



PROJECT NARRATIVE

NETWORK TOWERS, LLC PLANS TO BUILD A NEW WIRELESS TELECOMMUNICATIONS FACILITY WHICH WILL INCLUDE A NEW 195' MONOPOLE TOWER AND A 35'x75' FENCED COMPOUND AS DEFINED ON THIS PLAN SET, AND A RETAINING WALL HAS BEEN PLANED TO BE CONSTRUCTED TO SUPPORT THE PROPOSED DEVELOPMENT. THE TOWER WILL BE DESIGNED WITH AVAILABLE SPACE ON THE TOWER FOR (3) TENANTS /COLLOCATORS. THE PROPOSED TOWER AND FENCED COMPOUND WILL NOT BE LOCATED INSIDE EXISTING WETLANDS OR RIPARIAN BUFFERS.

NT SITE NAME: DOBBINS
NT SITE ID: NC-T23.12

1721 E FRANKLIN ST
CHAPEL HILL, NC 27514
TOWN OF CHAPEL HILL

SITE INFORMATION

SITE ADDRESS: (TOWER 911 ADDRESS TBD)
1721 E FRANKLIN ST
CHAPEL HILL, NC 27514

LATITUDE (NAD 83): 35° 56' 16.2901" N
LONGITUDE (NAD 83): 79° 01' 37.1788" W

GROUND ELEVATION: 265.0' AMSL

JURISDICTION: TOWN OF CHAPEL HILL
ZONING: OL-2
PIN: 9799261213
PARCEL AREA: 4.29 ACRES

PROPOSED COMPOUND AREA: 2,625 SQ.FT. (0.060 ACRES)
PROPOSED DISTURBED AREA: 5,056 SQ.FT. (0.116 ACRES)
PROPOSED IMPERVIOUS AREA: 3,000 SQ.FT. (0.069 ACRES)

PARKING: 1

WASTE COLLECTION: NONE

PARCEL OWNER: HOUSE HARRIS HOLDINGS LLC
199 CLIFFDALE RD
CHAPEL HILL, NC 27516

TOWER OWNER: NETWORK TOWERS, LLC.
120 EASTSHORE DRIVE, SUITE 300
GLEN ALLEN, VA 23059

STRUCTURE TYPE: MONOPOLE

STRUCTURE HEIGHT: 195'-0" (AGL) (TOP OF TOWER)
199'-0" (AGL) (HIGHEST POINT)

CLASSIFICATION GROUP: U
CONSTRUCTION TYPE: 2B

POWER SUPPLIER: DUKE ENERGY PROGRESS
WORK ORDER # TBD

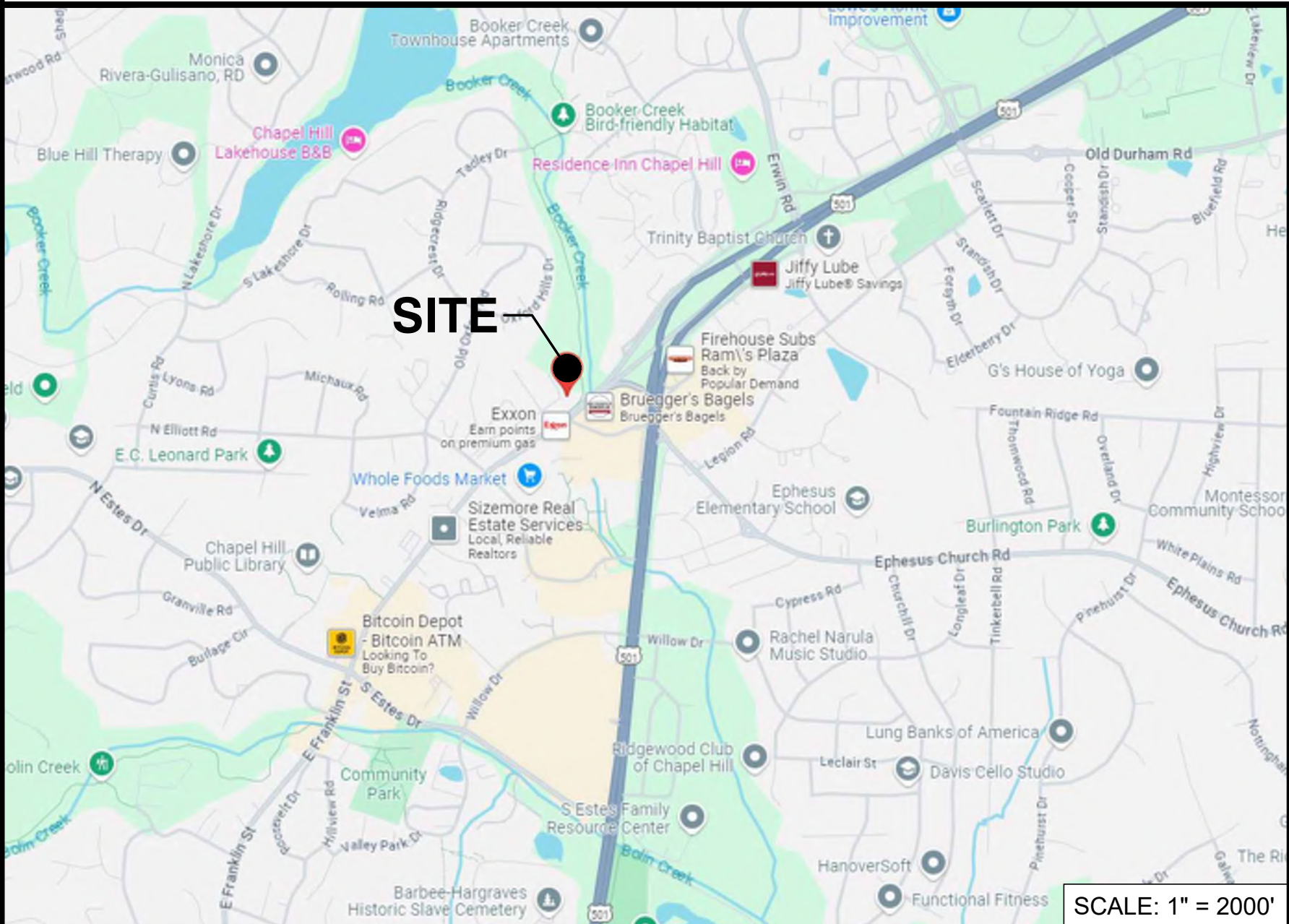
PROJECT TEAM

APPLICANT: NETWORK TOWERS, LLC.
6095 MARSHALEE DRIVE, SUITE 300
ELKRIDGE, MD 21075
(410) 712-7092

PROJECT MANAGEMENT FIRM: NETWORK BUILDING + CONSULTING, LLC.
120 EASTSHORE DRIVE, SUITE 300
GLEN ALLEN, VA 23059
(804) 548-4079

ENGINEERING FIRM: TKK ENGINEERING, P.C.
8601 SIX FORKS ROAD, SUITE 540
RALEIGH, NC 27615
919.657.9131

VICINITY MAP



DIRECTIONS

FROM RALEIGH, NORTH CAROLINA: MERGE ONTO I-40 W, TAKE THE RAMP FOR I-40 W, KEEP LEFT, HEADING TOWARD DURHAM, AT EXIT 270, HEAD RIGHT ON THE RAMP FOR US-15 / US-501 TOWARD CHAPEL HILL / DURHAM, TURN LEFT ONTO US-501 S / US-15 S / DURHAM-CHAPEL HILL BLVD TOWARD CHAPEL HILL / PLANETARIUM / UNC-CH, TAKE THE RAMP ON THE RIGHT AND FOLLOW SIGNS FOR FRANKLIN STREET, KEEP STRAIGHT TO GET ONTO E FRANKLIN ST, TURN RIGHT AT 1721 E FRANKLIN ST, CHAPEL HILL, NC.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES.

- 2018 NORTH CAROLINA BUILDING CODE
- 2020 NORTH CAROLINA STATE ELECTRICAL CODE
- 2009 NFPA 101, LIFE SAFETY CODE
- 2018 NORTH CAROLINA FIRE PREVENTION CODE
- AMERICAN CONCRETE INSTITUTE
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION
- MANUAL OF STEEL CONSTRUCTION 13TH EDITION
- ANSI/TIA-222-H
- TIA 607
- INSTITUTE FOR ELECTRICAL & ELECTRONICS ENGINEER 81
- IEEE C2 NATIONAL ELECTRIC SAFETY CODE LATEST ED.
- TELECORDIA GR-1275
- ANSI/T 311

DRAWING INDEX

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| CM-2 | CONSTRUCTION MANAGEMENT PLAN |

DO NOT SCALE DRAWINGS

THESE DRAWINGS ARE FORMATTED TO BE FULL-SIZE AT 24"x36". CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE DESIGNER / ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR MATERIAL ORDERS OR BE RESPONSIBLE FOR THE SAME. CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICE TO PREVENT STORM WATER POLLUTION DURING CONSTRUCTION.

