

Rosemary/Columbia Hotel

110 West Rosemary Street

CONDITIONAL ZONING APPLICATION
CHAPEL HILL, NORTH CAROLINA

CONTRACT PURCHASER / CLIENT:

SMART OLYMPIA CAROLINA LLC
20600 CHAGRIN BOULEVARD, SUITE 705
SHAKER HEIGHTS, OH 44122
216-533-0500
CONTACT: ED SMALL

APPLICANT / CONSULTANT:

LANDSCAPE ARCHITECT / LAND PLANNER:
CJT, PA
111 WEST MAIN STREET
DURHAM, NC 27701
919-682-0368
CONTACT: WENDI RAMSDEN

RESOURCE CONSERVATION NOTES

STREAM BUFFERS:
THERE ARE NO MAPPED STREAMS ON SITE.

FLOODPLAIN PROTECTION:
THE SITE IS NOT IN AN AREA AFFECTED BY A MAPPED FLOODPLAIN ACCORDING TO FIRM MAP 3710978800K EFFECTIVE 11-17-17.

STEEP SLOPE PROTECTION:
THERE ARE 2,173 SF OF STEEP SLOPES ON SITE - ALL ARE CONSTRUCTED (NOT NATURAL) SLOPES

WETLANDS:
THERE ARE NO MAPPED WETLANDS ONSITE.

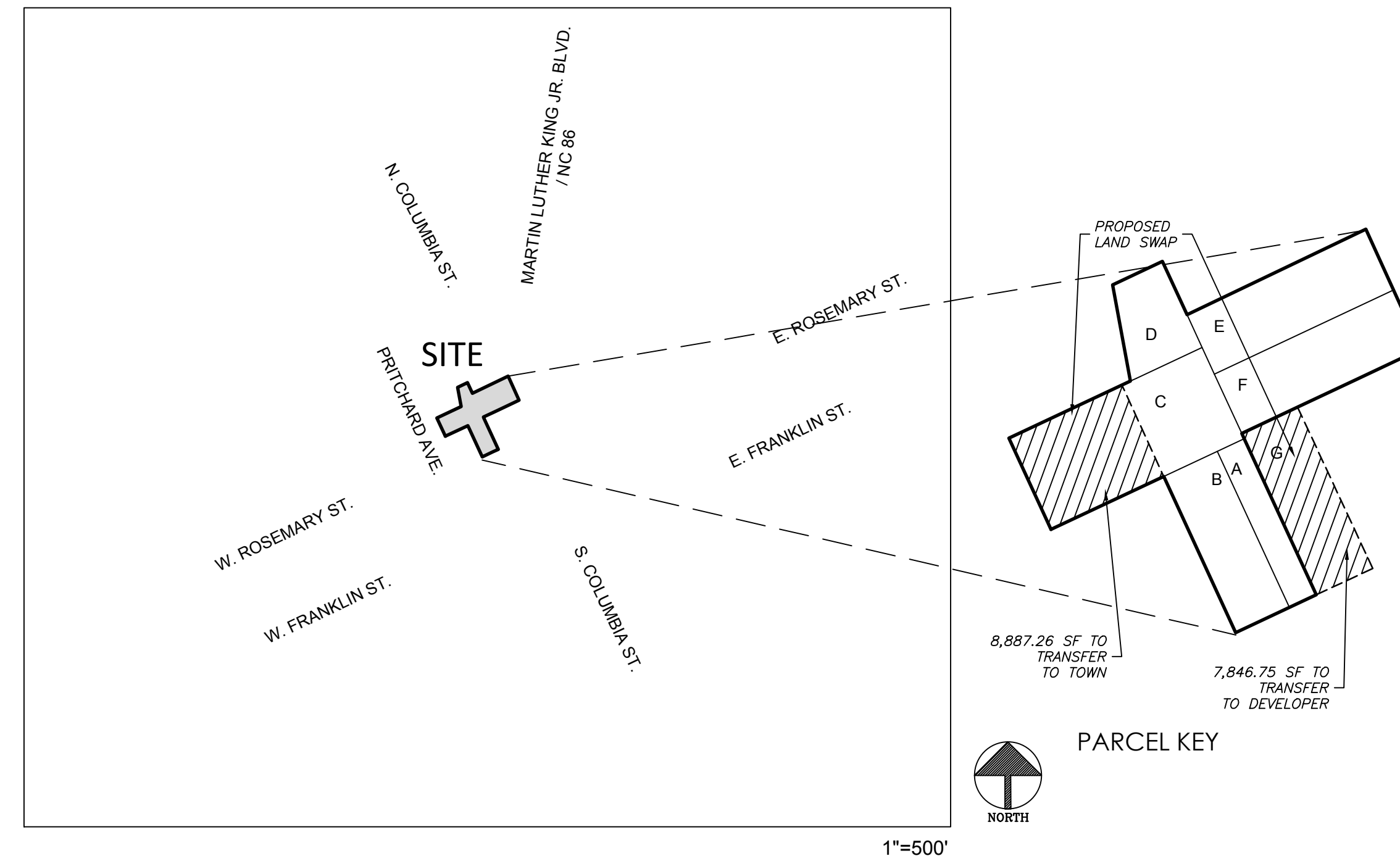
PROJECT NOTES

BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY BALLANTINE ASSOCIATES, PA
DATED AUGUST 26, 2019

SURROUNDING SITE AND PROPERTY INFORMATION PER CHAPEL HILL GIS

TOWN OF CHAPEL HILL NOTES

- A FIRE FLOW REPORT SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A ZCP.
- P.E. CERTIFICATION: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY PHASE, THE APPLICANT SHALL PROVIDE A CERTIFICATION, SIGNED AND SEALED BY A NORTH CAROLINA-LICENSED PROFESSIONAL ENGINEER, THAT THE STORMWATER MANAGEMENT FACILITY IS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
- AS-BUILT PLANS: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE CERTIFIED AS-BUILT PLANS FOR BUILDING FOOTPRINTS, PARKING LOTS, STREET IMPROVEMENTS, STORM DRAINAGE SYSTEMS AND STORMWATER MANAGEMENT STRUCTURES, AND ALL OTHER IMPERVIOUS SURFACES, AND A TALLY OF THE CONSTRUCTED IMPERVIOUS AREA. THE AS-BUILT PLANS SHOULD BE IN DXF BINARY FORMAT USING STATE PLANE COORDINATES AND NAVD 88.



PROJECT DATA:

PARCEL A: ADDRESS PIN OWNER ACREAGE ZONING	108 WEST ROSEMARY STREET 9788-37-0680 KW RC PROPERTIES LLC 3,624.9 SF TC-2
PARCEL B: ADDRESS PIN OWNER ACREAGE ZONING	114 WEST ROSEMARY STREET 9788-37-0549 KW RC PROPERTIES LLC 7,249.8 SF TC-2
PARCEL C: ADDRESS PIN OWNER ACREAGE PROPOSED ACREAGE: ZONING	208 PRITCHARD AVENUE 9788-27-9667 KW RC PROPERTIES LLC 15,262.3 SF 8,887.26 SF / 0.204 AC R-3
PARCEL D: ADDRESS PIN OWNER ACREAGE ZONING	N/A (NO STREET FRONTAGE) 9788-27-9700 KW RC PROPERTIES LLC 4,527.3 SF R-3
PARCEL E: ADDRESS PIN OWNER ACREAGE ZONING	205 NORTH COLUMBIA STREET 9788-37-0721 KW RC PROPERTIES LLC 9,320.0 SF OI-1
PARCEL F: ADDRESS PIN OWNER ACREAGE ZONING	205 NORTH COLUMBIA STREET 9788-37-0647 KW RC PROPERTIES LLC 9,166.9 SF TC-2
PARCEL G: ADDRESS PIN OWNER ACREAGE ZONING	110 WEST ROSEMARY STREET 9788-37-0535 TOWN OF CHAPEL HILL 7,846.75 SF TC-2
TOTAL SURVEYED AREA:	56,997.96 SF / 1.31 AC
PARCELS A THRU F UNDER CONTRACT TO DEVELOPER:	49,151.20
PROPOSED POST DEVELOPMENT LAND OWNED BY PROJECT DEVELOPER:	48,110.70 SF / 1.10 AC
LAND USE: EXISTING PROPOSED	VACANT COMMERCIAL, CONVERTED RESIDENCES, ONE SINGLE FAMILY RESIDENTIAL HOTEL
ZONING: PROPOSED	OI REZONE TO TC-2 - CZD R-3 REZONE TO TC-2 - CZD
ALLOWABLE FAR FOR PROPOSED ZONE:	1.97 MAX.
EXISTING BUILDINGS:	- 1,250 SF ONE STORY BRICK BUILDING TO BE REMOVED - 1,689 SF TWO STORY WOOD FRAME HOUSE TO BE REMOVED 2,939 SF TOTAL SQUARE FOOTAGE TO BE REMOVED
PROPOSED BUILDINGS: HOTEL	1,800 SF BUILDING TO REMAIN, TO BE DEEDED TO TOWN (LOCATED ON PARCEL C) +/- 20,500 SF FOOTPRINT (+/- 92,500 SF TOTAL) 130-135 ROOMS
BUILDING HEIGHT:	5 STORIES PLUS LOWER SERVICE LEVEL ACCESSED FROM NORTH DRIVEWAY
VEHICULAR PARKING: REQUIRED MAXIMUM PROPOSED	N/A (TOWN CENTER DISTRICT) 122 (0.9 PER LODGING UNIT - 135 X 0.9 = 122) APPROX 40 SPACES ON-SITE
BICYCLE PARKING: REQUIRED PROPOSED	9 (1 PER 15 LODGING UNITS 140 / 15 = 9) 10 SPACES (5 LOOPS) 4 LOOPS IN PROTECTED PARKING DECK, 1 LOOP NEAR LOBBY ENTRY
PROJECT AREA:	74,134 SF / 1.70 AC INCLUDES TOWN LAND TO BE DEVELOPED
LOCATION	TOTAL AREA DISTURBANCE PRE-DEV IMPERVIOUS POST-DEV IMPERVIOUS
PROJECT AREA	74,134 SF 63,200 SF 50,164 SF 53,727 SF
FINAL HOTEL SITE	48,111 SF 47,440 SF 26,114 SF 39,249 SF
POCKET PARK PARCEL	8,180 SF 7,966 SF 5,184 SF 5,054 SF

LIST OF SHEETS:

REVISED	CZ-0.0	COVER SHEET
	CZ-0.1	AREA MAP
	CZ-1.0	EXISTING CONDITIONS PLAN
	CZ-1.1	NOTES
REVISED	CZ-1.2	CONSTRUCTION MANAGEMENT PLAN
REVISED	CZ-1.3	LANDSCAPE PROTECTION PLAN
REVISED	CZ-2.0	SITE PLAN
REVISED	CZ-3.0	GRADING & STORMWATER PLAN
REVISED	CZ-5.0	UTILITY PLAN
REVISED	CZ-6.0	LIGHTING PLAN
REVISED	CZ-7.0	LANDSCAPE PLAN
	CZ-8.0	SITE DETAILS
REVISED	AS101	EXTERIOR ELEVATIONS AND BUILDING ENVELOPE
REVISED	AS102	EXTERIOR ELEVATIONS AND BUILDING ENVELOPE
REVISED	AS103	EXTERIOR ELEVATIONS AND BUILDING ENVELOPE



