLES AND CHUTES AS APPLICABLE. CORRUGATED CARDBOARD AND MIXED RECYCLABLES SHALL NOT BE PLACED IN THE GARBAGE RECEPTACLES. GARBAGE AND RECYCLING RECEPTACLES WILL BE MARKED WITH APPROPRIATE SYMBOLS.
- B. MANAGEMENT PERSONNEL WILL BE RESPONSIBLE FOR COLLECTING AND TRANSPORTING GARBAGE FROM RECEPTACLES TO THE TRASH ROOM ON THE MAIN LEVEL OF THE BUILDING. TRASH CHUTES POSITIONED THROUGHOUT THE BUILDING WILL SEND DEPOSITED GARBAGE TO THE TRASH ROOM WHERE IT WILL BE COMPACTED BY A SMALL COMPACTOR WHICH UTILIZES 2 CY ROLLING CARTS. MANAGEMENT PERSONNEL SHALL BE RESPONSIBLE FOR MANAGING THE ROOM AS NEEDED.
- C. ON TRASH COLLECTION DAY, MANAGEMENT PERSONNEL WILL MOVE COMPACTOR CARTS FROM TRASH ROOM TO THE SIDEWALK ALONG THE INDICATED PATH WHERE THEY CAN BE COLLECTED.
- D. INITIALLY WE ANTICIPATE TRASH PICK-UP TO OCCUR AT LEAST ONCE PER WEEK. MANAGEMENT PERSONNEL WILL MONITOR TRASH VOLUMES AND ADJUST PICK-UP SCHEDULE(S) AS NEEDED.
- E. GARBAGE COLLECTION AND HAUL OFF WILL BE PERFORMED BY A PRIVATE VENDOR, HIRED BY MANAGEMENT.

COMMINGLED RECYCLING SUMMARY

- A. THE TRASH ROOM SHALL BE UTILIZED TO ACCOMMODATE 90 GALLON ROLL CARTS. THE ROLL CARTS WILL BE USED TO STORE ALL COMMINGLED RECYCLING, INCLUDING CORRUGATED CARDBOARD. RESIDENTS WILL BE RESPONSIBLE FOR DEPOSITING THEIR RECYCLABLES INTO THE 90 GALLON ROLL CARTS.
- B. TRASH SHALL NOT BE PLACED IN THE RECYCLING ROLL CARTS AND SIGNS STATING THIS WILL BE PLACED ON THE CARTS.
- C. ON RECYCLING COLLECTION DAY MANAGEMENT PERSONNEL WILL MOVE ROLL CARTS FROM THE TRASH ROOM TO THE SIDEWALK ALONG THE INDICATED PATH WHERE THEY CAN BE COLLECTED.
- D. INITIALLY WE ANTICIPATE COMMINGLED RECYCLING PICK-UP TO OCCUR AT LEAST TWICE PER WEEK. MANAGEMENT PERSONNEL WILL MONITOR COMMINGLED RECYCLING VOLUMES AND ADJUST PICK-UP SCHEDULE(S) AS NEEDED.
- E. RECYCLING COLLECTION AND HAUL OFF WILL BE PERFORMED BY A PRIVATE VENDOR, HIRED BY MANAGEMENT.

Ballentine Associates, PA
 221 Providence Road
 Chapel Hill, NC 27514
 919.979.0481
 ballentineassociates.com



DATE	REVISIONS
26 MAY 23	PER ROUND 1 CZ COMMENTS
25 JUL 23	PER ROUND 2 CZ COMMENTS

OWNER INFORMATION
 TJ Capital II LLC
 4006 Abbey Park Way
 SUITE 350
 Raleigh, NC 27612
OWNERS REPRESENTATIVE:
 Bill Jackson
 PH: (919) 740-2487
 FAX: (XXX) XXX-XXXX
 EMAIL: bjackson@tjma.com

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25 JUL 23	CZ SUBMITTAL #3

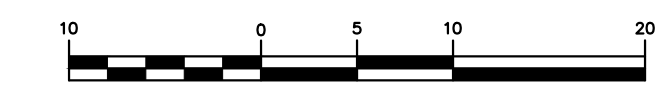
157 E. ROSEMARY STREET
 CHAPEL HILL, NORTH CAROLINA