LEGEND

- | | | | |
|--|------------------------|--|--------------------------------|
| | SUBJECT PARCEL | | EX. OVERHEAD UTILITIES |
| | ADJOINED PARCEL | | EX. SOILS BOUNDARY |
| | EX. ROAD | | EX. SOILS DESCRIPTION |
| | EX. BUILDING | | PROPOSED EASEMENT |
| | EX. TREE LINE | | PROPOSED LEASE AREA |
| | EX. FEMA FLOODWAY | | PROPOSED BOARD-ON-BOARD FENCE |
| | EX. FEMA FLOOD AE ZONE | | PROPOSED LIMITS OF DISTURBANCE |
| | EX. EASEMENT | | |
| | EX. UNDERGROUND SEWER | | |

APPLICANT



ENGINEER



SITE INFORMATION

NT SITE NAME: DOBBINS
NT SITE ID: NC-T23.12

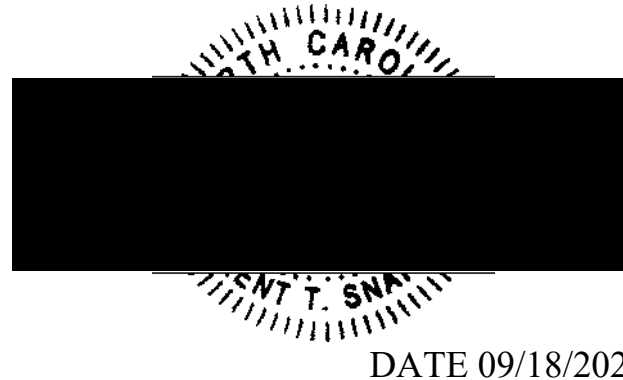
NB+C PROJ. # 100793
(TOWER 911 ADDRESS TBD)
1721 E FRANKLIN STREET
CHAPEL HILL, NC 27514
ORANGE COUNTY

DESIGN RECORD

REVISIONS

REV	DATE	DESCRIPTION	BY
5	09/18/2025	REVISED SITE PLAN	OP
4	06/24/2025	REVISED SITE PLAN	OP
3	04/15/2025	REVISED SITE PLAN	OP
2	03/12/2025	REVISED SITE PLAN	OP
1	01/31/2025	SITE PLAN	BMB
0	11/14/2024	ZONING DRAWINGS	OP

PROFESSIONAL STAMP



ENGINEER

TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1

EXHIBIT NOTES

1. TOPOGRAPHIC SURVEY PERFORMED BY TIM FALLON LAND SURVEYING, PLLC
15139 CARROLLTON, VIRGINIA, 23314. 757-837-2919.
SURVEY DATE: JULY 7, 2024.
2. COORDINATES AND ELEVATIONS SHOWN WERE ESTABLISHED USING KINEMATIC GPS
OBSERVATIONS, PROVIDED THROUGH THE NORTH CAROLINA GEODETIC SURVEY CONTROL NETWORK.
VERTICAL DATUM – NAVD 88
HORIZONTAL REFERENCE FRAME – NAD 83(2011)
DISTANCES SHOWN ARE ON THE U.S. SURVEY FOOT(GROUND)
3. NO SUB-SURFACE INVESTIGATION WAS PERFORMED BY TIM FALLON LAND SURVEYING, PLLC
THIS EXHIBIT DOES NOT GUARANTEE THE "EXISTENCE OR NONEXISTENCE" OF
UNDERGROUND UTILITIES. PRIOR TO ANY CONSTRUCTION OR EXCAVATION, CONTACT
MISS UTILITY AT 1-800-552-7001 TO CONFIRM THE LOCATION OR EXISTENCE OF
UNDERGROUND UTILITIES.
4. THIS EXHIBIT WAS DONE WITH THE BENEFIT OF A TITLE REPORT BY FIDELITY NATIONAL TITLE
INSURANCE COMPANY, ORDER No. 5000007035, DATED JULY 25, 2024.
5. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
6. THIS EXHIBIT DOES NOT REPRESENT A BOUNDARY SURVEY. THE RIGHT-OF-WAY,
PROPERTY LINE AND/OR EASEMENTS SHOWN HEREON REPRESENT A COMPILATION OF
RECORDED DEEDS, PLATS, G.I.S. RECORDS AND TAX MAPS.
7. THE AREA OF THE PROPOSED CELL TOWER APPEARS TO LIE WITHIN
FLOOD ZONES X, SHADED X AND AE, ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY – NATIONAL
FLOOD INSURANCE COMMUNITY NUMBER 371097-9900 L, DATED OCTOBER 19, 2018.
8. THE EXISTENCE OF HAZARDOUS WASTE, VEGETATED WETLANDS, OR TIDAL WETLANDS, WAS
NEITHER INVESTIGATED, NOR CONFIRMED DURING THE PERFORMANCE OF THIS EXHIBIT.

LEGAL DESCRIPTION PROPOSED 45' x 110' LEASE AREA

A PROPOSED 45' x 110' LEASE AREA ON THAT "4.88 ACRES", AS SHOWN IN PLAT BOOK 10 AT
PAGE 32, OF RECORD IN THE REGISTER OF DEEDS OFFICE, ORANGE COUNTY, NORTH CAROLINA;
LYING ALONG THE NORTHERLY RIGHT OF WAY OF U.S. HIGHWAY 15-501, LOCALLY KNOWN AS E.
FRANKLIN STREET; BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 3/8" IRON PIN FOUND AT THE NORTHERLY MOST CORNER OF PARCEL 4 AS
SHOWN IN PLAT BOOK 21, AT PAGE 54; THENCE N 35°13'27" W A DISTANCE OF 4.22'; THENCE
N 54°38'44" E A DISTANCE OF 32.16' TO A POINT BEING THE TRUE POINT AND PLACE OF
BEGINNING;

THENCE N 54°38'44" E A DISTANCE OF 45.00' TO A POINT;
THENCE S 35°21'16" E A DISTANCE OF 110.00' TO A POINT;
THENCE S 54°38'44" W A DISTANCE OF 45.00' TO A POINT;
THENCE N 35°21'16" W A DISTANCE OF 110.00' TO A POINT BEING THE TRUE POINT A PLACE OF
BEGINNING HAVING AN AREA OF 4,950 SQUARE FEET OR 0.114 ACRES.

LEGAL DESCRIPTION OF PROPOSED 20' ACCESS & UTILITIES EASEMENT

A PROPOSED 20' ACCESS AND UTILITIES EASEMENT OVER AND ACROSS THAT PARCEL 1 AS SHOWN IN PLAT
BOOK 21, AT PAGE 54, THAT "4.88 ACRES" AS SHOWN ON PLAT BOOK 10, AT PAGE 32 AND THAT PARCEL
OF LAND NOW OR FORMERLY McCLAMROCH AS DESCRIBED IN DEED BOOK 187, AT PAGE 12 ALL OF RECORD
IN THE REGISTER OF DEEDS OFFICE, ORANGE COUNTY, NORTH CAROLINA; LYING ALONG THE NORTHERLY RIGHT
OF WAY OF U.S. HIGHWAY 15-501, LOCALLY KNOWN AS E. FRANKLIN STREET; BEING MORE PARTICULARLY
DESCRIBED AS FOLLOWS:

BEGINNING AT A 3/8" IRON PIN FOUND AT THE NORTHERLY MOST CORNER OF PARCEL 4 AS SHOWN IN PLAT
BOOK 21, AT PAGE 54;
THENCE N 35°13'27" W A DISTANCE OF 4.22' TO A POINT;
THENCE N 54°38'44" E A DISTANCE OF 32.16' TO A POINT;
THENCE S 35°21'16" E A DISTANCE OF 110.00' TO A POINT;
THENCE S 54°38'44" W A DISTANCE OF 45.00' TO A POINT;
THENCE S 35°13'27" W A DISTANCE OF 102.83' TO A POINT;
THENCE S 05°02'57" E A DISTANCE OF 49.74' TO A POINT;
THENCE S 35°13'27" E A DISTANCE OF 28.33' TO A POINT;
THENCE S 14°07'10" E A DISTANCE OF 70.19' TO A POINT;
THENCE S 35°13'27" E A DISTANCE OF 90.82' TO A POINT ALONG THE NORTHERLY RIGHT OF WAY OF SAID
U.S. ROUTE 15-501;
THENCE CONTINUING ALONG SAID RIGHT OF WAY S 50°10'33" W A DISTANCE OF 20.06' TO A POINT;
THENCE N 35°13'27" W A DISTANCE OF 96.15' TO A POINT;
THENCE N 14°07'10" W A DISTANCE OF 70.19' TO A POINT;
THENCE N 35°13'27" W A DISTANCE OF 30.00' TO A POINT;
THENCE N 05°02'57" W A DISTANCE OF 49.74' TO A POINT;
THENCE N 35°13'27" W A DISTANCE OF 203.15' TO A POINT;
WHICH IS THE POINT OF BEGINNING, HAVING AN AREA OF 10,404 SQUARE FEET OR 0.239 ACRES.