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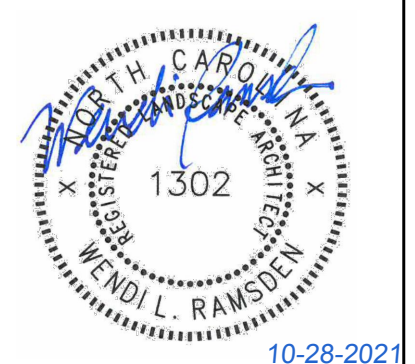
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PRELIMINARY-DO NOT
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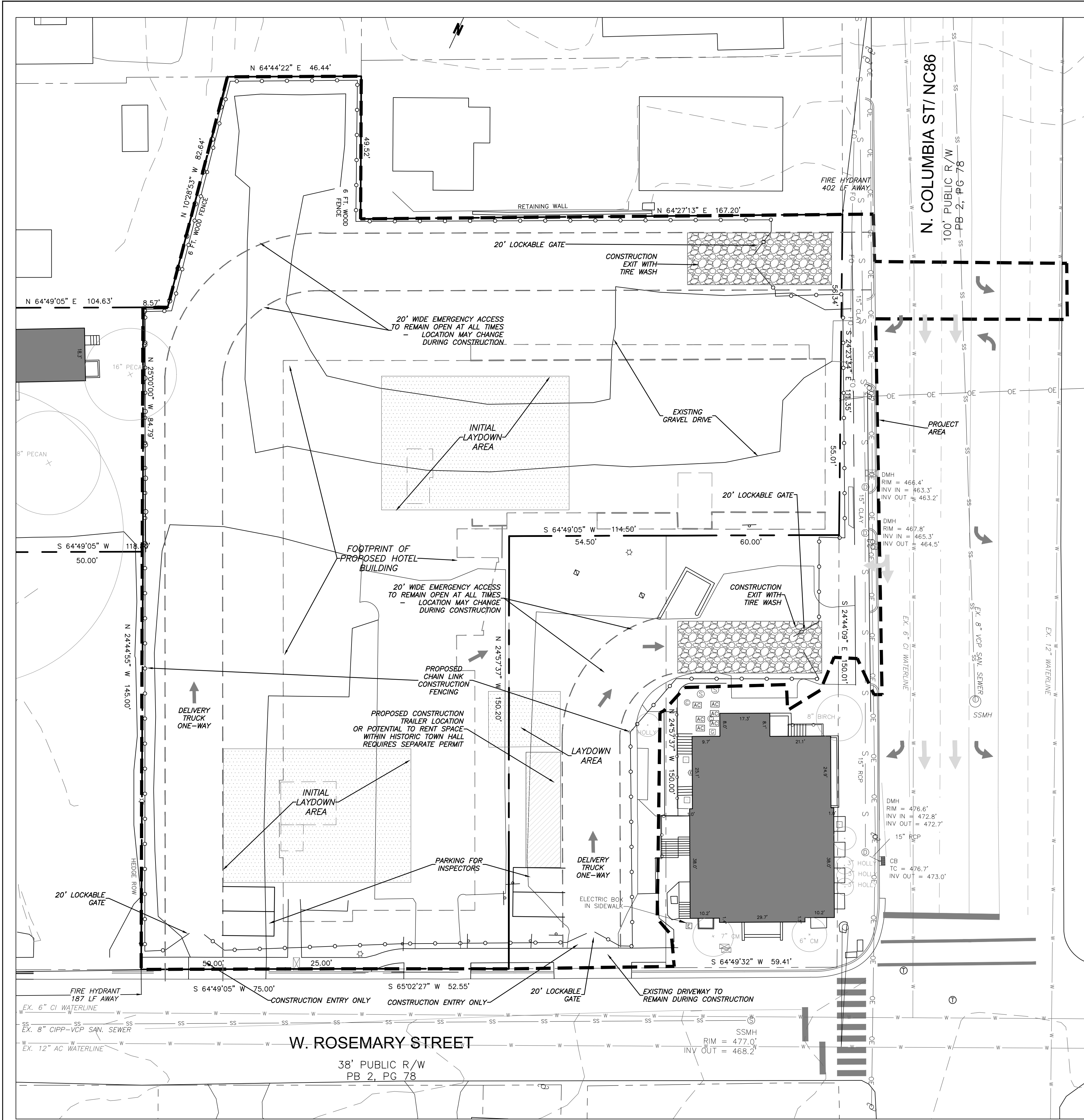
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Conditional zoning

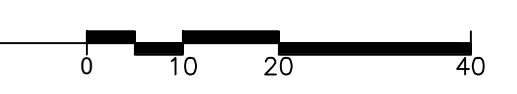
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COVER
SHEET

Sheet Number
CZ-0.0



1 CONSTRUCTION MANAGEMENT PLAN
CZ-1.2 1" = 20'



CONSTRUCTION STAGING NOTES

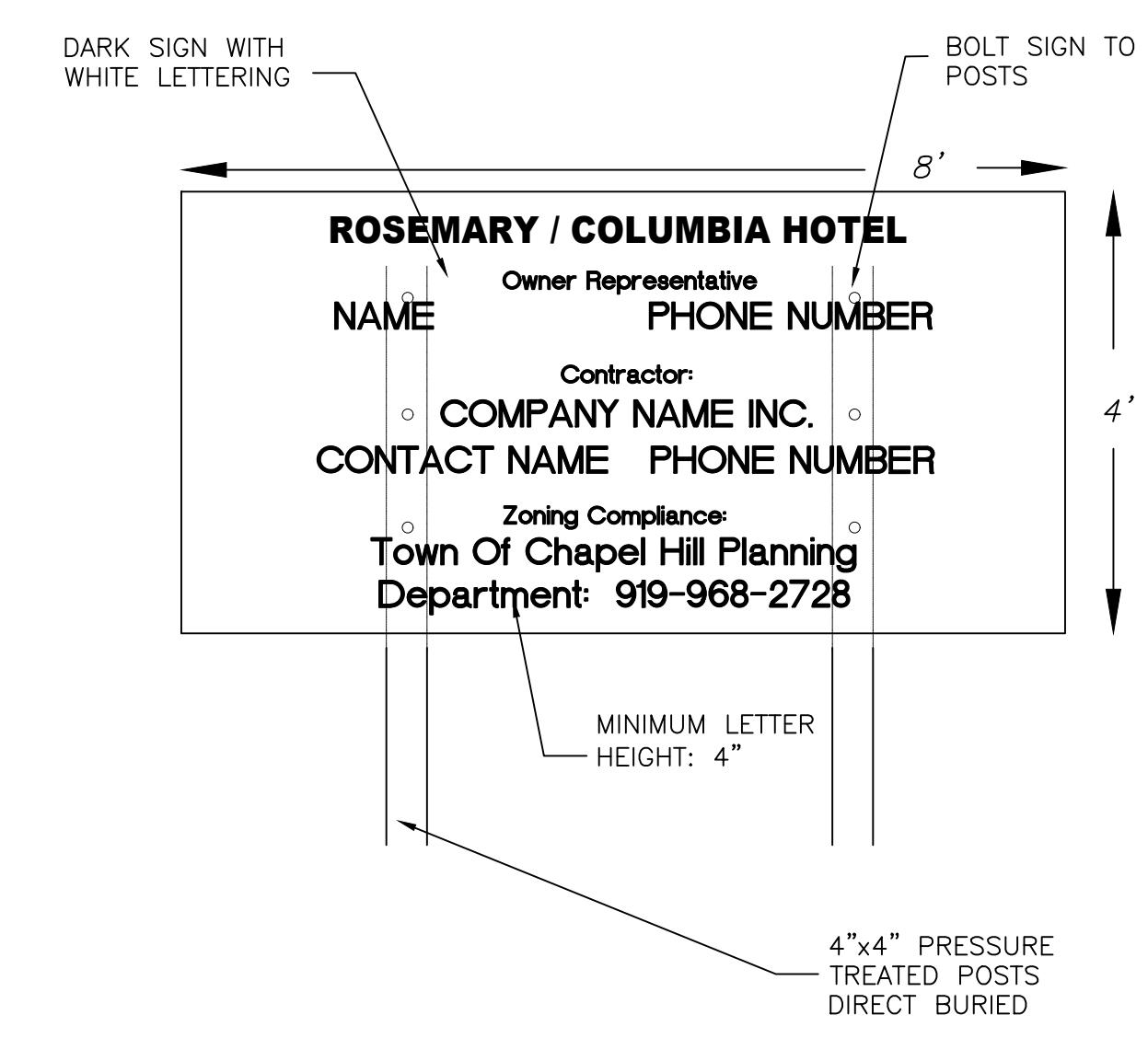
- EXISTING GRAVEL PARKING IS TO BE LEFT INTACT FOR CONSTRUCTION WORKERS UNTIL WORK IS DONE IN EACH AREA AND GRAVEL NEEDS TO BE REMOVED.
- NO CONSTRUCTION PARKING WILL BE ALLOWED ON ADJACENT RESIDENTIAL STREETS.
- HOURS OF CONSTRUCTION ARE MONDAY TO FRIDAY 7 AM TO 6 PM, AND SATURDAY AS NEEDED BETWEEN 8 AM AND 6 PM. THERE WILL BE NO CONSTRUCTION ON SUNDAYS. THE TOWN OF CHAPEL HILL NOISE ORDINANCE MUST BE COMPLIED WITH. THE TOWN ORDINANCE SPECIFIES CONSTRUCTION OPERATIONS ARE LIMITED TO 7 AM TO 9 PM WEEKDAYS, AND 8 AM TO 9 PM WEEKENDS. ANY ROCK REMOVAL WORK NEEDS TO BE COORDINATED WITH TOWN ADMINISTRATION, AND NEIGHBORS NOTIFIED IN ADVANCE.
- PROVIDE ON-SITE PARKING FOR INSPECTORS AT EACH BUILDING FOR THE DURATION OF THE CONSTRUCTION PROJECT.

FIRE PROTECTION NOTES

- CONTRACTOR SHALL MAINTAIN A FIRE WATCH DURING THE CONSTRUCTION OR DEMOLITION OF "HOT WORK" THAT MAY SUBJECT MATERIALS TO SPONTANEOUS COMBUSTION. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS.
- ALL CONSTRUCTION AND DEMOLITION SHALL COMPLY WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC (FIRE CODE).
- ANY PERMANENT OR TEMPORARY GATES ACROSS FIRE ACCESS DRIVES SHALL BE A MINIMUM WIDTH OF 20', EITHER SWINGING OR SLIDING TYPE, HAVE AN EMERGENCY MEANS OF OPERATION, AND SHALL BE OPERABLE BY EITHER FORCIBLE ENTRY OR KEYS, CAPABLE OF BEING OPERATED BY ONE PERSON, AND SHALL BE INSTALLED AND MAINTAINED ACCORDING TO UL 325 AND ASTM F 2200 NC FPC 2012.

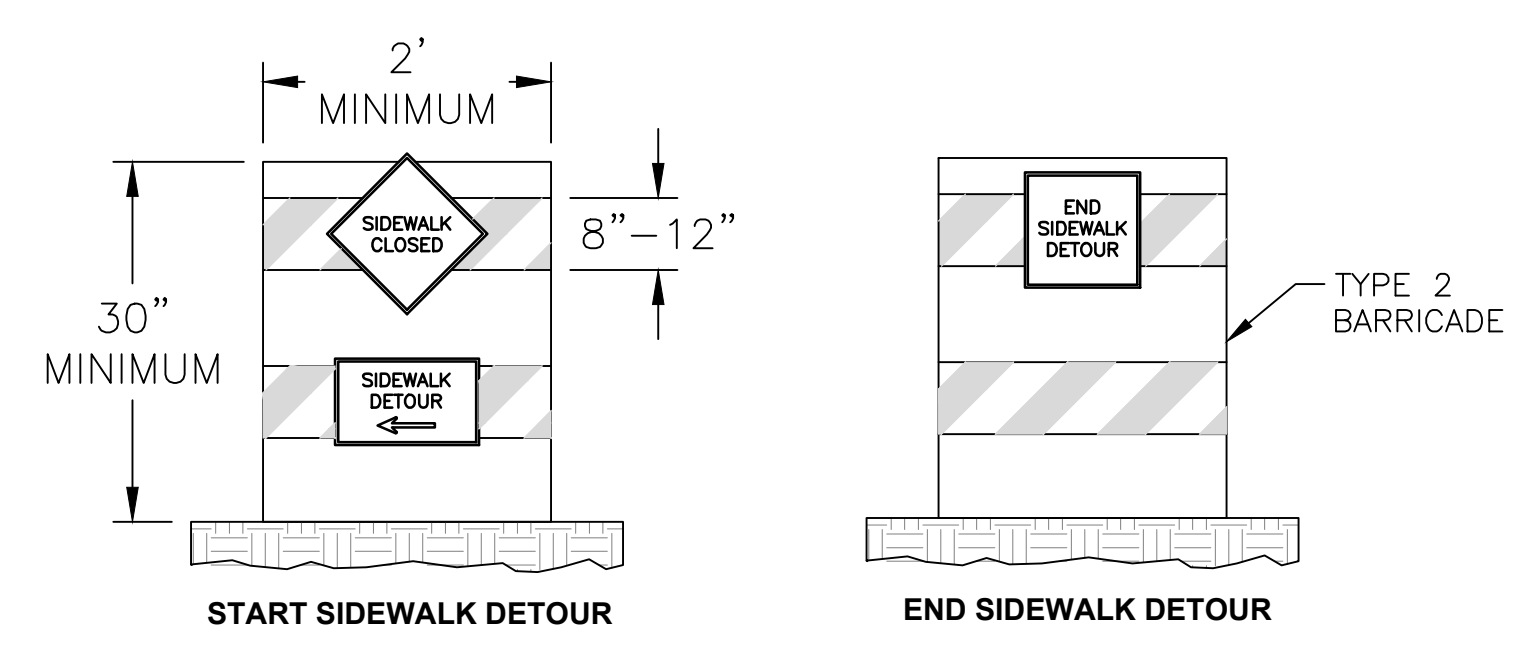
TRAFFIC/PEDESTRIAN CONTROL NOTES

- SIGNS SHOWN ON THIS PLAN ARE REQUIRED DURING THE CONSTRUCTION OF THIS PROJECT.
- CONSTRUCTION WILL REQUIRING TEMPORARY LANE CLOSURES ON PUBLIC STREETS NEED TOWN APPROVAL. TEMPORARY LANE CLOSURES ARE ONLY ALLOWED DURING DAYLIGHT HOURS.
- ALL WORK ZONE SIGNAGE SHALL COMPLY WITH APPLICABLE M.U.T.C.D. STANDARDS AND DETAILS.
- PRIOR TO ANY TRAFFIC LANE CLOSURES, IT WILL BE NECESSARY TO CONTACT ERNIE ROGERS AT 919-968-2833, OF THE CHAPEL HILL ENGINEERING DIVISION, AT LEAST 5 WORKING DAYS BEFORE THE PROPOSED WORK TO APPLY FOR A LANE CLOSURE PERMIT.
- SIGNS AND TEMPORARY BARRICADES AS SHOWN BELOW WILL BE PLACED TO DIRECT PEDESTRIANS WHEN SIDEWALKS ARE IN THE CONSTRUCTION AREAS.