CONDITIONAL ZONING DRAWINGS

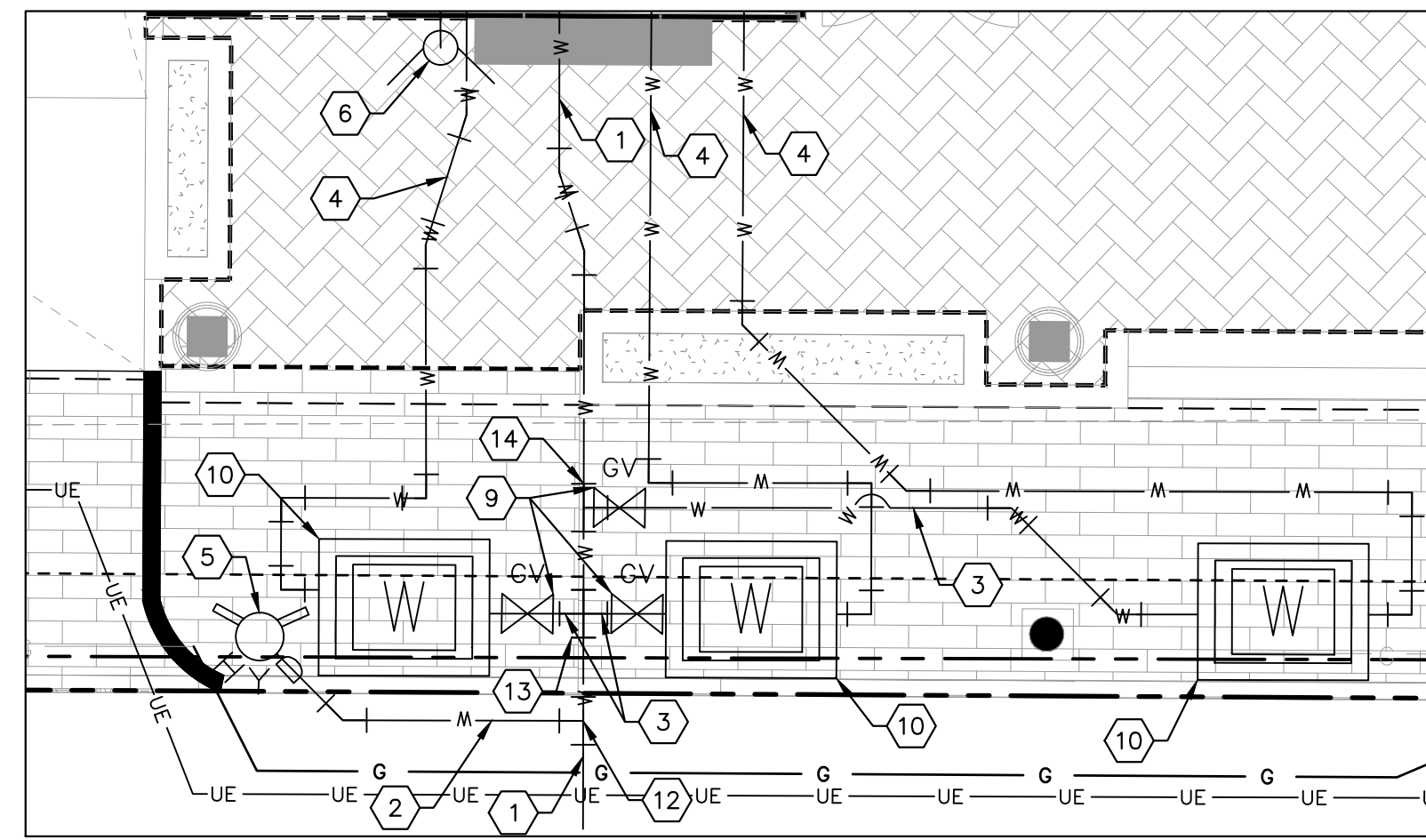
JOB NUMBER: 122002.00
 DATE: 30 MAR 23
 SCALE: AS NOTED
 DRAWN BY: MP
 REVIEWED BY: G.J.R.

SHEET C1002

SOLID WASTE MANAGEMENT PLAN



REVIEW DRAWING NOT FOR CONSTRUCTION



INSET "A":
WATER SERVICE CONNECTION
 C5
 C1101
 SCALE: 1" = 5'

N/F
 GAMMA LAMBDA OF PHI MU FRATERNITY HOUSE CORP
 PIN# 9788-38-9102
 DB 4705, PG 486

UTILITY PLAN NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL & OWASA STANDARDS AND SPECIFICATIONS.
2. THE LOCATION OF THE EXISTING UTILITIES SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION (PRIVATE AND PUBLIC) AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
3. ANY WATER OR SEWER SERVICES TO BE ABANDONED MUST BE ABANDONED AT THE MAIN PER OWASA STANDARDS.