CERTIFICATION

I, ROBERT T. WILLIAMS, JR., A LICENSED NORTH CAROLINA LAND SURVEYOR
HEREBY CERTIFY TO NETWORK TOWERS, II THE FOLLOWING:

THIS SURVEYOR HAS RECEIVED AND REVIEWED THAT CERTAIN TITLE REPORT:
BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER No. 5000007035, DATED JULY 25, 2024.
FOR NC-T23.12 DOBBINS, WHICH PROPOSES TO INSURE THE LANDS DESCRIBED IN SAID TITLE REPORT.
THE SAID TITLE REPORT DOES DESCRIBE THE LANDS AS DEPICTED ON THIS EXHIBIT.
EASEMENTS AND/OR RIGHTS OF WAY:

ITEMS 1-5 SHOW NOTHING ADVERSELY AFFECTING THE PROPOSED LEASE AREA AND ACCESS.

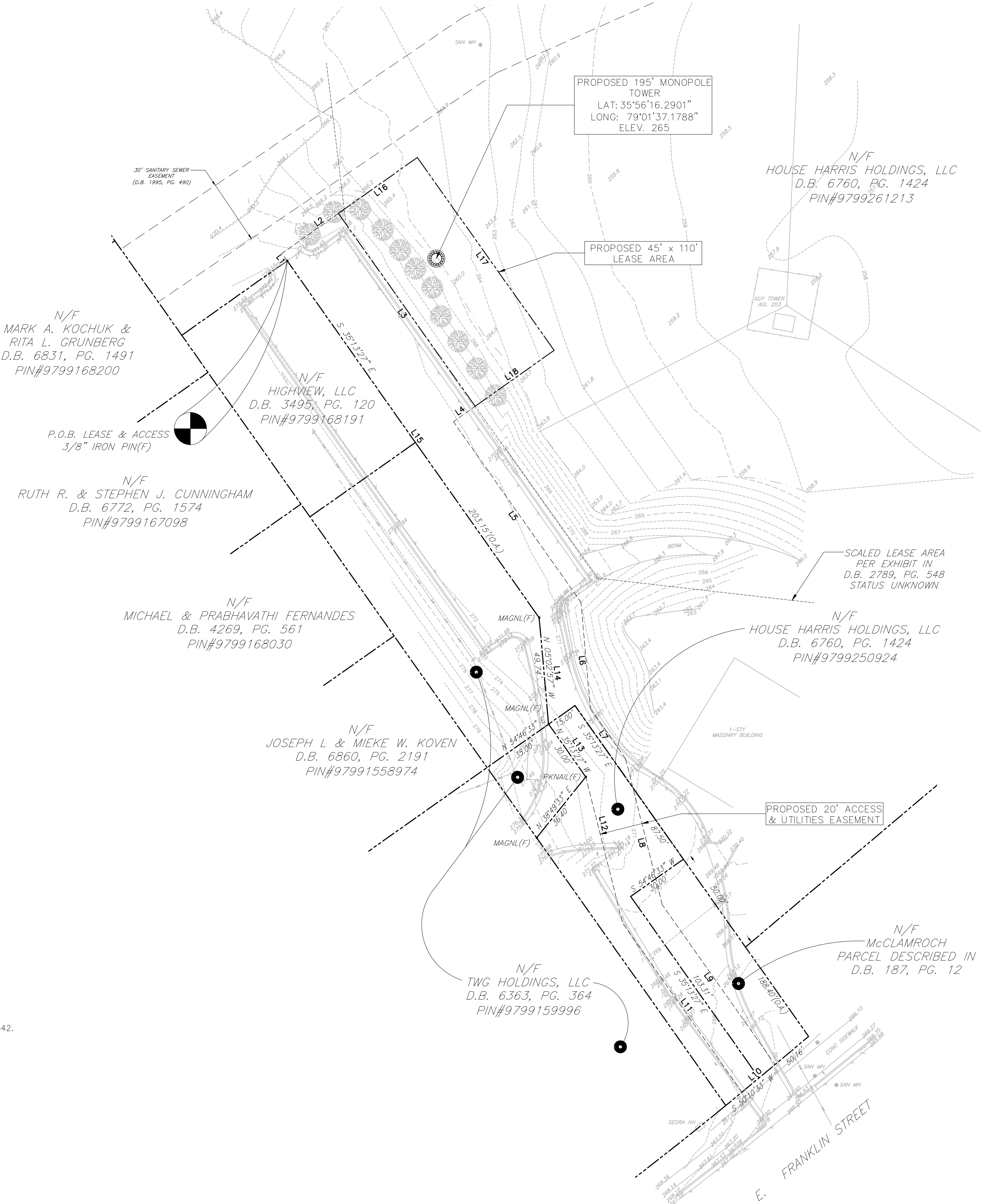
6. Deed of Easement in favor of The Town of Chapel Hill, a municipal corporation of the
State of North Carolina set forth in instrument recorded on July 21, 1989 in
Deed Book 803, Page 600. (DOES NOT AFFECT EITHER THE LEASE OR ACCESS)
7. Deed of Easement in favor of Orange Water and Sewer Authority, a public body and
body politic and corporate set forth in instrument recorded on October 3, 1996 in
Deed Book 1514, Page 594. (DOES NOT AFFECT EITHER THE LEASE OR ACCESS)
8. Deed of Easement in favor of The Town of Chapel Hill, a municipal corporation of the
State of North Carolina set forth in instrument recorded on September 29, 1999 in
Deed Book 1993, Page 510. (DOES NOT AFFECT EITHER THE LEASE OR ACCESS)
9. Deed of Easement in favor of Orange Water and Sewer Authority, a public body and
body politic and corporate set forth in instrument recorded on October 1, 1999 in
Deed Book 1995, Page 487. (DOES NOT AFFECT EITHER THE LEASE OR ACCESS)
10. Deed of Easement in favor of Orange Water and Sewer Authority, a public body and
body politic and corporate set forth in instrument recorded on September 21, 2001
in Deed Book 2370, Page 595.(DOES NOT AFFECT EITHER THE LEASE OR ACCESS)
11. Deed of Easement in favor of Orange Water and Sewer Authority, a public body and
body politic and corporate set forth in instrument recorded on September 21, 2001
in Deed Book 2371, Page 1. (DOES NOT AFFECT EITHER THE LEASE OR ACCESS)
12. Terms and conditions of Memorandum of Lease dated October 18, 2002 by and between
Bet Pou McClamroch, and WCHL-WDNC, Inc., recorded on November 15, 2002 in Deed Book 2789, Page 542.

ASSIGNED BY Memorandum of Lease Assignment, Assumption and Consent Agreement from
WCHL-WDNC, Inc. assigned to ViCom Interactive Media, LLC dated August 15, 2004 and recorded
on August 23, 2004 in Deed Book RB3537, Page 539.

Memorandum of Lease Assignment and Assumption with Consent of Jeff Beck, LLC recorded on
December 14, 2016 in Deed Book RB6052, Page 426.

Status unknown.
(DOES NOT AFFECT THE ACCESS) (DOES CROSS OVER THE PROPOSED LEASE AREA)

ITEMS 13-15 ARE NOT SURVEY MATTERS.