2 CONSTRUCTION SIGN
CZ-1.2 NOT TO SCALE

- NOTES:
- AT A MINIMUM, THE SIGN IS TO INCLUDE THE FOLLOWING INFORMATION: PROJECT NAME, OWNER CONTACT, CONTRACTOR CONTACT, ZONING COMPLIANCE CONTACT.
 - SIGN IS TO BE A MAXIMUM OF 4' X 8'.
 - SIGN IS TO BE REMOVED AT PROJECT COMPLETION.
 - THE SIGN WILL NEED A SEPARATE PERMIT THROUGH TOWN OF CHAPEL HILL PLANNING DEPARTMENT.



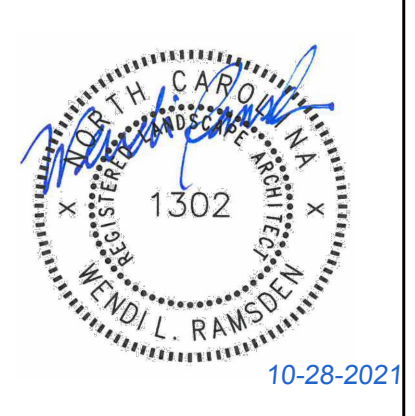
3 SIDEWALK CLOSURE SIGNAGE
CZ-1.2 NOT TO SCALE

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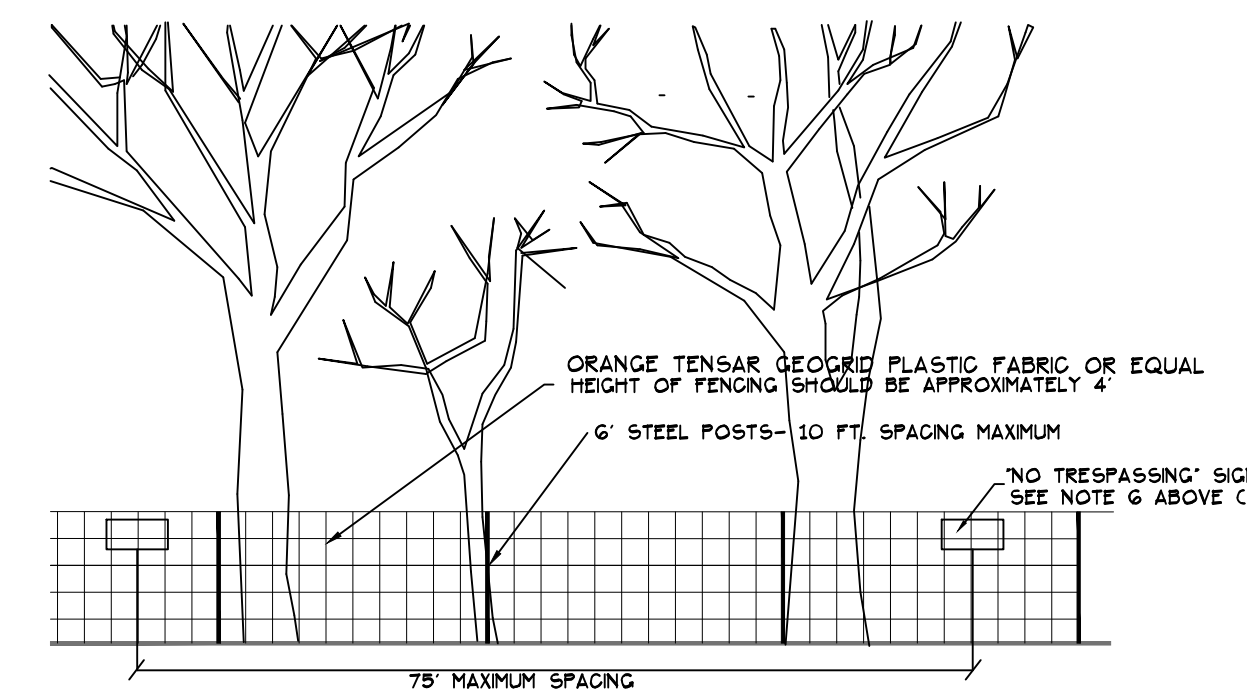
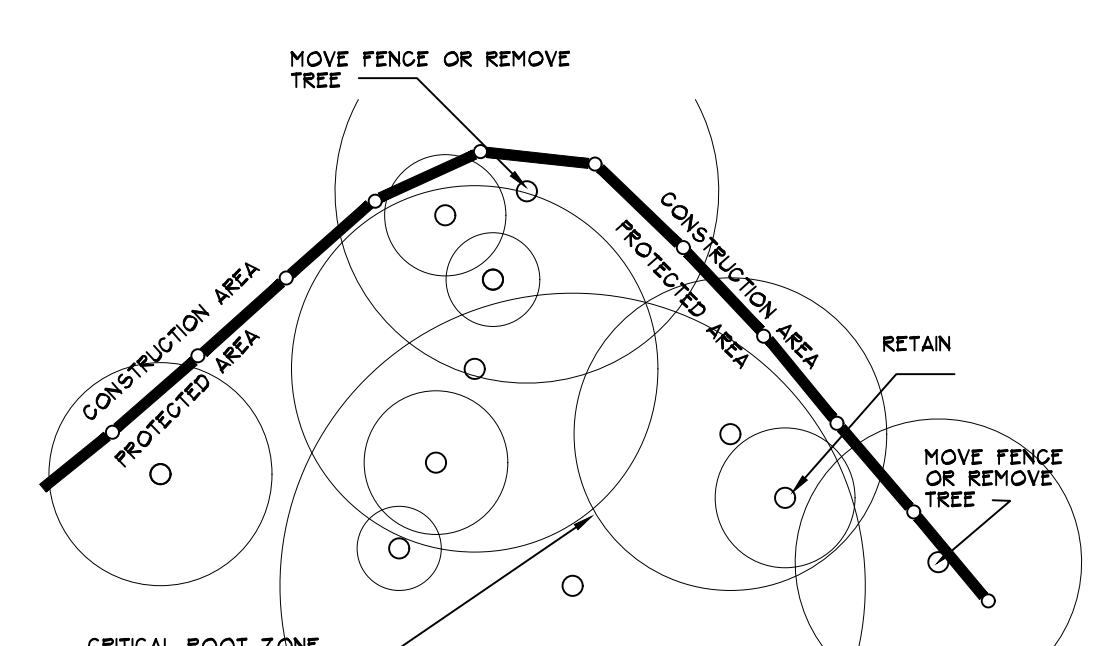
Sheet Title:
**CONSTRUCTION
MANAGEMENT
PLAN**

Sheet Number
CZ-1.2



LEGEND

Water Valve	⊗
Yard Inlet	⊠
Curb Inlet/Catch Basin	⊡
Mail Box	⊞
Traffic Signal Box	⊞
Electric Transformer	⊞
Electric Junction Box	⊞
Gas Meter	⊞
Sanitary Sewer Manhole	⊞
Storm Sewer Manhole	⊞
Telephone Manhole	⊞
Electric Manhole	⊞
Sign	⊞
Telephone Pedestal	⊞
Fire Hydrant	⊞
Fire Department Connection	⊞
Post Indicator Valve	⊞
Water Manhole	⊞
Water Meter	⊞
Hot Box	⊞
Utility Pole	⊞
Guy Wire	⊞
Light Pole	⊞
Sewer Cleanout	⊞
Flared End Section	⊞
Gas Valve	⊞
Existing Iron Pipe (3/4" unless noted)	⊞
1/2" Rebar	⊞
Existing PK Nail	⊞
PK Nail Set	⊞
Computed Point	⊞
Concrete Monument	⊞
Tree Line	⊞
Fence	⊞
Underground Electric	⊞
Underground Telephone	⊞
Gas Line	⊞
Water Line	⊞
Overhead Utilities	⊞
Storm Sewer	⊞
Sanitary Sewer	⊞
Guard Rail	⊞



- NOTES:**
1. MOVE FENCE OR REMOVE TREE IF MORE THAN 20% OF A TREE'S CRITICAL ROOT AREA IS UNPROTECTED.
 2. TREES TO BE REMOVED WITHIN THE TREE PROTECTION AREA (BECAUSE >20% OF ROOT ZONE IS DISTURBED) WILL BE FELLED TOWARD THE CLEARED CONSTRUCTION AREA.
 3. ROOT PRUNE TREES TO REMAIN, WHERE CONSTRUCTION ACTIVITIES WILL SEVER ROOTS.
 4. ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
 5. THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES WILL NOT BE DRIVEN ON OR OTHERWISE DISTURBED DURING THE INSTALLATION OF LANDSCAPING.
 6. DO NOT DISPOSE OF ANY CHEMICALS OR REMOVE SOIL OUTSIDE THE LIMITS OF WORK.
 7. WHEN INSTALLING NEW LANDSCAPE PLANTS, DO NOT DRIVE EQUIPMENT UPON OR DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.
 8. SIGNAGE MUST BE PLACED ON TREE PROTECTION FENCING WITH A MAXIMUM SPACING OF 75' ON CENTER, TO READ "TREE PROTECTION AREAS - NO TRESPASSING WITHIN FENCE".

2 TREE PROTECTION FENCING
CZ-1.3 NTS

3 TREE COVERAGE CALCULATION
CZ-1.3 NTS

CANOPY COVERAGE WITHIN PROJECT AREA: 10,492 SF
CANOPY AREA TO BE REMOVED: 10,087 SF

1 EXISTING CONDITIONS - LANDSCAPE PROTECTION PLAN
CZ-1.3 1" = 20'

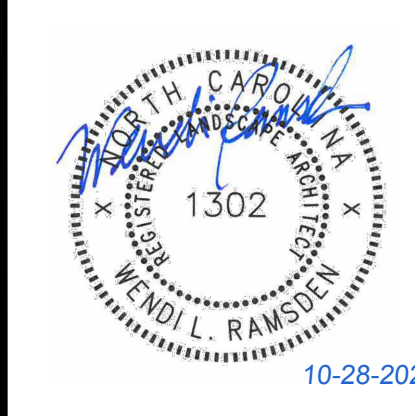
1. ALL SPECIMEN AND RARE TREES WERE SURVEYED AND ARE SHOWN.
2. THERE ARE NO SIGNIFICANT TREE STANDS IN THE PROJECT AREA.
3. TREES ARE DRAWN TO SIZE REPRESENTING THE CRITICAL ROOT ZONE.
4. A PRE-CONSTRUCTION MEETING WITH THE TOWN'S URBAN FORESTER IS REQUIRED PRIOR TO STARTING ANY WORK ON SITE.
5. THE DEVELOPER SHALL DESIGNATE A LANDSCAPE PROTECTION SUPERVISOR WHO HAS COMPLETED INSTRUCTION IN LANDSCAPE PROTECTION PROCEDURES WITH THE TOWN.
6. IT SHALL BE THE DUTY OF THE LANDSCAPE PROTECTION SUPERVISOR TO ENSURE THE PROTECTION OF NEW OR EXISTING LANDSCAPE ELEMENTS, AS DEFINED IN THE LANDSCAPE PROTECTION PLAN. AT LEAST ONE IDENTIFIED LANDSCAPE PROTECTION SUPERVISOR SHALL BE PRESENT ON THE DEVELOPMENT SITE AT ALL TIMES WHEN ACTIVITY THAT COULD DAMAGE OR DISTURB SOIL AND ADJACENT LANDSCAPE ELEMENTS OCCURS, INCLUDING BUT NOT LIMITED TO: DURING CLEARING AND GRUBBING, DURING ANY EXCAVATION GRADING TRENCHING OR MOVING OF SOIL, DURING REMOVAL INSTALLATION OR MAINTENANCE OF LANDSCAPE ELEMENTS AND TREE PROTECTION FENCING, OR DURING DELIVERY TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT ON SITE.