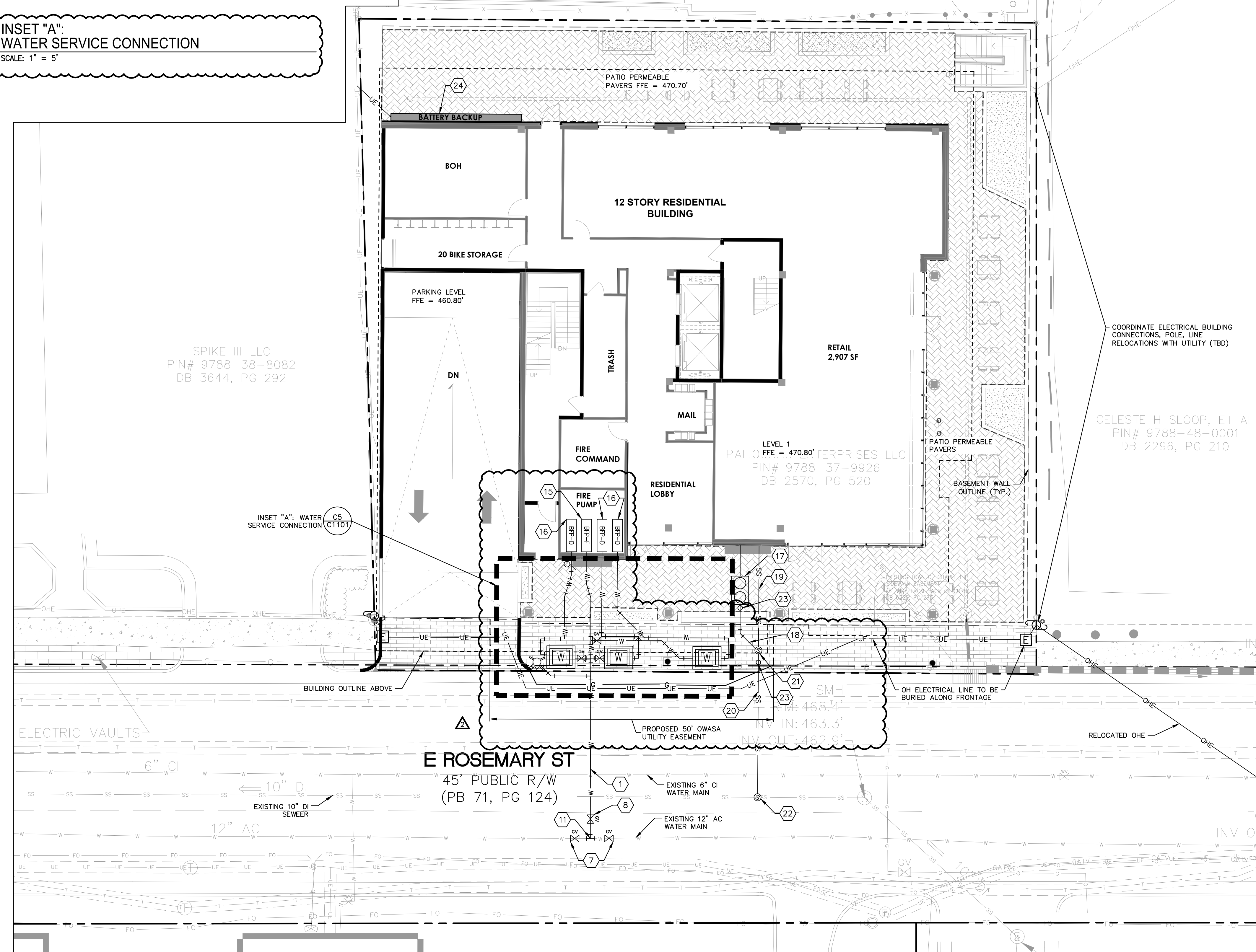
PLAN KEY NOTES

- | | |
|--|---|
| ① 8" DUCTILE IRON WATER LINE | ⑬ 8" x 6" "TEE" FITTING |
| ② 6" DUCTILE IRON WATER LINE | ⑭ 8" x 4" "TEE" FITTING |
| ③ 4" DUCTILE IRON WATER LINE | ⑮ 8" INDOOR FIRE LINE RPDA BACKFLOW PREVENTER |
| ④ 2" TYPE "K" COPPER DOMESTIC LINE | ⑯ 2" INDOOR DOMESTIC RPZ BACKFLOW PREVENTER |
| ⑤ FIRE HYDRANT | ⑰ 500-GALLON GREASE & OIL INTERCEPTOR AT PARKING GARAGE LEVEL |
| ⑥ FIRE DEPARTMENT CONNECTION | ⑱ 4" DUCTILE IRON SANITARY SEWER SERVICE @ 2% MIN. |
| ⑦ 12" GATE VALVE & VALVE BOX | ⑲ 6" DUCTILE IRON SANITARY SEWER SERVICE @ 2% MIN. |
| ⑧ 8" GATE VALVE & VALVE BOX | ⑳ 8" DUCTILE IRON SANITARY SEWER |
| ⑨ 4" GATE VALVE & VALVE BOX | ㉑ PRECAST CONCRETE SANITARY SEWER MANHOLE #2 |
| ⑩ 2" DOMESTIC WATER METER IN UNDERGROUND VAULT | ㉒ DOGHOUSE PRECAST CONCRETE SANITARY SEWER MANHOLE #1 |
| ⑪ 12" x 8" "TEE" FITTING | ㉓ CLEANOUT |
| ⑫ 8" x 4" "CROSS" FITTING | ㉔ BATTERY BACKUP GENERATION SYSTEM |

DRAWING LEGEND