LINE TABLE

LINE	BEARING	DISTANCE
L1	N 35°13'27" W	4.22'
L2	N 54°38'44" E	32.16'
L3	S 35°21'16" E	110.00'
L4	S 54°46'26" W	12.41'
L5	S 35°13'34" E	102.83'
L6	S 05°02'57" E	49.74'
L7	S 35°13'27" E	28.33'
L8	S 14°07'10" E	70.19'
L9	S 35°13'27" E	90.82'
L10	S 50°10'33" W	20.06'
L11	N 35°13'27" W	96.15'
L12	N 14°07'10" W	70.19'
L13	N 35°13'27" W	30.00'
L14	N 05°02'57" W	49.74'
L15	N 35°13'27" W	203.15'
L16	N 54°38'44" E	45.00'
L17	S 35°21'16" E	110.00'
L18	S 54°38'44" W	45.00'

GRAPHIC SCALE

1"=50'(22x34)

1"=100'(11x17)



APPLICANT



ENGINEER



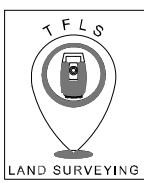
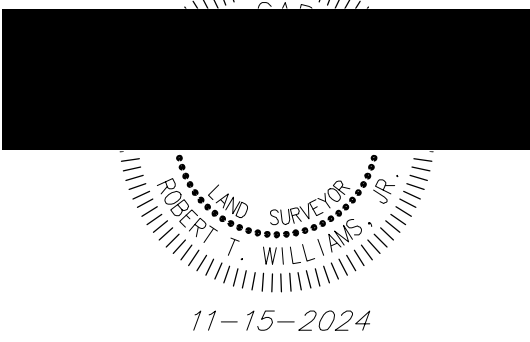
SITE INFORMATION

NT SITE NAME: DOBBINS
NT SITE ID: NC-T23.12
NB+C PROJ. # 100772
(911 ADDRESS TBD)
#1721 E. FRANKLIN STREET
CHAPEL HILL, NC 27514
ORANGE COUNTY

DESIGN RECORD

REVISIONS

REV	DATE	DESCRIPTION	BY
1	11/15/24	ADD NOTE	RTW
0	11/13/24	EXHIBIT	RTW



TIM FALLON LAND SURVEYING, PLLC
15139 CARROLLTON BLVD, SUITE C
SUITE C, P.O. BOX 189
CARROLLTON, VIRGINIA, 23314

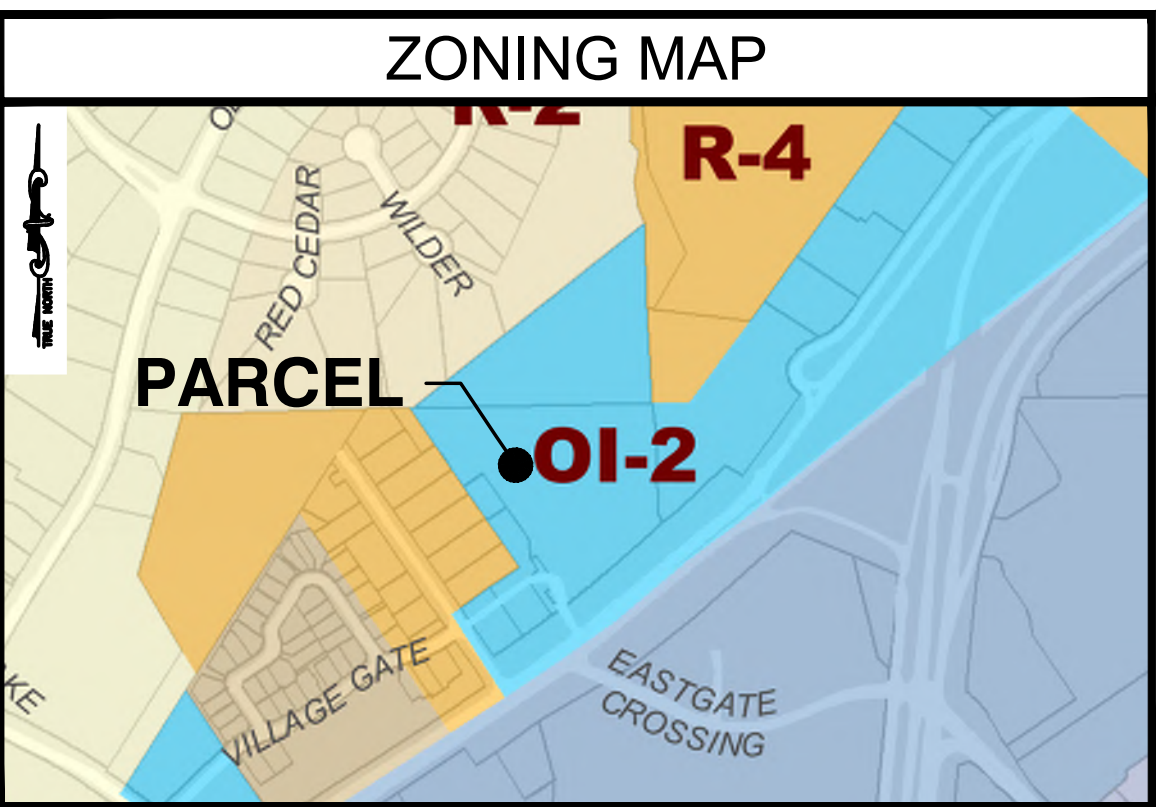
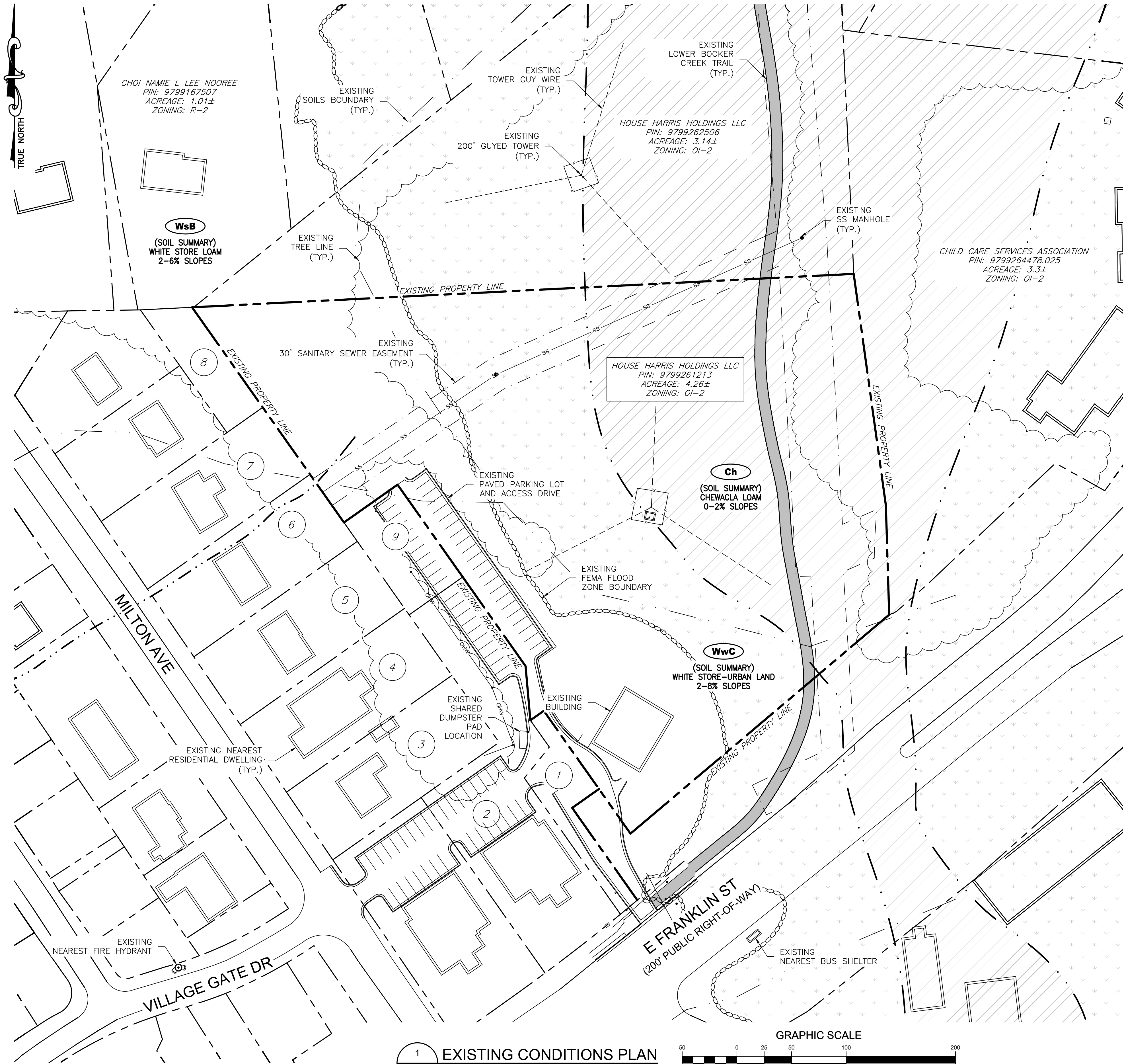
NC CERT. P-2599