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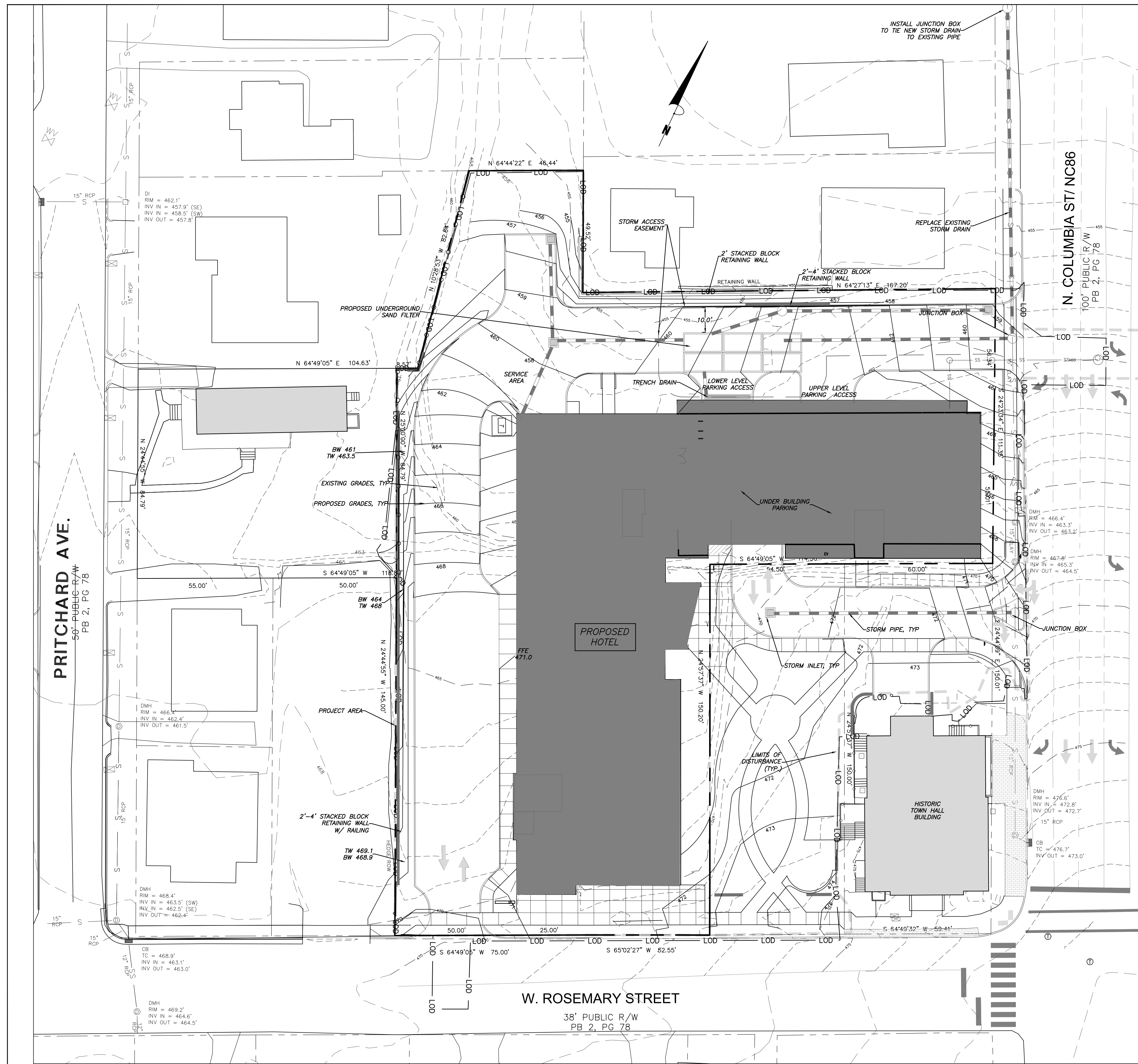


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Sheet Title:
LANDSCAPE PROTECTION PLAN
Sheet Number:
CZ-1.3

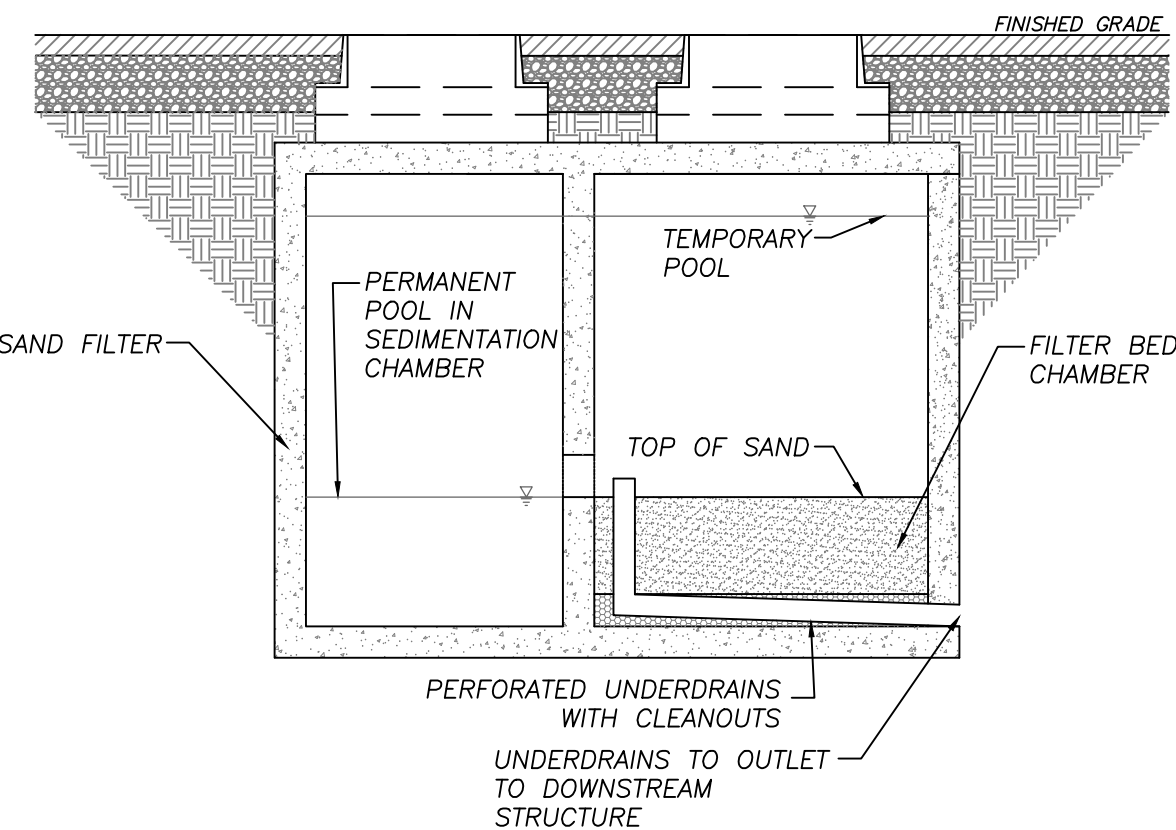


GRADING NOTES

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL AND NCDOT STANDARDS AND SPECIFICATIONS.
3. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
4. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
5. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
6. SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
7. ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
8. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.8% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.
9. CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
10. CURB INLETS: PROVIDE PRE-CAST CURB INLET HOODS AND COVERS STATING, "DUMP NO WASTE! DRAINS TO JORDAN LAKE", IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN STANDARD DETAIL SD-5A, FOR ALL NEW CURB INLETS FOR PRIVATE, TOWN AND STATE RIGHTS-OF-WAY.
11. BW (BOTTOM OF WALL) ELEVATION IS FINISH GRADE, NOT THE FOOTING. REFERENCE RETAINING WALL PLANS/DETAILS FOR DEPTH OF FOOTING.
12. ANY DISTURBANCE WITHIN THE FORESTED "NO LAND DISTURBANCE AREA" WILL REQUIRE AN UPDATE TO THE JORDAN ACCOUNTING TOOL.

STORMWATER NOTES


1. ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND NCDOT STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
11. RISER STRUCTURES WITH MULTIPLE BARREL SECTIONS SHALL HAVE GASKETTED JOINTS, AND EACH SECTION SHALL BE BOLTED TO ADJACENT SECTIONS WITH STAINLESS STEEL STRAPS.
- 12.



2 SCHEMATIC UNDERGROUND SAND FILTER
CZ-3.0 N.T.S.

1 GRADING AND STORMWATER PLAN
CZ-3.0 1" = 20'





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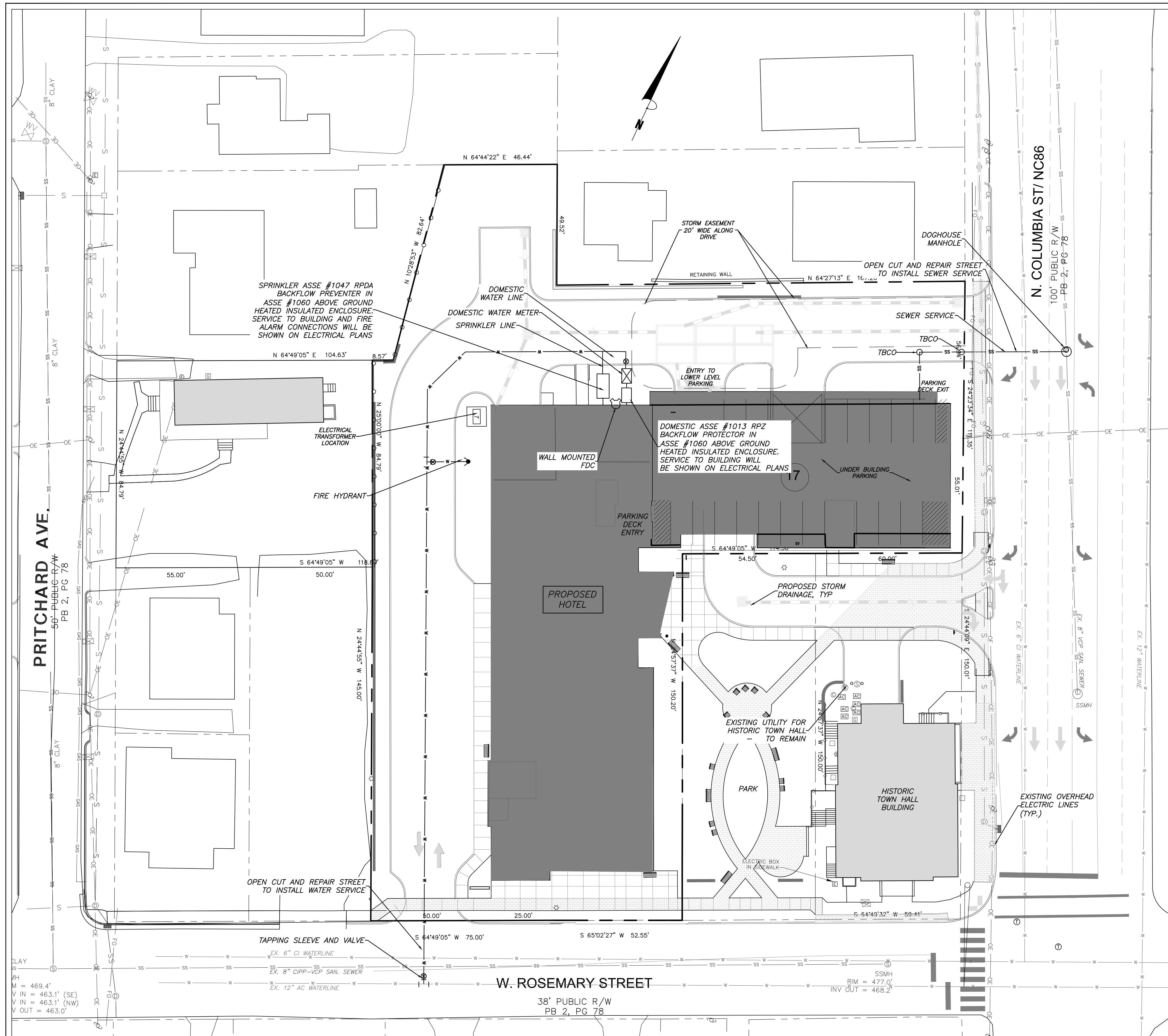
Conditional zoning

Sheet Title:

GRADING AND STORMWATER PLAN

Sheet Number

CZ-3.0



UTILITY NOTES

- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY OWASA.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND OWASA STANDARDS AND SPECIFICATIONS.
- ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
- BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN; TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
- RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).
- PROVIDE 10-FT OF HORIZONTAL SEPARATION BETWEEN PROPOSED NEW WATER AND SEWER MAINS

SANITARY SEWER:

- BACKFLOW PREVENTORS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
- MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
- MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
- MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

WATER:

- WATERLINES WILL BE 3' OFF CURB AND GUTTER UNLESS SHOWN OTHERWISE.
- LAY WATER MAINS AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
- WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
- MAINTAIN A MINIMUM COVER OF 36" AND MAXIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.
- ALL FDC(S) AND HYDRANT(S) SHALL BE SIAMESE CONNECTIONS AND MEET TOWN OF CHAPEL HILL AND OWASA STANDARDS.
- A FIRE SPRINKLER SYSTEM WILL BE REQUIRED FOR THE HOTEL.
- A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO INSTALL ANY NEW UNDERGROUND OR ABOVE-GROUND TANKS THAT CONTAINED FLAMMABLE/COMBUSTIBLE LIQUIDS. 2018 NC FIRE CODE SECTION 105.6.17.