SYMBOL/ABBREVIATION
 EXISTING PROPOSED DESCRIPTION

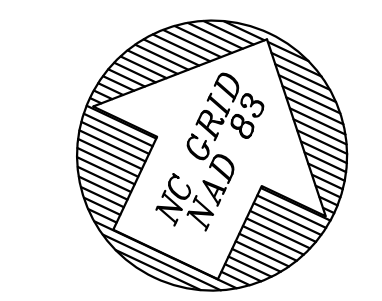
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
---	---	FENCE LINE
SD SD	---	STORM DRAIN LINE
W	W	WATER LINE
SS	SS	SANITARY SEWER LINE
UE	UE	UNDERGROUND ELECTRIC LINE
OHE	OHE	OVERHEAD ELECTRIC LINE
G	G	GAS LINE
T	---	TELEPHONE LINE
FO	---	FIBER OPTIC LINE
---	---	TREE LINE
○	○	EXISTING IRON PIPE SIGN
□	□	MAIL BOX
○	○	BOLLARD
○	○	BORE HOLE
○	○	CATCH BASIN
○	○	DROP INLET
○	○	JUNCTION BOX
○	○	WATER METER
○	○	WATER VALVE
○	○	FIRE HYDRANT
○	○	FIRE DEPARTMENT CONNECTION
○	○	BACKFLOW PREVENTER
○	○	BLOW OFF VALVE
○	○	45° - BEND PIPE
○	○	90° - BEND PIPE
○	○	TEE - BEND PIPE
○	○	SANITARY SEWER MANHOLE
○	○	SANITARY SEWER CLEANOUT
○	○	POWER POLE
○	○	LIGHT POLE
○	○	ELECTRIC BOX
○	○	ELECTRIC TRANSFORMER
○	○	HVAC UNIT
○	○	TELEPHONE PEDESTAL
○	○	TELEPHONE VAULT
○	○	TELEPHONE MANHOLE
○	○	FIBER OPTIC MARKER



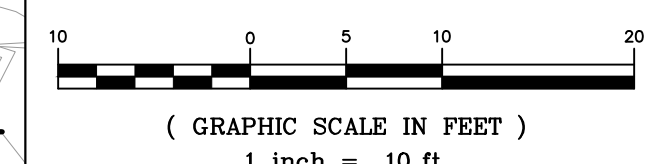
SPIKE III LLC
 PIN# 9788-38-8082
 DB 3644, PG 292