SHEET TITLE

EASEMENT
EXHIBIT

SHEET NUMBER

EE-1



LEGEND	
	PROPERTY LINE - SUBJECT PARCEL
	PROPERTY LINE - ABUTTERS
	EXISTING ROAD
	EXISTING BUILDING
	EXISTING TREE LINE
	EXISTING FEMA FLOODWAY
	EXISTING FEMA FLOOD AE ZONE
	EXISTING EASEMENT
	EXISTING UNDERGROUND SEWER LINE
	EXISTING OVERHEAD UTILITIES
	EXISTING SOILS BOUNDARY
	PROPOSED EASEMENT
	PROPOSED LEASE AREA
	PROPOSED BOARD-ON-BOARD FENCE
	PROPOSED LIMITS OF DISTURBANCE

PARCEL INFORMATION

- 1 HOUSE HARRIS HOLDINGS LLC
PIN: 9799250924
ACREAGE: 0.12±
ZONING: 01-2

2 TWG HOLDINGS LLC
PIN: 9799159996
ACREAGE: 0.6±
ZONING: 01-2

3 JOSEPH L KOVENS & MIEKE W KOVENS
PIN: 9799158974
ACREAGE: 0.31±
ZONING: R-4

4 MICHAEL FERNANDES & PRABHAVATHI FERNANDES
PIN: 9799168030
ACREAGE: 0.31±
ZONING: R-4

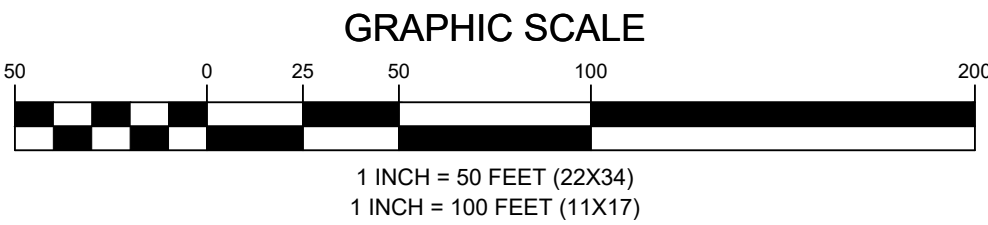
5 RUTH R CUNNINGHAM & STEPHEN J CUNNINGHAM
PIN: 9799167098
ACREAGE: 0.31±
ZONING: R-4
- 6 MARK ALAN KOCHUK & RITA LYNN GRUNBERG
PIN: 9799168200
ACREAGE: 0.31±
ZONING: R-4

7 RUTH REGINA CUNNINGHAM & STEPHEN J CUNNINGHAM
PIN: 9799167108
ACREAGE: 0.31±
ZONING: R-4

8 MARGARET ANN FRENCH JAYNE LEIGH AVERY
PIN: 9799166391
ACREAGE: 0.11±
ZONING: R-4

9 HIGHVIEW LLC
PIN: 9799168191
ACREAGE: 0.14±
ZONING: 01-2

1 EXISTING CONDITIONS PLAN
Z-1
SCALE: 1" = 50' (22X34)
SCALE: 1" = 100' (11X17)



APPLICANT



ENGINEER



SITE INFORMATION

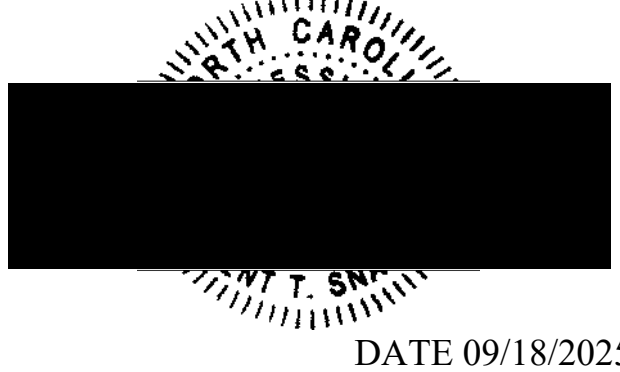
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PROFESSIONAL STAMP



ENGINEER

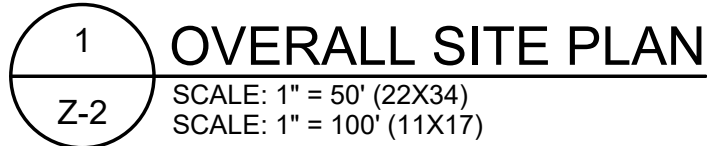
TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977

SHEET TITLE

EXISTING
CONDITIONS PLAN

SHEET NUMBER

Z-1



- 1 HOUSE HARRIS HOLDINGS LLC
PIN: 9799250924
ACREAGE: 0.12±
ZONING: OI-2
- 2 TWG HOLDINGS LLC
PIN: 9799159996
ACREAGE: 0.6±
ZONING: OI-2
- 3 JOSEPH L KOVENS &
MIEKE W KOVENS
PIN: 9799158974
ACREAGE: 0.31±
ZONING: R-4
- 4 MICHAEL FERNANDES &
PRABHAVATHI FERNANDES
PIN: 9799168030
ACREAGE: 0.31±
ZONING: R-4
- 5 RUTH R CUNNINGHAM &
STEPHEN J CUNNINGHAM
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PIN: 9799166391
ACREAGE: 0.11±
ZONING: R-4
- 9 HIGHVIEW LLC
PIN: 9799168191
ACREAGE: 0.14±
ZONING: OI-2



LEGEND

GENERAL NOTES

1. THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
2. NO SIGNIFICANT NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
3. THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION. THERE IS NO HANDICAP ACCESS REQUIRED.
4. THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
5. THE CLOSEST RESIDENTIAL BUILDING IS LOCATED 213.4± AWAY FROM PROPOSED TOWER CENTER.
6. THE CLOSEST FIRE HYDRANT IS LOCATED 518.5'± AWAY FROM THE PROPOSED TOWER CENTER.
7. THIS IS NOT A BOUNDARY SURVEY AND IS NOT TO BE USED TO CONVEY PROPERTY. BOUNDARY INFORMATION OBTAINED FROM RECORDED DEED OR PLAT.
8. REFER TO SURVEY DOCUMENT ON SHEET EE-1 FOR ALL LEASED AREA, ACCESS & UTILITY EASEMENT AND PROPERTY BOUNDARY INFORMATION.
9. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS, THE PROPOSED TELECOMMUNICATIONS SITE IS LOCATED IN ZONE "AE", ACCORDING TO THE FEDERAL MANAGEMENT AGENCY – COMMUNITY PANEL NO. 3710979900L, DATED 10/19/2018.

APPLICANT



ENGINEER



TKK ENGINEERING, P.C.
8601 SIX FORKS ROAD, SUITE 540
RALEIGH, NC 27615
919.657.9131

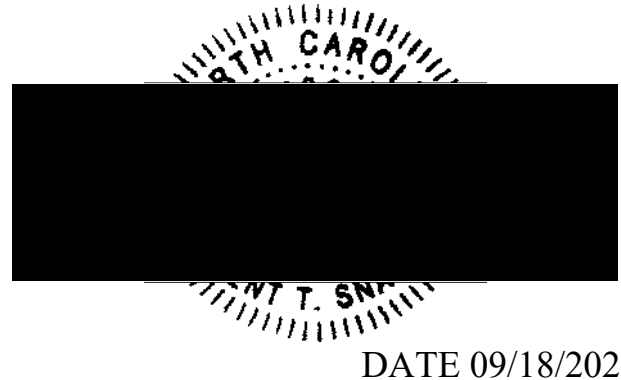
NT SITE NAME: DOBBINS
NT SITE ID: NC-T23.12

NB+C PROJ. # 100793
(TOWER 911 ADDRESS TBD)
1721 E FRANKLIN STREET
CHAPEL HILL, NC 27514
ORANGE COUNTY

DESIGN RECORD

5	09/18/2025	REVISED SITE PLAN	OP
4	06/24/2025	REVISED SITE PLAN	OP
3	04/15/2025	REVISED SITE PLAN	OP
2	03/12/2025	REVISED SITE PLAN	OP
1	01/31/2025	SITE PLAN	BMG
0	11/14/2024	ZONING DRAWINGS	OP
REV	DATE	DESCRIPTION	BY