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NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC # C-1209
 NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104

Project:

**Rosemary/
 Columbia
 Hotel**

110 W. Rosemary St.
 Orange County,
 North Carolina

PIN:
 9788-37-0680
 9788-37-0549
 9788-27-9667
 9788-27-9700
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 9788-37-0647



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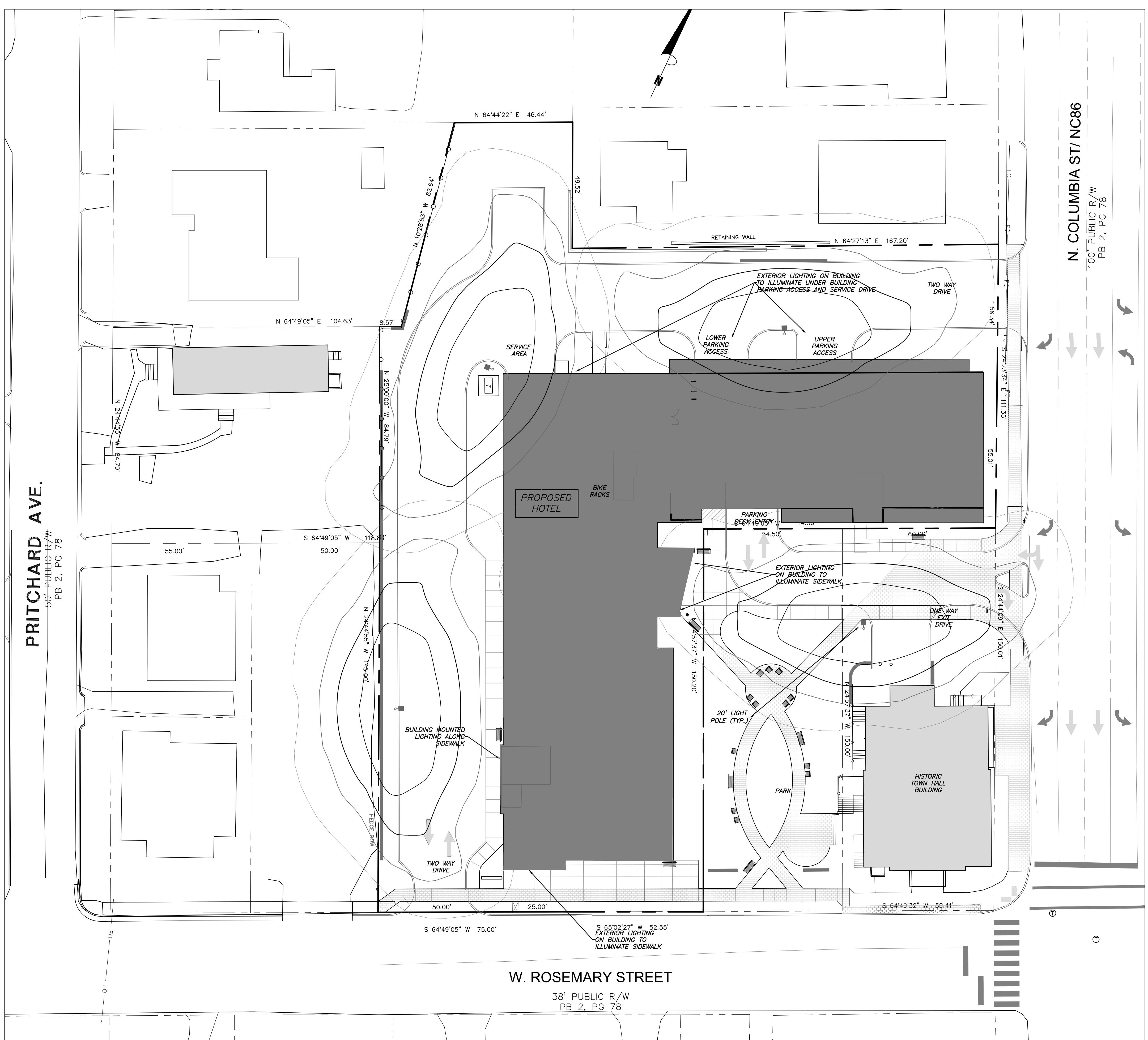
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UTILITY PLAN

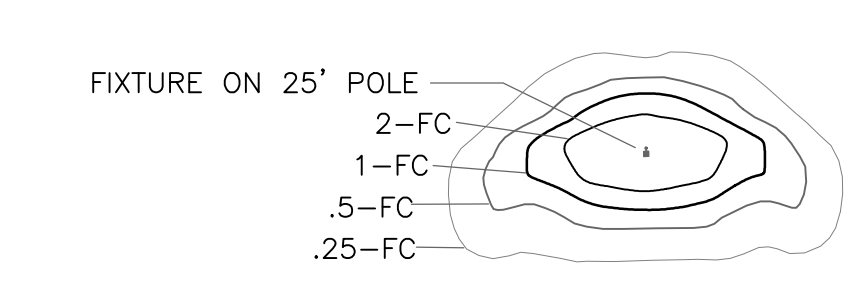
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CZ-5.0

1
 CZ-5.0
 UTILITY PLAN
 1" = 20'





LEGEND



LIGHTING NOTES

LIGHTING CONDUIT

- LIGHTING CONDUIT SHALL MEET THE FOLLOWING GUIDELINES.
- CONDUIT DESIGN MUST BE APPROVED BY DUKE ENERGY PRIOR TO INSTALLATION. CHANGING THE CONDUIT LAYOUT CAN CAUSE CONDUCTOR LENGTH TO EXCEED ACCEPTABLE VOLTAGE LEVEL WHICH WILL AFFECT THE LIGHT'S ABILITY TO OPERATE.
 - ALL CONDUITS ARE TO BE 2" SCHEDULE 40 GRAY ELECTRICAL PVC.
 - ALL JOINTS ARE TO BE GLUED.
 - ALL ENDS ARE TO BE MARKED WITH SCRAP CONDUIT OR A BOARD (PAINTING THE GROUND WITH MARKING PAINT IS NOT ACCEPTABLE). IT IS STRONGLY SUGGESTED THAT THE ENDS SHOULD BE IDENTIFIED BY GPS COORDINATES.
 - ALL ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
 - ALL CONDUITS MORE THAN 30' IN LENGTH SHALL HAVE A STRING INSTALLED.
 - TO COMPLY WITH NESC, ALL CONDUIT ARE TO BE INSTALLED AT A MINIMUM DEPTH OF 30" FROM FINISH GRADE TO TOP OF CONDUIT. CONDUITS THAT CAN NOT MEET THIS CRITERIA MUST BE INCASED IN 3" MINIMUM CONCRETE ENVELOPE. (FLOWABLE FILL IS ACCEPTABLE IN PLACE OF CONCRETE).
 - IF CONCRETE ENCASED CONDUIT IS REQUIRED AT ANY POINT, IT MUST BE ENCASED IN CONCRETE UNTIL PIPE IS BACK DOWN TO REQUIRED DEPTH.
 - PEDESTAL AREAS WHERE MULTIPLE CONDUIT ENDS TERMINATE ARE TO HAVE THE CONDUIT ENDS WITHIN 12" OF EACH OTHER.
 - DIRECT BURIED LIGHT POLE AREAS ARE TO HAVE CONDUITS TERMINATE 36" APART AND 12" BACK OF POLE LOCATION.
 - CONDUITS SERVING LIGHTS ON CONCRETE REVEALS ARE TO BE CONTINUOUS FROM REVEAL TO REVEAL.

LIGHTING NOTES

- MEASURES SHALL BE PROVIDED TO PREVENT LIGHT SPILLOVER ONTO ADJACENT PROPERTIES AND GLARE TOWARD MOTOR VEHICLE OPERATORS. EXTERIOR LIGHTS SHALL BE SHIELDED SO THEY DO NOT CAST DIRECT LIGHT BEYOND THE PROPERTY LINE.
- PROVIDE 2" PVC CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AS NECESSARY, AND AS DETERMINED BY DUKE ENERGY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES. COORDINATE WITH DUKE ENERGY TO FINALIZE CONDUIT LOCATIONS AND LENGTHS.

SPECIAL COORDINATION NOTES:

- CONTRACTOR IS TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS WITH DUKE ENERGY PRIOR TO INSTALLATION OF WALLS AND PAVING.
- ABOVE GROUND PEDESTALS AND LIGHT POLES WILL BE PROVIDED AND INSTALLED BY DUKE ENERGY.
- CONTRACTOR IS TO REFER TO DUKE ENERGY SPECIFICATIONS FOR CONDUIT INSTALLATION.
- CONDUIT IS TO BE FURNISHED AND INSTALLED BY CONTRACTOR.

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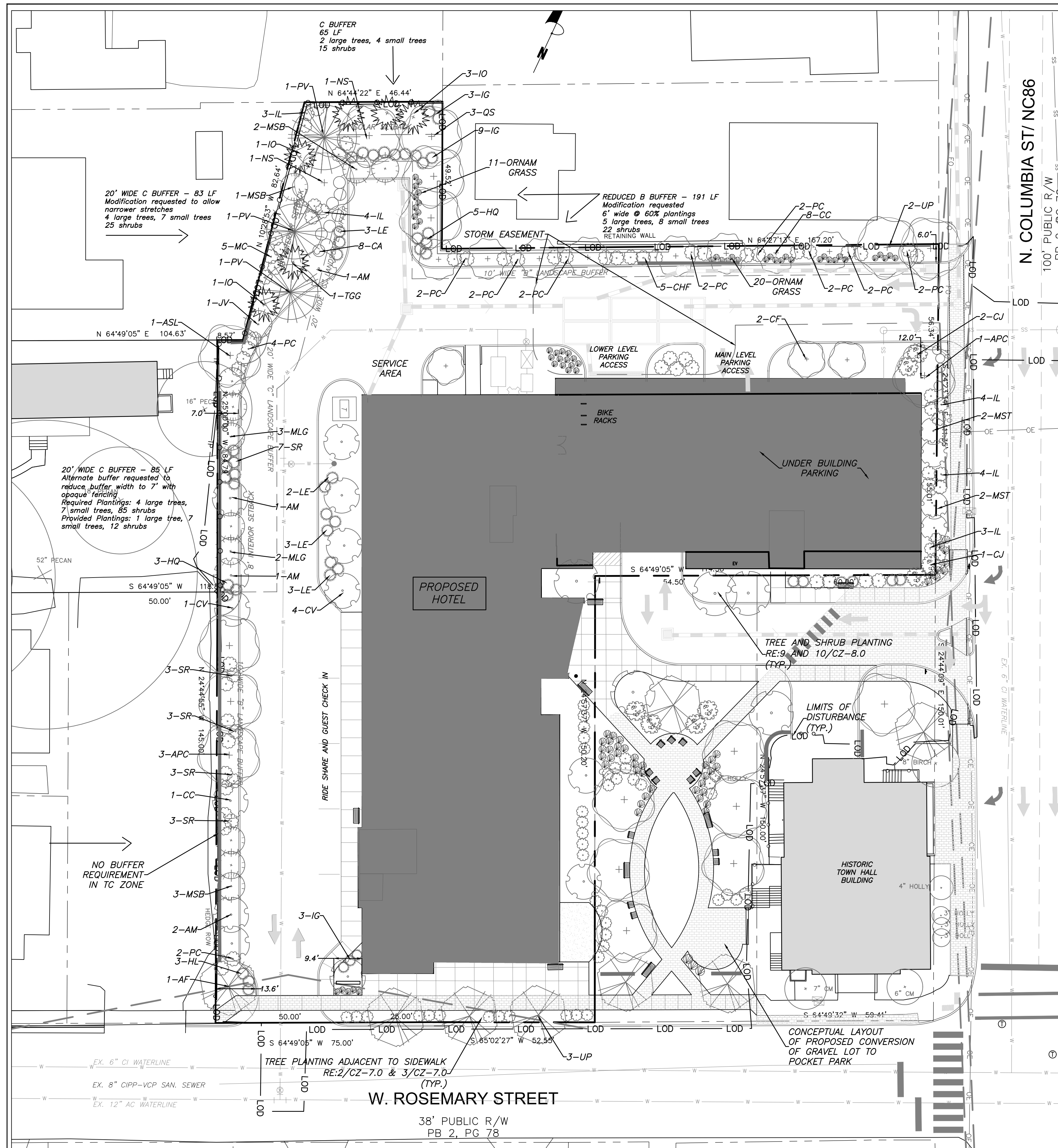
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Sheet Title:

**LIGHTING
 PLAN**

Sheet Number
CZ-6.0



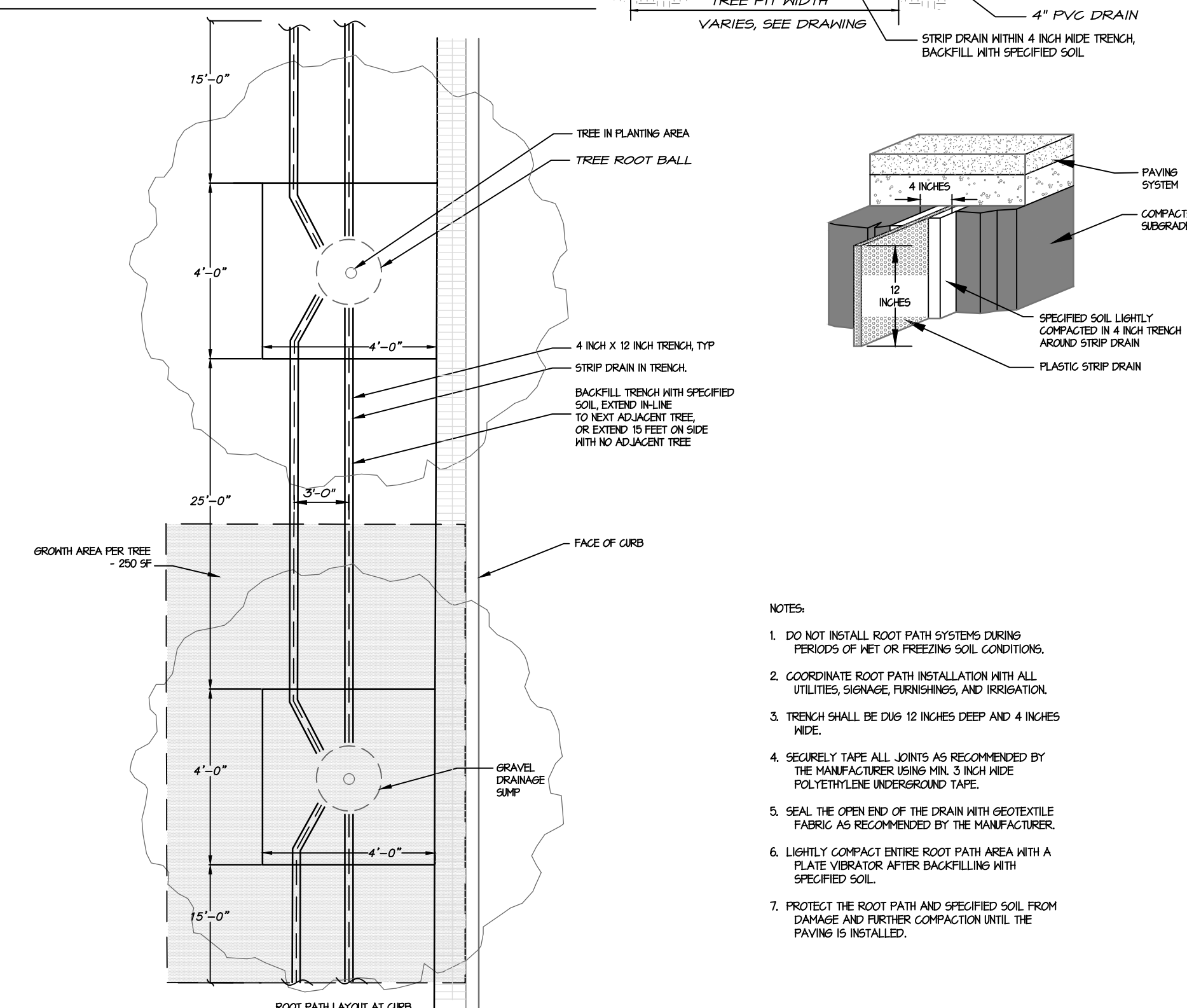


1 LANDSCAPE PLAN
CZ-7.0
1" = 20'

TREE CANOPY CALCULATION

EXISTING TREE CANOPY: 10,492 SF
 TREE CANOPY TO BE REMOVED: 10,087 SF
 REQUIRED TREE CANOPY: NONE REQUIRED IN TC ZONE
 PROPOSED TREE CANOPY: INSTALLATION OF A MINIMUM OF: 23 TALL MATURING TREES, AND 43 UNDERSTORY TREES

2 TREE PIT WITH ROOT PATH SYSTEM
CZ-7.0



3 ROOT PATH STREET TREE PLANTING DETAIL
CZ-7.0

QTY	EVGN	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
CANOPY TREES							
1	N	AF	Acer freemanii	Freeman Maple	2.5" CAL.	14' ht.	AS SHOWN SINGLE TRUNK & LEADER
4	N	APC	Acer platanoides 'Columnare'	Columnar Norway Maple	2.5" CAL.		SINGLE TRUNK & LEADER
1	N	ASL	Acer saccharum 'Legacy'	Legacy Sugar Maple	2.5" CAL.		AS SHOWN SINGLE TRUNK & LEADER
2	N	NS	Nyssa sylvatica	Black gum	2.5" CAL.	14' ht.	AS SHOWN SINGLE TRUNK & LEADER
2	Y	PV	Pinus virginiana	Virginia Pine	2" cal.	12' ht.	AS SHOWN SINGLE TRUNK & LEADER
3	N	OS	Quercus shumardii	Shumard Oak	2.5" CAL.	12' ht.	AS SHOWN SINGLE TRUNK & LEADER
5	N	UP	Ulmus americana 'Princeton'	Princeton American Elm	2.5" CAL.	14' ht.	AS SHOWN SINGLE TRUNK & LEADER
18							
UNDERSTORY TREES							
5	N	AM	Amerlancher arborea	Serviceberry	1" cal.	8' HT.	AS SHOWN MULTI-TRUNK
9	N	CC	Cercis canadensis 'Hearts of Gold'	Hearts of Gold Redbud	1" cal.	8' HT.	AS SHOWN SINGLE TRUNK & LEADER
2	N	CF	Cornus florida	Dogwood	1" cal.	8' HT.	AS SHOWN
6	N	CV	Chionanthus virginiana	Fringetree	1" cal.	8' HT.	AS SHOWN
6	Y	IO	Ilex opaca	American Holly	1" cal.	6' HT.	8' O.C. SINGLE TRUNK & LEADER
1	Y	JV	Juniperus virginiana	Eastern Redcedar	8" HT.	AS SHOWN	FULL AND MATCHING
5	N	MC	Myrica cerifera	Eastern Waxmyrtle	8" HT.	AS SHOWN	FULL
5	Y	MLG	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	1.5" cal.	8' ht.	10' O.C. FULL AND MATCHING
6	Y	MSB	Magnolia virginiana	Sweetbay Magnolia	1.5" cal.	8' ht.	AS SHOWN FULL
4	N	MST	Magnolia stellata 'Royal Star'	Royal Star Magnolia	5' ht		FULL
1	Y	TGG	Thuja x Green Giant	Green Giant Arborvitae	1.5" cal.	8' ht.	10' O.C. FULL
50							
SHRUBS							
8	N	CA	Callicarpa americana	American Beautyberry	24" ht.		5' o.c. FULL AND MATCHING
5	Y	CHF	Cephalotaxus harringtonia 'Fastigiata'	Upright Plum Yew	36" ht.		AS SHOWN FULL AND MATCHING
3	Y	CJ	Camellia x 'Taylor's Perfection'	Taylor's Perfection Camellia	24" ht		5' o.c. FULL AND MATCHING
0	N	HA	Hydrangea anomala ssp. Petiolaris	Climbing Hydrangea	3 gal		AS SHOWN
3	N	HL	Hydrangea paniculata 'Jane'	Little Lime Hardy Hydrangea	24"		4' o.c. FULL AND MATCHING
8	Y	HQ	Hydrangea quercifolia	Oakleaf Hydrangea	24" ht		5' o.c. FULL AND MATCHING
15	Y	IG	Ilex glabra	Inkberry Holly	15" HT.		36" O.C. FULL AND MATCHING
18	Y	IL	Illicium parvifolia	Anise	24" ht		4' o.c. FULL AND MATCHING
11	Y	LE	Loropetalum chinense 'Emerald'	Emerald Loropetalum	15" HT.		36" O.C. FULL AND MATCHING
22	Y	PC	Prunus caroliniana 'Otto Luyken'	Otto Luyken	18" HT.		36" O.C. FULL AND MATCHING
19	Y	SR	Sarcococca rustica	Sweetbox	18" HT.		36" O.C. FULL AND MATCHING
31	N		Ornamental Grasses	Var	1 gal		30" O.C. FULL AND MATCHING
143							

PLANT LIST

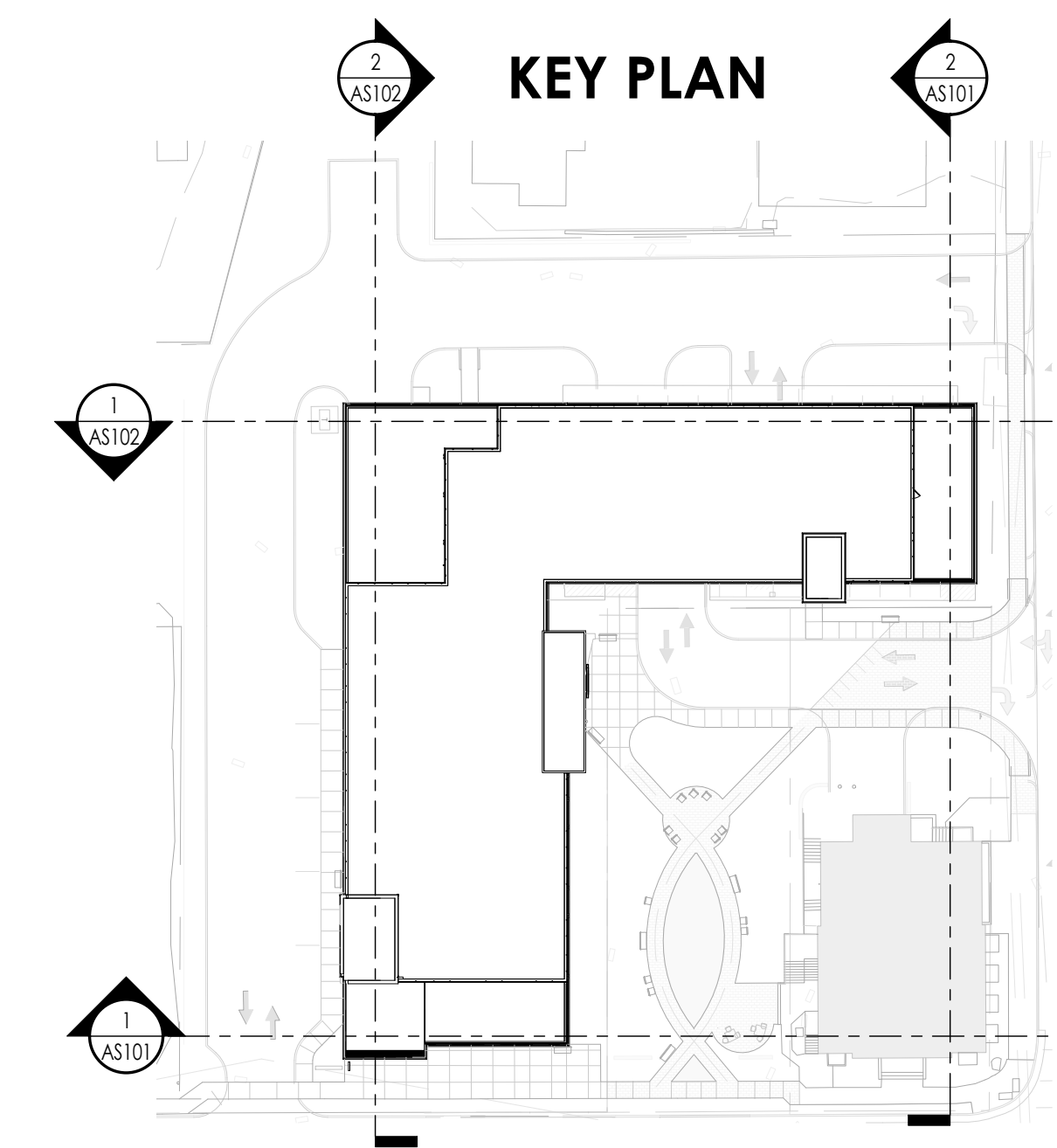


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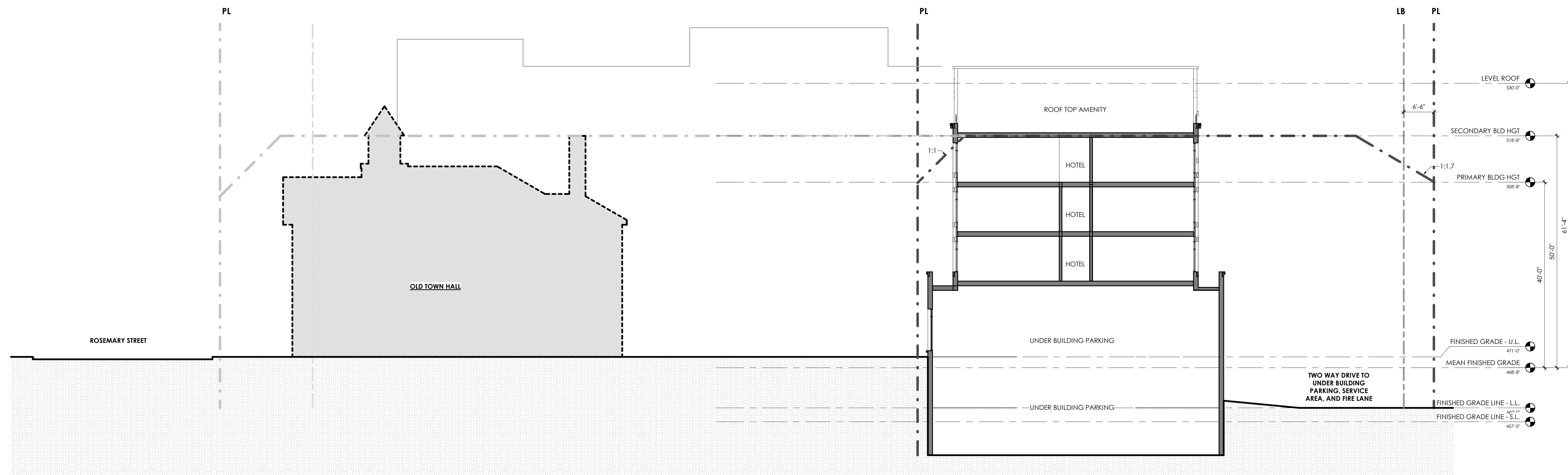
ROSEMARY / COLUMBIA HOTEL