LEVEL 1 PALIO FFE = 470.80' TERPRISES LLC
 PIN# 9788-37-9926
 DB 2570, PG 520

CELESTE H SLOOP, ET AL
 PIN# 9788-48-0001
 DB 2296, PG 210

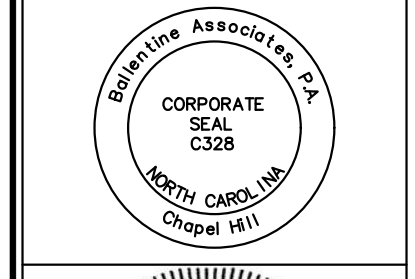


UTILITY PLAN



REVIEW DRAWING
NOT FOR CONSTRUCTION

Baillentine Associates, PA
 221 Providence Road
 Chapel Hill, NC 27514
 919.979.0481
 baillentine.com



DATE
 26 MAY 23
 25 JUL 23

DATE	REVISIONS
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25 JUL 23	PER ROUND 2 CZ COMMENTS

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 4006 Abbey Park Way
 SUITE 350
 Raleigh, NC 27612
OWNERS REPRESENTATIVE:
 Bill Jackson
 PH: (919) 740-2487
 FAX: (XXX) XXX-XXXX
 EMAIL: jackson@tjcapital.com