PROFESSIONAL STAMP



ENGINEER

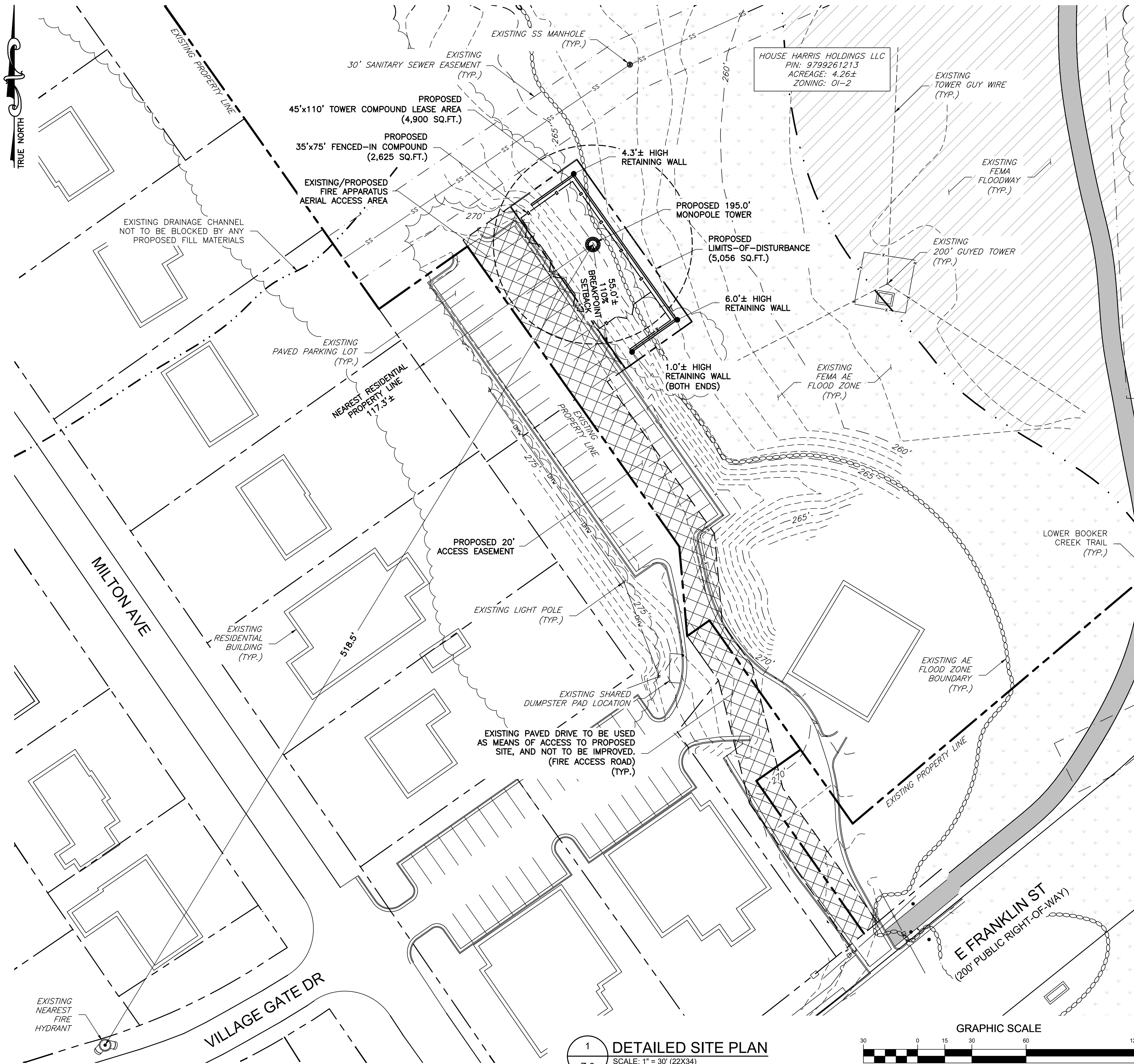
TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977

SHEET TITLE

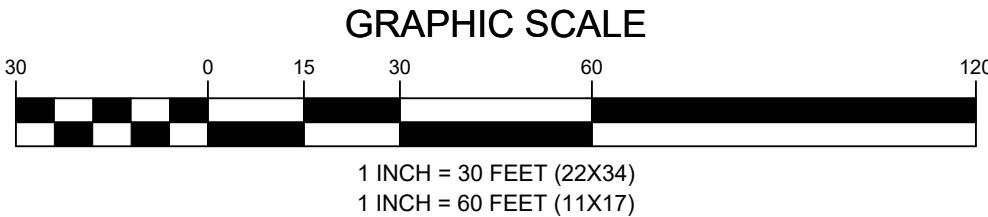
OVERALL SITE PLAN

SHEET NUMBER

Z-2



1 DETAILED SITE PLAN
SCALE: 1" = 30' (22X34)
SCALE: 1" = 60' (11X17)



OCSW CONSTRUCTION WASTE REQUIREMENTS:

- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS. CONTACT THE ORANGE COUNTY SW ENFORCEMENT OFFICER AT 919-968-2788 TO ARRANGE FOR THE ASSESSMENT.
- PURSUANT TO THE COUNTY'S RRMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- PURSUANT TO THE COUNTY'S RRMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
- THE PRESENCE IF ANY ASBESTOS CONTAINING MATERIALS ('ACM') AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

LEGEND	
	PROPERTY LINE - SUBJECT PARCEL
	PROPERTY LINE - ABUTTERS
	EXISTING ROAD
	EXISTING BUILDING
	EXISTING TREE LINE
	EXISTING FEMA FLOODWAY
	EXISTING FEMA FLOOD AE ZONE
	EXISTING EASEMENT
	EXISTING UNDERGROUND SEWER LINE
	EXISTING OVERHEAD UTILITIES
	EXISTING SOILS BOUNDARY
	PROPOSED EASEMENT
	PROPOSED LEASE AREA
	PROPOSED BOARD-ON-BOARD FENCE
	PROPOSED LIMITS OF DISTURBANCE

APPLICANT



ENGINEER



SITE INFORMATION

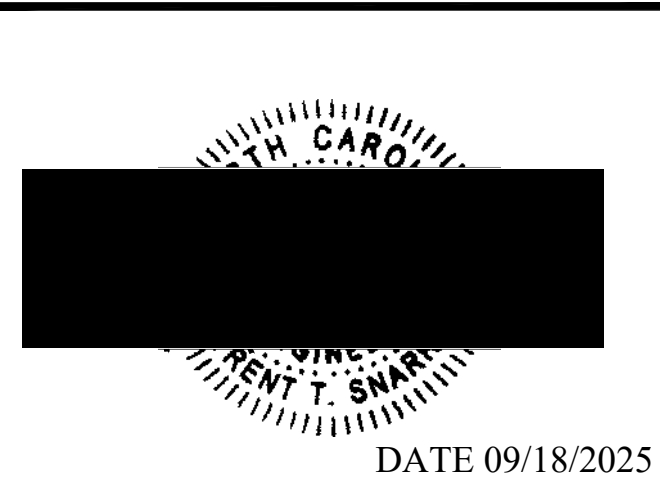
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PROFESSIONAL STAMP



ENGINEER

TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977

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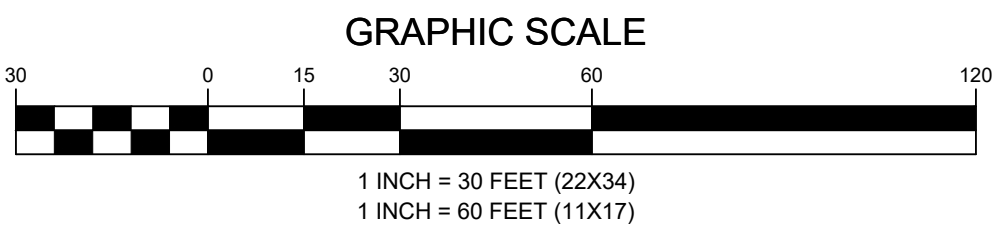
DETAILED
SITE PLAN

SHEET NUMBER

Z-3



1
Z-4
AERIAL PLAN
SCALE: 1" = 30' (22X34)
SCALE: 1" = 60' (11X17)



LEGEND	
	PROPERTY LINE - SUBJECT PARCEL
	PROPERTY LINE - ABUTTERS
	EXISTING ROAD
	EXISTING BUILDING
	EXISTING TREE LINE
	EXISTING FEMA FLOODWAY
	EXISTING FEMA FLOOD AE ZONE
	EXISTING EASEMENT
	EXISTING UNDERGROUND SEWER LINE
	EXISTING OVERHEAD UTILITIES
	EXISTING SOILS BOUNDARY
	PROPOSED EASEMENT
	PROPOSED LEASE AREA
	PROPOSED BOARD-ON-BOARD FENCE
	PROPOSED LIMITS OF DISTURBANCE