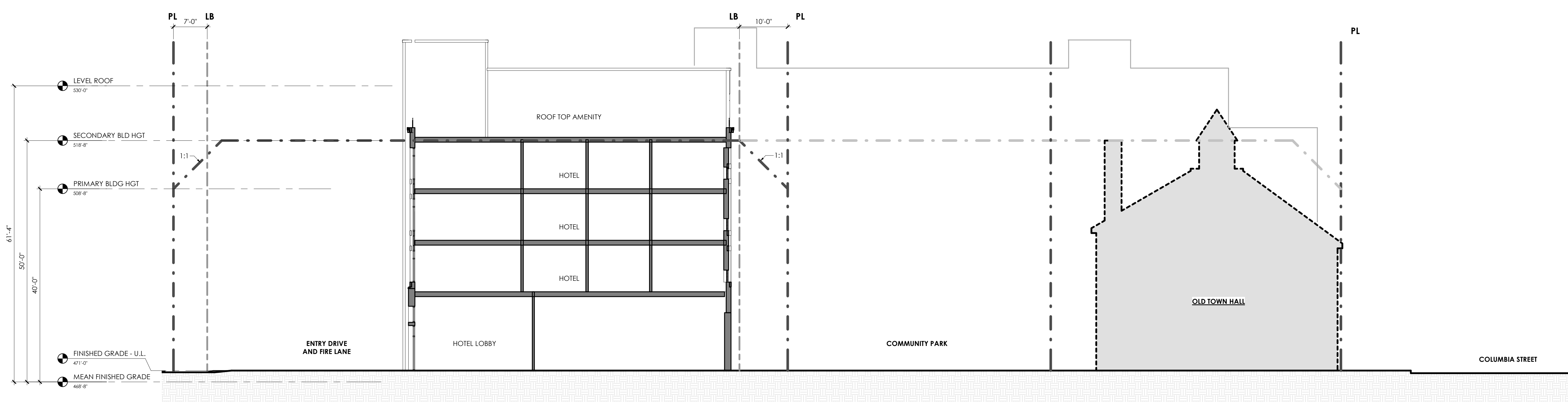
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 THIS PROJECT PROPOSES TO BE WITHIN THE REQUIRED SOLAR OVERLAY OTHER THAN THE 5TH FLOOR AND PORTIONS OF THE 4TH FLOOR AS ILLUSTRATED BELOW.

WEST ROSEMARY STREET DESIGN GUIDELINES

- THE PROJECT PROPOSES TO MEET THE GUIDELINES OF THE WEST ROSEMARY STREET DEVELOPMENT GUIDE IN THE FOLLOWING MANNER:
- PUBLIC REALM:**
1. PROVIDING SUFFICIENT SPACE FOR PEDESTRIANS ALONG ROSEMARY ST.
 2. PROVIDING IMPROVED AND CONTINUOUS SIDEWALKS ALONG ROSEMARY ST.
 3. EXISTING ROSEMARY ST LIGHTING IS ALREADY IN PLACE. ADDITIONAL LIGHTING WILL BE PROVIDED ON THE BUILDING FACADE TO CREATE A SAFE AND WELCOMING PEDESTRIAN EXPERIENCE.
 4. INFRASTRUCTURE WILL BE SCREENED TO MINIMIZE VISIBILITY FROM THE PUBLIC.
 5. GUIDELINES RECOMMEND THE FOLLOWING FROM BACK OF CURB ON ROSEMARY ST: 5' LANDSCAPE BUFFER, 10' PEDESTRIAN ZONE, AND 5' SUPPLEMENTAL ZONE. PROJECT PROPOSES SUBSTANTIAL COMPLIANCE WITH THIS RECOMMENDATION OTHER THAN A PORTION OF THE BUILDING WHICH ENCROACHES INTO THE 5' SUPPLEMENTAL ZONE.
 6. ALL OPERATIONS DELIVERIES AND LOADING AREAS WILL BE MANAGED VIA BACK OF HOUSE PROGRAM.
 7. THE PROJECT PROPOSES TO REDUCE THE NUMBER OF EXISTING CURB CUTS.
- RIGHT OF WAY:**
1. PARKING IS PROPOSED TO BE STRUCTURED AND WILL BE SCREENED TO MINIMIZE VISIBILITY FROM THE PUBLIC RIGHT OF WAY.
- BUILDING DESIGN:**
1. ALL BUILDING ENTRIES ARE PROVIDED OFF OF PUBLIC STREETS OR PUBLIC AREAS.
 2. PEDESTRIAN SCALE SIGNAGE AND AMENITIES WILL BE CONSIDERED AND ENCOURAGED.
 3. VERTICAL BAYS, VARIETY IN THE UPPER CORNICE HEIGHTS AND VISUAL BREAKS IN THE FACADE WILL BE CONSIDERED.
 4. WHERE POSSIBLE, UTILITY SERVICES WILL BE LOCATED BELOW GROUND OR IN THE REAR OF THE SITE TO MINIMIZE VISIBILITY FROM THE PUBLIC RIGHT OF WAY.
 5. THE PROJECT PROPOSES DEFINING AND ENCOURAGING PEDESTRIAN ACTIVITY ALONG THE GROUND FLOOR OF THE BUILDING.
 6. THE PROJECT PROPOSES TO ACCENTUATE VISIBLE CORNERS TO CELEBRATE KEY BUILDING CORNERS.
 7. ALL GLAZING AT GROUND LEVEL RETAIL, SERVICE, AND TRADE USES THAT FACE A PUBLIC SPACE WILL HAVE CLEAR GLASS ON AT LEAST 60% OF THEIR FACADE BETWEEN 3 FEET AND 8 FEET ABOVE GRADE.
 8. THE USE OF CANOPIES WILL BE UTILIZED NEAR RETAIL SPACES.
 9. PERPENDICULAR SIGNAGE AND PLANTERS AND OR LANDSCAPING WILL BE USED ALONG PUBLIC SPACES THAT ARE NEAR RETAIL.
 10. THE USE OF DIFFERENT PAVING TYPES WILL BE UTILIZED TO DELINEATE PUBLIC VS SEMI-PRIVATE SPACES.
 11. GROUND LEVEL GLAZING AROUND PUBLIC SPACES WITH BE CLEAR OR SPANDREL.
 12. ALTHOUGH THE PROJECT DOES PROPOSE TO EXCEED THE HEIGHT LIMITS OUTLINED IN THE GUIDELINES AND THE ORDINANCE, THE BUILDING DOES NOT EXTEND TO THE SETBACK LINE WHERE ADJACENT TO A RESIDENTIAL USE. THIS ALLOWS FOR THE PROJECT TO MEET AND EXCEED THE REQUIRED LANDSCAPE BUFFERS ADJACENT TO RESIDENTIAL USE. THE PROJECT ALSO PROPOSES TO ELIMINATE THE NW CORNER OF THE TOP FLOOR TO ASSIST IN MINIMIZING MASSING ADJACENT TO RESIDENTIAL USES.
 13. THE PROJECT PROPOSES TO MEET ALL BUFFERS NOTED IN THE GUIDELINES AND REQUIRED BY ORDINANCE OTHER THAN THE NORTH BUFFER WHERE THE PROPERTY IS ADJACENT TO A LAW OFFICE ZONED O-1. BASED ON PAST EXPERIENCE WITH PROJECTS IN TOWN AND UPON EXAMINATION OF SIMILAR DOWNTOWN (URBAN) CONDITIONS, THE PROJECT CONTENTS THAT AN ALTERNATE BUFFER AT THIS LOCATION SHOULD BE CONSIDERED AS TWO COMMERCIAL PROPERTIES ARE ADJACENT TO EACH OTHER. AT THIS LOCATION, POTENTIAL NUISANCES (NOISE, DUST, ODOR, GLARE OF LIGHTS) ARE MITIGATED THROUGH LANDSCAPING AND BUILDING PROGRAM ORIENTATION.
 14. AT THE COLUMBIA ST FRONTAGE, THE PROJECT PROPOSES AN ALTERNATE MINIMIZED BUFFER TO THE REQUIRED 30' WIDE "D" LANDSCAPE BUFFER TO ALLOW FOR THE BUILDING TO ENGAGE THE STREETScape IN A SIMILAR MANNER (ALBEIT NOT PROGRAMMED SPACE) TO WHAT IS BEING PROVIDED ON ROSEMARY ST.
 15. AS ILLUSTRATED IN THE SOLAR ELEVATION STUDIES, THE PROJECT PROPOSES TO MEET ALL REQUIRED SOLAR SETBACKS DEFINED WITHIN THE GUIDELINES AND ORDINANCE OTHER THAN THE EXCEPTION OF THE BUILDING HEIGHT ENCRoACHMENT OF THE 5TH AND PARTIAL 4TH FLOOR.



EAST ELEVATION - COLUMBIA WING
 3/32" = 1'-0" 2



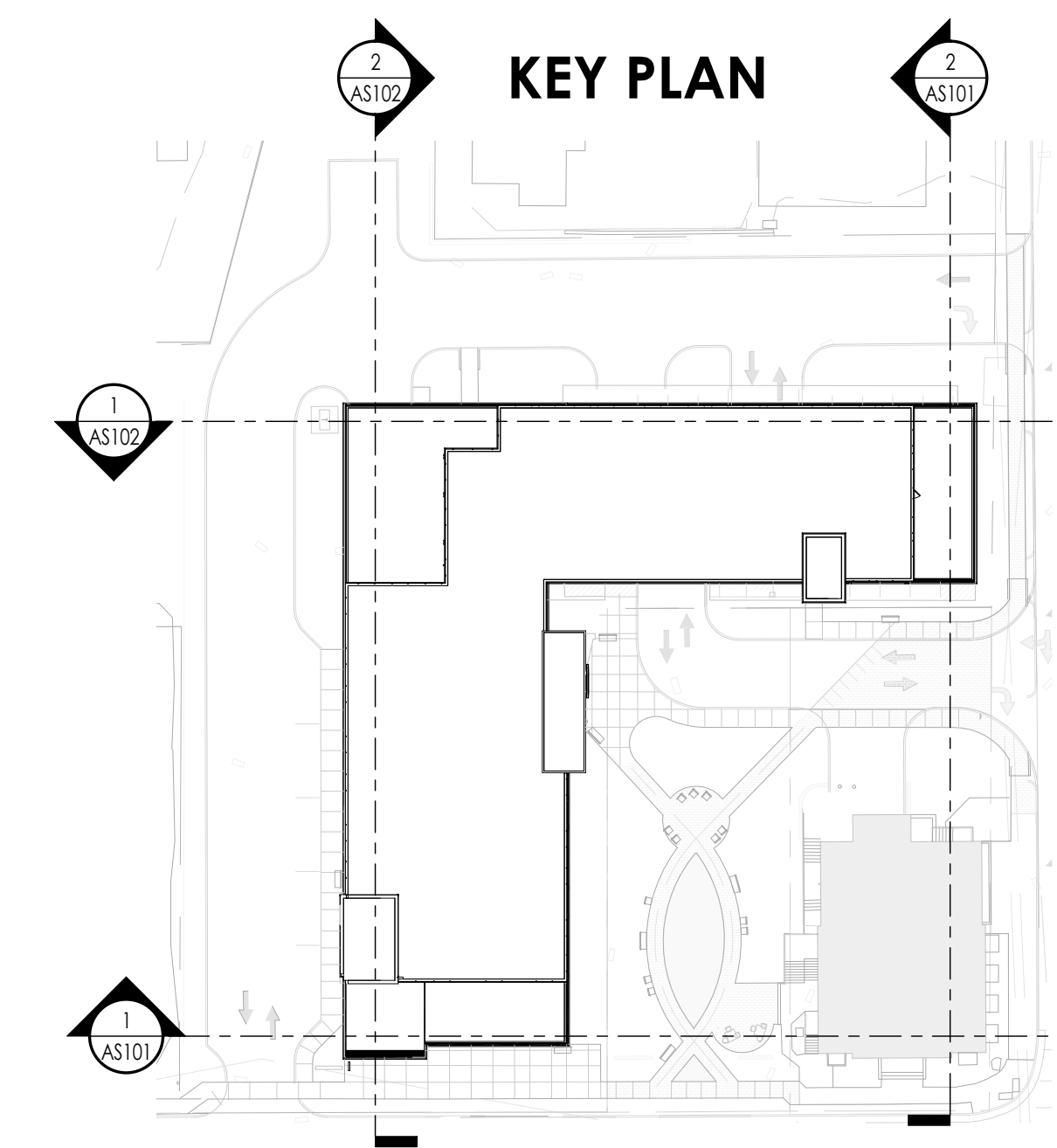
SOUTH ELEVATION - ROSEMARY WING
 3/32" = 1'-0" 1