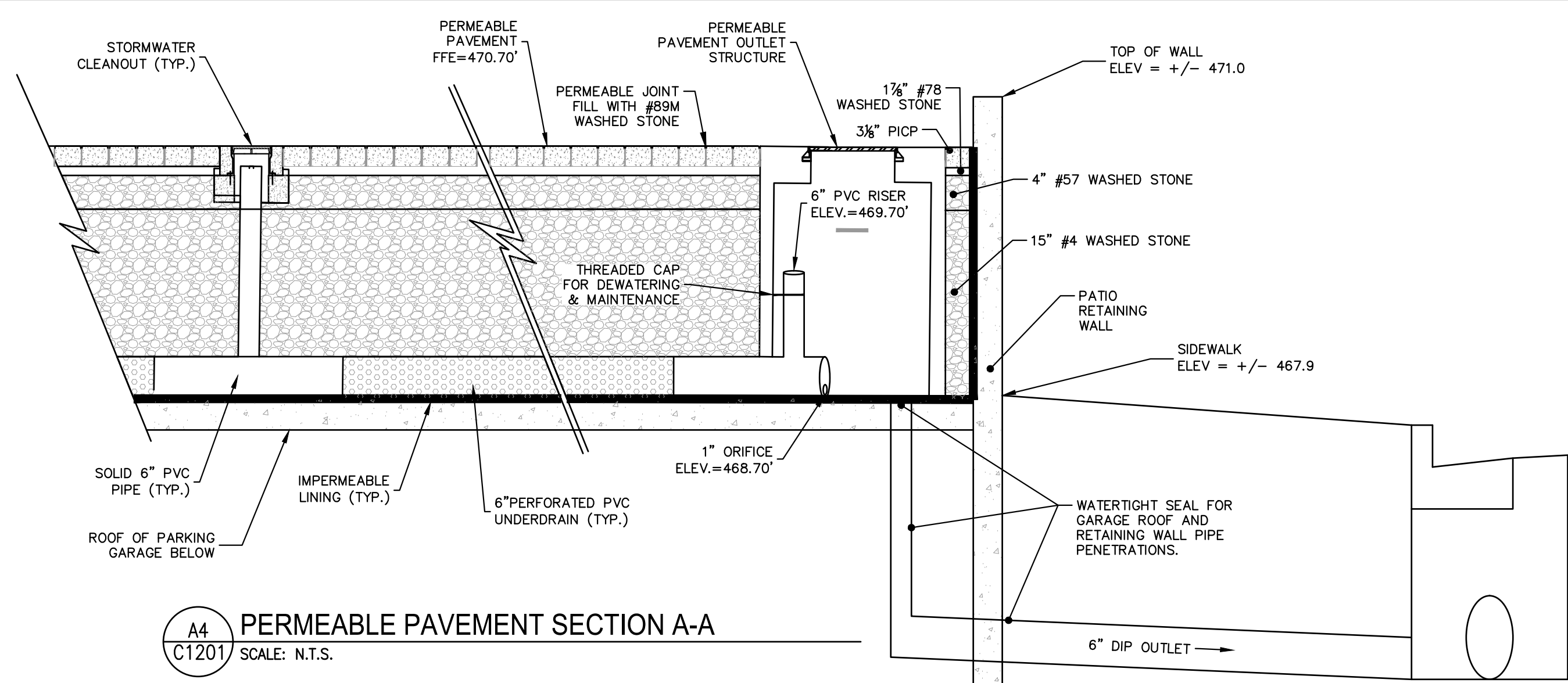
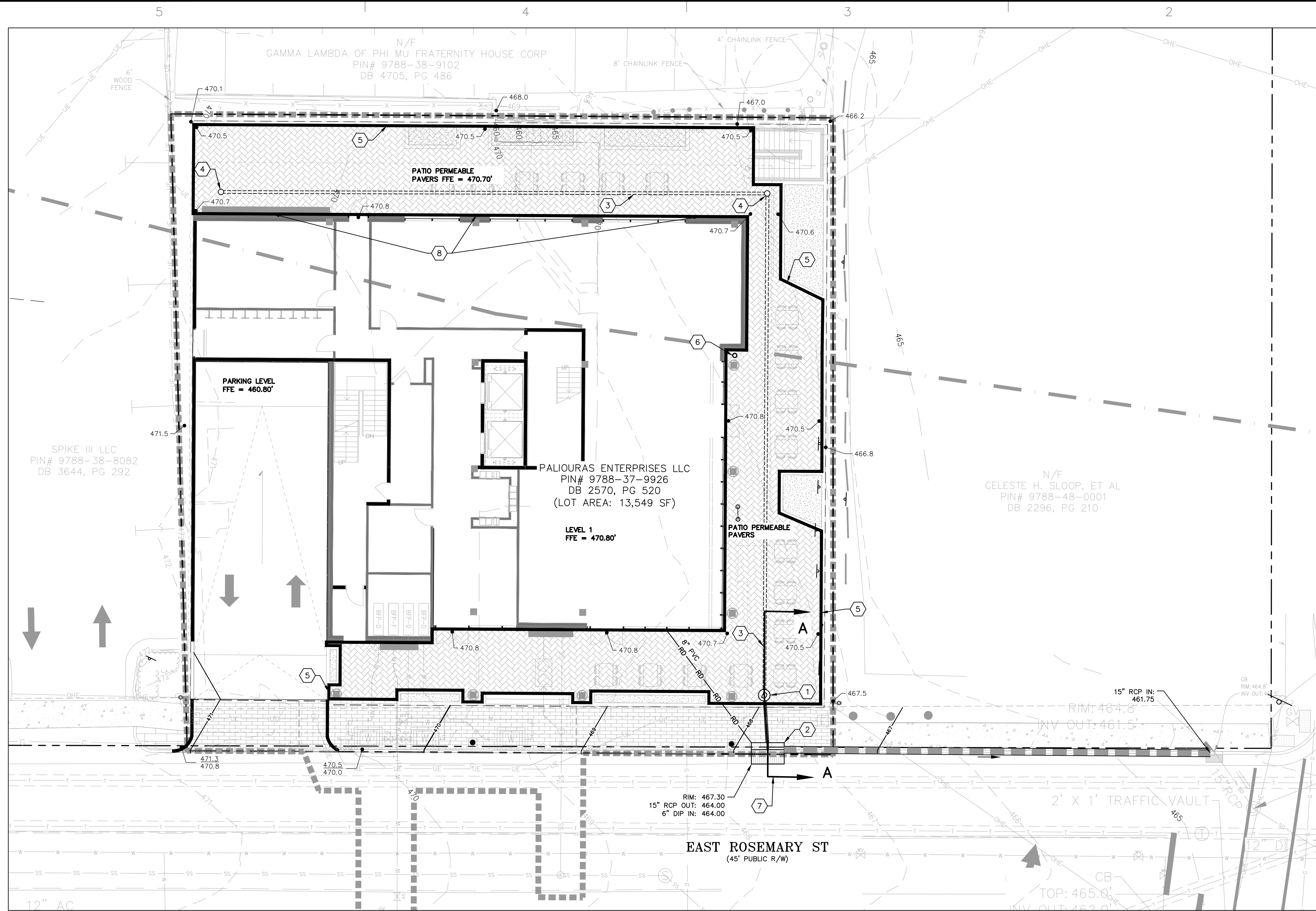
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157 E. ROSEMARY STREET
 CHAPEL HILL, NORTH CAROLINA

CONDITIONAL ZONING DRAWINGS

JOB NUMBER: 122002.00
 DATE: 30 MAR 23
 SCALE: AS NOTED
 DRAWN BY: MP
 REVIEWED BY: G.J.R.