APPLICANT



ENGINEER



SITE INFORMATION

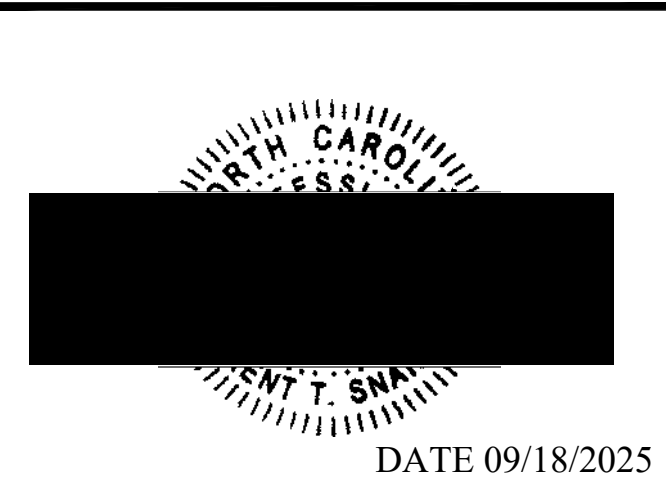
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PROFESSIONAL STAMP



ENGINEER

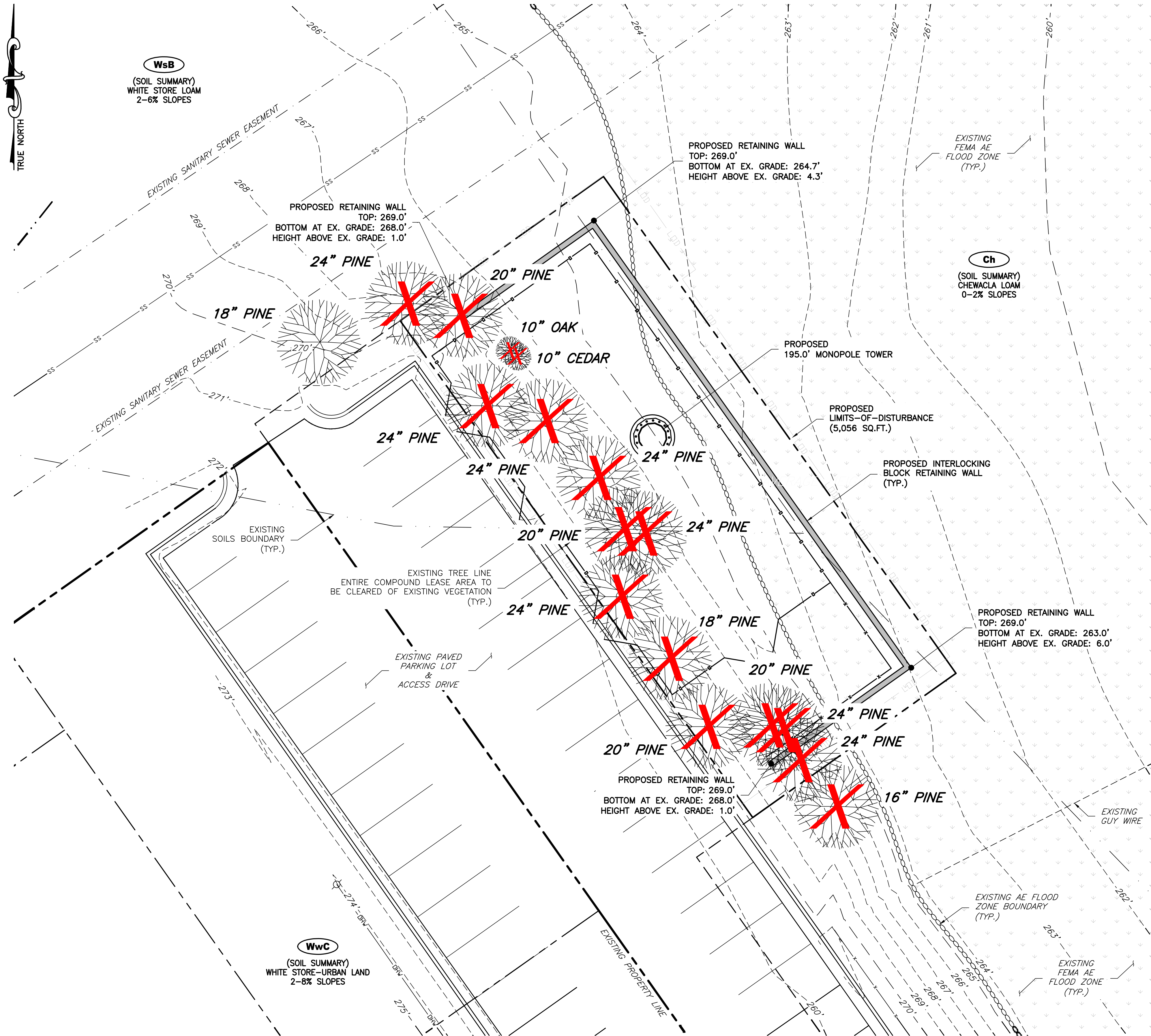
TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977

SHEET TITLE

AERIAL PLAN

SHEET NUMBER

Z-4



TREE INVENTORY

- TREES TO BE REMOVED:
- 1. REMOVE 24.0" (DBH) PINE
 - 2. REMOVE 20.0" (DBH) PINE
 - 3. REMOVE 10.0" (DBH) OAK
 - 4. REMOVE 10.0" (DBH) CEDAR
 - 5. REMOVE 24.0" (DBH) PINE
 - 6. REMOVE 24.0" (DBH) PINE
 - 7. REMOVE 24.0" (DBH) PINE
 - 8. REMOVE 20.0" (DBH) PINE
 - 9. REMOVE 24.0" (DBH) PINE
 - 10. REMOVE 24.0" (DBH) PINE
 - 11. REMOVE 18.0" (DBH) PINE
 - 12. REMOVE 20.0" (DBH) PINE
 - 13. REMOVE 20.0" (DBH) PINE
 - 14. REMOVE 24.0" (DBH) PINE
 - 15. REMOVE 24.0" (DBH) PINE
 - 16. REMOVE 16.0" (DBH) PINE

NOTE:
AVERAGE TREE HEIGHT = 83.0' AGL

APPLICANT

**NETWORK
TOWERS**

NETWORK TOWERS, LLC.
120 EASTSHORE DRIVE, SUITE 300
GLEN ALLEN, VA 22059
804-548-4079

ENGINEER

NB+CTM

TOTALLY COMMITTED.