CHAPEL HILL LAND USE MANAGEMENT ORDINANCE

3.8.3 EXCEPTIONS TO SETBACK AND HEIGHT REGULATIONS.
 (B) THE FOLLOWING FEATURES MAY PROJECT ABOVE THE BUILDING ENVELOPE DEFINED BY THE MAXIMUM HEIGHT LIMITATIONS AND ADDITIONAL SETBACK REQUIREMENTS CONTAINED IN RULES FOR INTERPRETATION OF TABLE 3.8-1, COLUMNS (F) AND (G), BELOW, PROVIDED THE TOWN MANAGER DETERMINES THAT SUCH FEATURES DO NOT SIGNIFICANTLY IMPAIR THE DEGREE OF SOLAR ACCESS PROVIDED ADJACENT PROPERTIES THROUGH APPLICATION OF THE APPROPRIATE SOLAR SETBACK REQUIREMENTS:
 (1) CHIMNEYS, ACCESSORY RADIO OR TELEVISION ANTENNAS, FLAGPOLES, MONUMENTS, CUPOLAS, PARAPETS, DORMERS, CLOCK TOWERS OR DECORATIVE TOWERS WITH A FOOTPRINT NOT EXCEEDING TWENTY (20) PERCENT OF THE PRINCIPAL BUILDING, PROVIDED THE PROJECTION OF SUCH STRUCTURES ABOVE THE BUILDING ENVELOPE DOES NOT EXCEED FIFTEEN (15) PERCENT OF THE MAXIMUM HEIGHT LIMITATION THAT DEFINES THE PORTION OF THE BUILDING ENVELOPE PENETRATED BY SUCH STRUCTURES;

DRAWING LEGEND

- PROPERTY LINE (PL) & SETBACKS / SOLAR SETBACKS (DIMENSIONAL MATRIX RESTRICTIONS) - - - - -
- LANDSCAPE BUFFER (LB) - - - - -



ROSEMARY / COLUMBIA HOTEL

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WEST ROSEMARY STREET DESIGN GUIDELINES

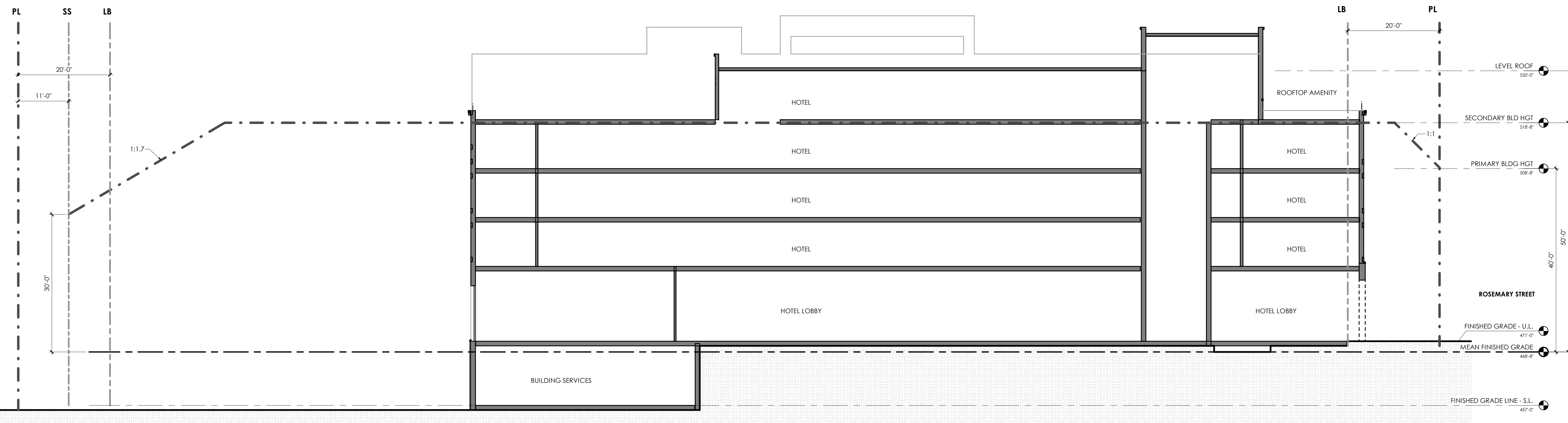
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 6. ALL OPERATIONS DELIVERIES AND LOADING AREAS WILL BE MANAGED VIA BACK OF HOUSE PROGRAM.
 7. THE PROJECT PROPOSES TO REDUCE THE NUMBER OF EXISTING CURB CUTS.

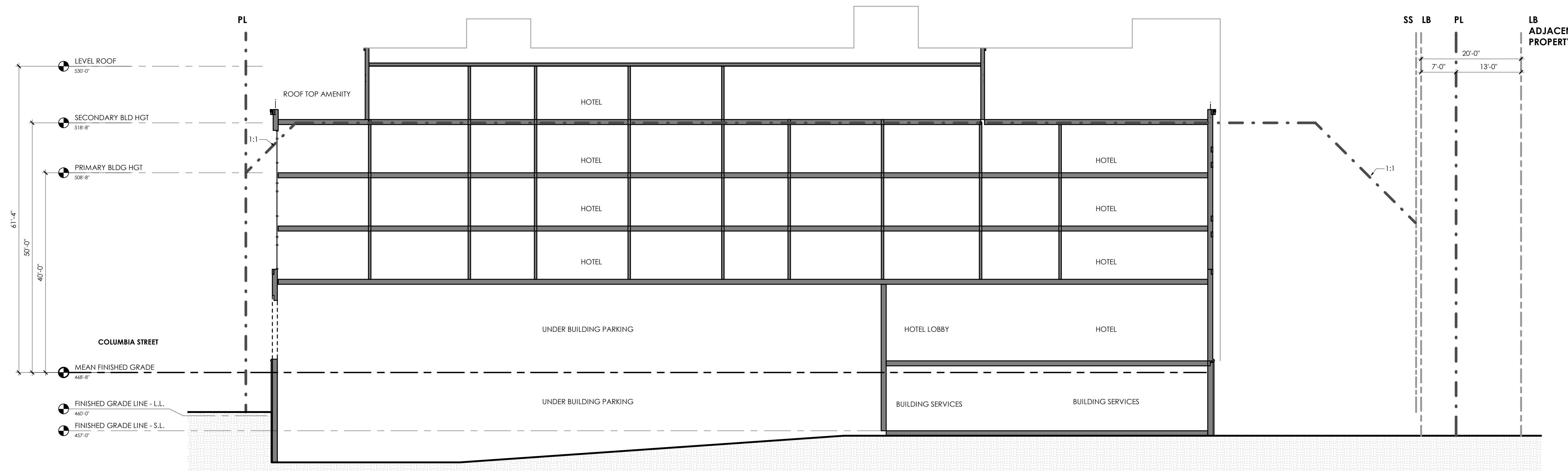
RIGHT OF WAY:

1. PARKING IS PROPOSED TO BE STRUCTURED AND WILL BE SCREENED TO MINIMIZE VISIBILITY FROM THE PUBLIC RIGHT OF WAY.

- BUILDING DESIGN:**
1. ALL BUILDING ENTRIES ARE PROVIDED OFF OF PUBLIC STREETS OR PUBLIC AREAS.
 2. PEDESTRIAN SCALE SIGNAGE AND AMENITIES WILL BE CONSIDERED AND ENCOURAGED.
 3. VERTICAL BAYS, VARIETY IN THE UPPER CORNICE HEIGHTS AND VISUAL BREAKS IN THE FACADE WILL BE CONSIDERED.
 4. WHERE POSSIBLE, UTILITY SERVICES WILL BE LOCATED BELOW GROUND OR IN THE REAR OF THE SITE TO MINIMIZE VISIBILITY FROM THE PUBLIC RIGHT OF WAY.
 5. THE PROJECT PROPOSES DEFINING AND ENCOURAGING PEDESTRIAN ACTIVITY ALONG THE GROUND FLOOR OF THE BUILDING.
 6. THE PROJECT PROPOSES TO ACCENTUATE VISIBLE CORNERS TO CELEBRATE KEY BUILDING CORNERS.
 7. ALL GLAZING AT GROUND LEVEL RETAIL, SERVICE, AND TRADE USES THAT FACE A PUBLIC SPACE WILL HAVE CLEAR GLASS ON AT LEAST 60% OF THEIR FACADE BETWEEN 3 FEET AND 8 FEET ABOVE GRADE.
 8. THE USE OF CANOPIES WILL BE UTILIZED NEAR RETAIL SPACES.
 9. PERPENDICULAR SIGNAGE AND PLANTERS AND OR LANDSCAPING WILL BE USED ALONG PUBLIC SPACES THAT ARE NEAR RETAIL.
 10. THE USE OF DIFFERENT PAVING TYPES WILL BE UTILIZED TO DELINEATE PUBLIC VS SEMI-PRIVATE SPACES.
 11. GROUND LEVEL GLAZING AROUND PUBLIC SPACES WITH BE CLEAR OR SPANDREL.
 12. ALTHOUGH THE PROJECT DOES PROPOSE TO EXCEED THE HEIGHT LIMITS OUTLINED IN THE GUIDELINES AND THE ORDINANCE, THE BUILDING DOES NOT EXTEND TO THE SETBACK LINE WHERE ADJACENT TO A RESIDENTIAL USE. THIS ALLOWS FOR THE PROJECT TO MEET AND EXCEED THE REQUIRED LANDSCAPE BUFFERS ADJACENT TO RESIDENTIAL USE. THE PROJECT ALSO PROPOSES TO ELIMINATE THE NW CORNER OF THE TOP FLOOR TO ASSIST IN MINIMIZING MASSING ADJACENT TO RESIDENTIAL USES.
 13. THE PROJECT PROPOSES TO MEET ALL BUFFERS NOTED IN THE GUIDELINES AND REQUIRED BY ORDINANCE OTHER THAN THE NORTH BUFFER WHERE THE PROPERTY IS ADJACENT TO A LAW OFFICE ZONED O-1. BASED ON PAST EXPERIENCE WITH PROJECTS IN TOWN AND UPON EXAMINATION OF SIMILAR DOWNTOWN (URBAN) CONDITIONS, THE PROJECT CONTENDS THAT AN ALTERNATE BUFFER AT THIS LOCATION SHOULD BE CONSIDERED AS TWO COMMERCIAL PROPERTIES ARE ADJACENT TO EACH OTHER. AT THIS LOCATION, POTENTIAL NUISANCES (NOISE, DUST, ODOR, GLARE OF LIGHTS) ARE MITIGATED THROUGH LANDSCAPING AND BUILDING PROGRAM ORIENTATION.
 14. AT THE COLUMBIA ST FRONTAGE, THE PROJECT PROPOSES AN ALTERNATE MINIMIZED BUFFER TO THE REQUIRED 30' WIDE "D" LANDSCAPE BUFFER TO ALLOW FOR THE BUILDING TO ENGAGE THE STREETScape IN A SIMILAR MANNER (ALBET NOT PROGRAMMED SPACE) TO WHAT IS BEING PROVIDED ON ROSEMARY ST.
 15. AS ILLUSTRATED IN THE SOLAR ELEVATION STUDIES, THE PROJECT PROPOSES TO MEET ALL REQUIRED SOLAR SETBACKS DEFINED WITHIN THE GUIDELINES AND ORDINANCE OTHER THAN THE EXCEPTION OF THE BUILDING HEIGHT ENCRONCHMENT OF THE 5TH AND PARTIAL 4TH FLOOR.



WEST ELEVATION - ROSEMARY WING ②
 3/32" = 1'-0"



NORTH ELEVATION - COLUMBIA WING ①
 3/32" = 1'-0"

CHAPEL HILL LAND USE MANAGEMENT ORDINANCE

3.8.3 EXCEPTIONS TO SETBACK AND HEIGHT REGULATIONS.
 (B) THE FOLLOWING FEATURES MAY PROJECT ABOVE THE BUILDING ENVELOPE DEFINED BY THE MAXIMUM HEIGHT LIMITATIONS AND ADDITIONAL SETBACK REQUIREMENTS CONTAINED IN RULES FOR INTERPRETATION OF TABLE 3.8-1, COLUMNS (F) AND (G), BELOW, PROVIDED THE TOWN MANAGER DETERMINES THAT SUCH FEATURES DO NOT SIGNIFICANTLY IMPAIR THE DEGREE OF SOLAR ACCESS PROVIDED ADJACENT PROPERTIES THROUGH APPLICATION OF THE APPROPRIATE SOLAR SETBACK REQUIREMENTS:
 (1) CHIMNEYS, ACCESSORY RADIO OR TELEVISION ANTENNAS, FLAGPOLES, MONUMENTS, CUPOLAS, PARAPETS, DORMERS, CLOCK TOWERS OR DECORATIVE TOWERS WITH A FOOTPRINT NOT EXCEEDING TWENTY (20) PERCENT OF THE PRINCIPAL BUILDING, PROVIDED THE PROJECTION OF SUCH STRUCTURES ABOVE THE BUILDING ENVELOPE DOES NOT EXCEED FIFTEEN (15) PERCENT OF THE MAXIMUM HEIGHT LIMITATION THAT DEFINES THE PORTION OF THE BUILDING ENVELOPE PENETRATED BY SUCH STRUCTURES;

DRAWING LEGEND

- PROPERTY LINE (PL) & SETBACKS / SOLAR SETBACKS (DIMENSIONAL MATRIX RESTRICTIONS) - - - - -
- LANDSCAPE BUFFER (LB) - - - - -

COUNCIL REVISIONS 10/21/21

SHEET NAME:
 EXTERIOR ELEVATIONS & BUILDING ENVELOPE

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