SHEET
C1101



GRADING AND STORM DRAINAGE NOTES

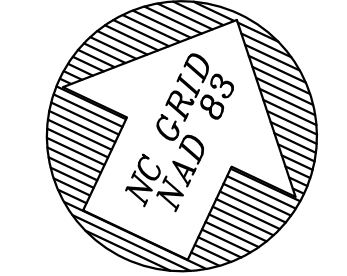
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE NCDOT, NCDOT AND TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949). LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- ALL STORM DRAINAGE PIPING WITH INSIDE DIAMETER OF 15 INCHES AND LARGER SHALL BE CLASS III RCP.
- THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
- ALL SIDEWALKS SHALL BE CONSTRUCTED SUCH THAT THE LONGITUDINAL SLOPE DOES NOT EXCEED 5% AND THE CROSS-SLOPE DOES NOT EXCEED 2%. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
- TOTAL DISTURBED AREA = 0.31 ACRES. SEE IMPERVIOUS BREAKDOWN IN "SITE DATA" TABLE ON SHEET C1001.
- ALL ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
- ALL STORM DRAINAGE STRUCTURES SHALL MEET NCDOT STANDARDS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- NO GROUNDWATER DISCHARGE INTO STORM DRAINPIPES WITHOUT PERFORMING ANALYTICAL SAMPLING OF THE WATER AND APPROVAL FROM THE TOWN STORMWATER MANAGEMENT DIVISION.
- HYDRAULIC ELEVATOR SUMPS AND FLOOR DRAINS SHALL BE CONNECTED TO SANITARY SEWER.
- A GEOTECHNICAL REPORT, INCLUDING WATER TABLE INFORMATION, WILL BE PROVIDED WITH THE ZONING COMPLIANCE PERMIT SUBMITTAL.

DRAWING LEGEND

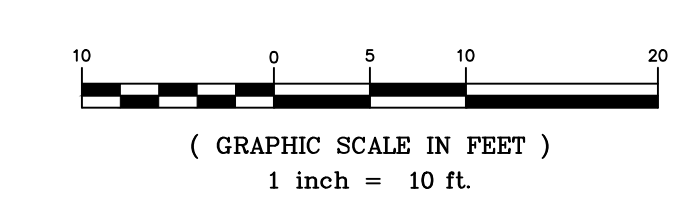
SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
---	---	FENCE LINE
SD-SD	SD-SD	STORM DRAIN LINE
---	RD	ROOF DRAIN LINE
---	---	WATER LINE
SS	SS	SANITARY SEWER LINE
UE	UE	UNDERGROUND ELECTRIC LINE
OHE	OHE	OVERHEAD ELECTRIC LINE
---	---	TREE LINE
490	490	MAJOR CONTOUR
492	492	MINOR CONTOUR
---	---	LIMITS OF DISTURBANCE
---	---	EXISTING IRON PIPE
---	---	CALCULATED POINT
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	FIRE DEPARTMENT CONNECTION
---	---	BACKFLOW PREVENTER
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	GREASE PIT
---	---	POWER POLE
---	---	LIGHT POLE

PLAN KEY NOTES

- PERMEABLE PAVEMENT OUTLET STRUCTURE
- STANDARD CATCH BASIN (NCDOT) (TYP.)
- 6" PERFORATED PVC UNDERDRAIN (HATCHED AREA - TYP.)
- STORMWATER CLEANOUT (TYP.)
- PERMEABLE PAVEMENT BOUNDARY
- OBSERVATION WELL
- PERMEABLE PAVEMENT SECTION A-A
- ROOF LEADERS DRAINING TO SURFACE OF PERMEABLE PAVEMENT



GRADING AND DRAINAGE PLAN



REVIEW DRAWING NOT FOR CONSTRUCTION

Balentine Associates, PA
 221 Providence Road
 Chapel Hill, NC 27514
 919.972.0881
 balentines.com

REGISTERED PROFESSIONAL ENGINEER
 STATE OF NORTH CAROLINA
 LICENSE NO. 49173
 GEORGE J. RETCOLE

REGISTERED PROFESSIONAL ENGINEER
 STATE OF NORTH CAROLINA
 LICENSE NO. 49173
 GEORGE J. RETCOLE

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SHEET C1201