TKK ENGINEERING, P.C.
8601 SIX FORKS ROAD, SUITE 540
RALEIGH, NC 27615
919-657-5131

SITE INFORMATION

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PROFESSIONAL STAMP



ENGINEER

TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977

SHEET TITLE

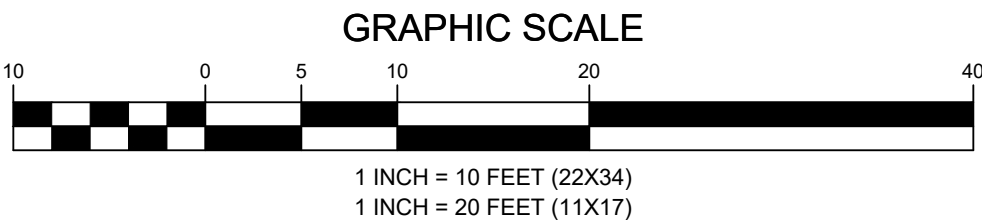
**TREE REMOVAL
PLAN**

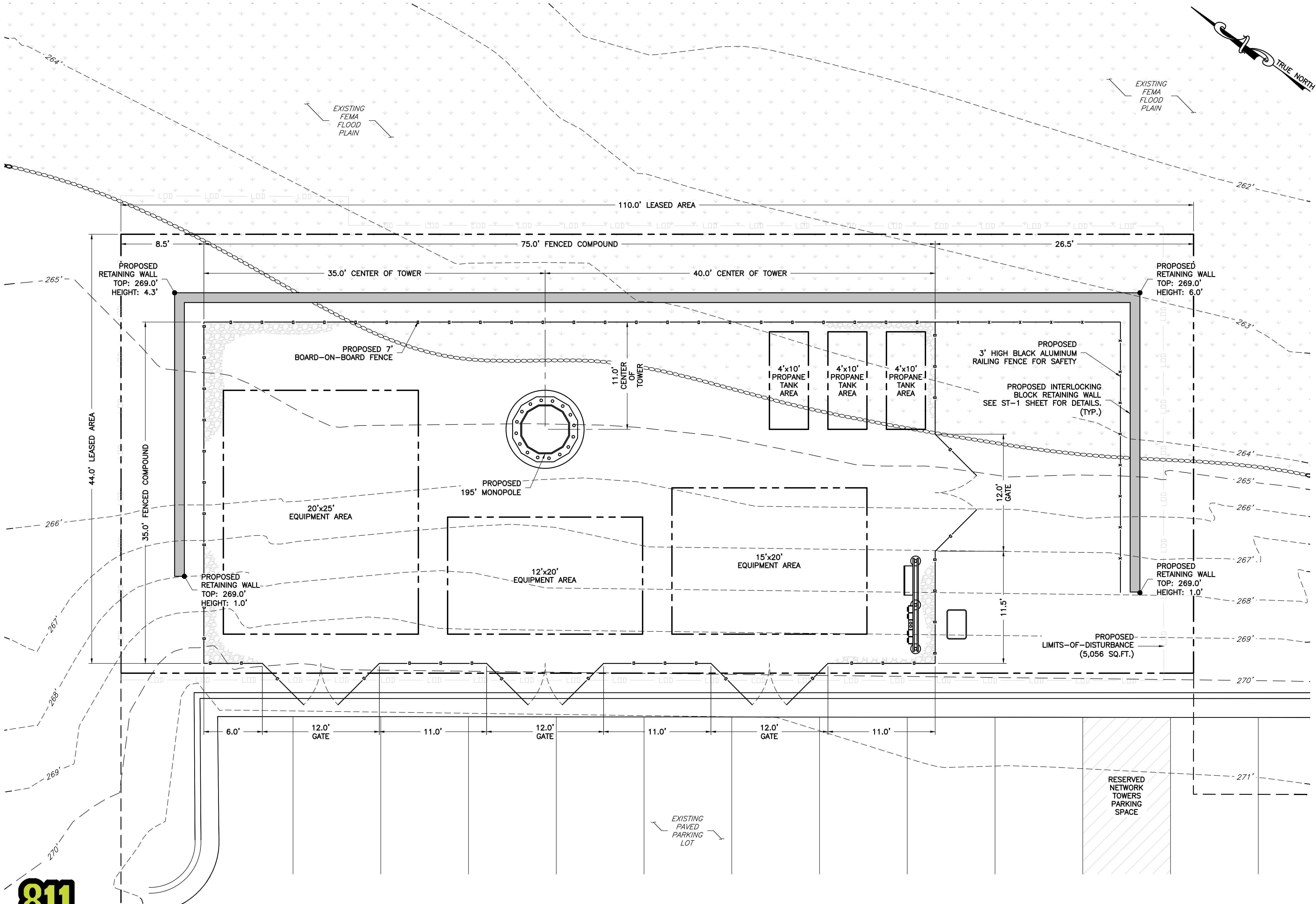
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Z-5

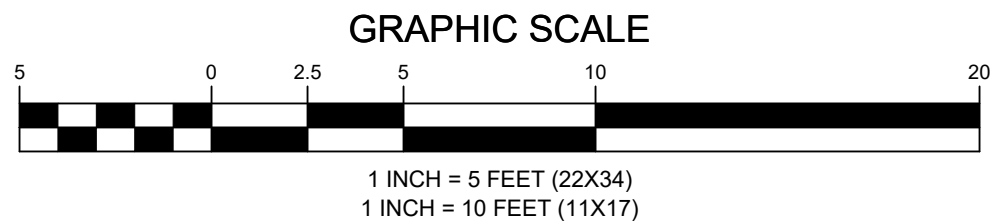
1
Z-5

TREE REMOVAL PLAN
SCALE: 1" = 10' (22X34)
SCALE: 1" = 20' (11X17)





1 COMPOUND PLAN
SCALE: 1" = 5' (22X34)
SCALE: 1" = 10' (11X17)



APPLICANT

NETWORK TOWERS
NETWORK TOWERS, LLC.
120 EASTSHORE DRIVE, SUITE 300
GLEN ALLEN, VA 22059
804-548-4079

ENGINEER

NB+C
TOTALLY COMMITTED.
TKK ENGINEERING, P.C.
8601 SIX FORKS ROAD, SUITE 540
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PROFESSIONAL STAMP

DATE 09/18/2025

ENGINEER

TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977

SHEET TITLE

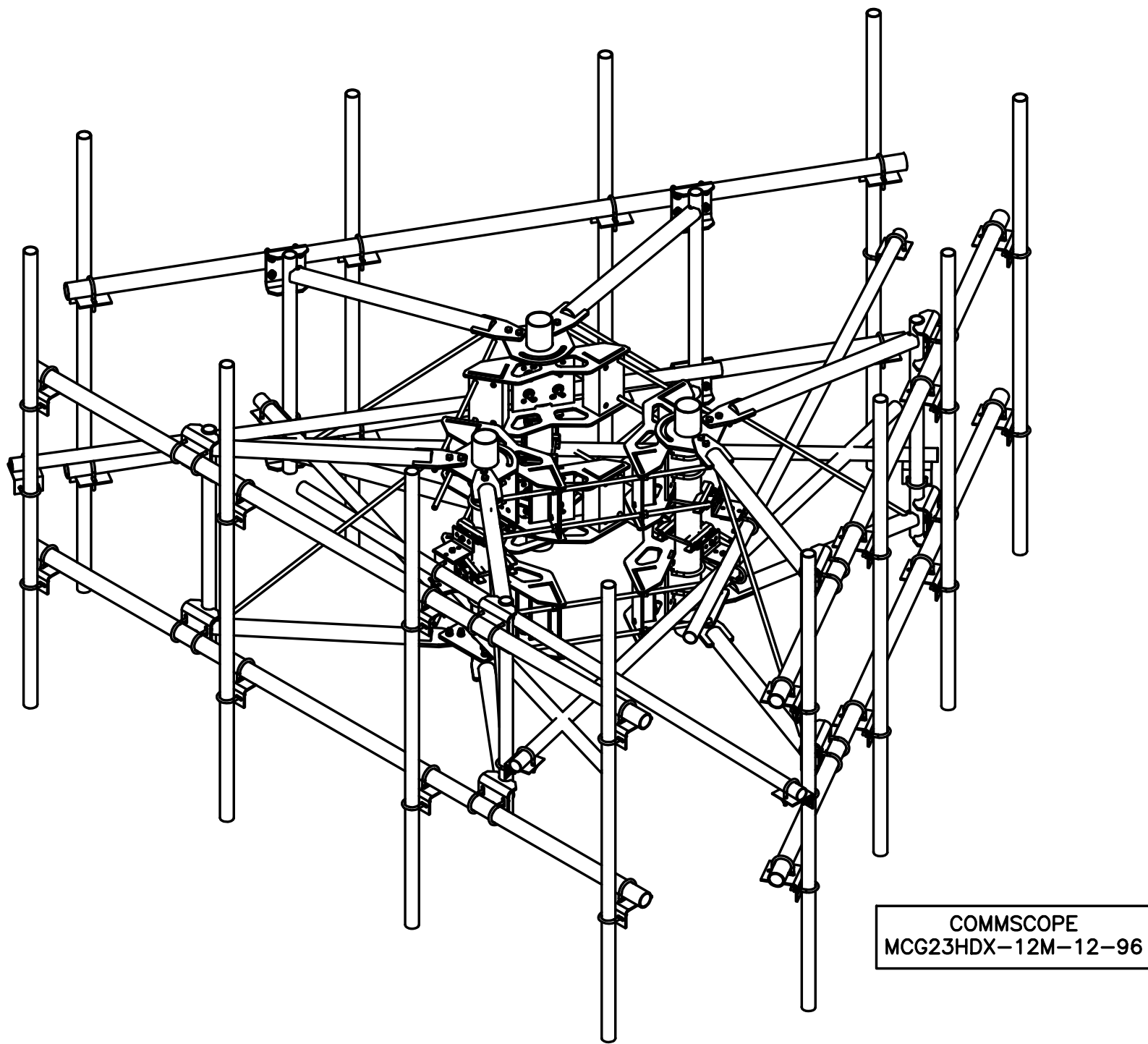
COMPOUND PLAN

SHEET NUMBER

C-1

- TOP OF ALL APPURTENANCES
ELEV.=199.0' AGL
- PROPOSED TOP OF MONOPOLE TOWER
& TOP OF CARRIER'S EQUIPMENT
ELEV.=195.0' AGL
- PROPOSED VERIZON ANTENNA C
ELEV.=190.0' AGL
- FUTURE CARRIER ANTENNA C
ELEV.=178.0' AGL
- FUTURE CARRIER ANTENNA C
ELEV.=168.0' AGL

- PROPOSED 4' LIGHTING ROD
- PROPOSED VERIZON ANTENNAS
(TYP. OF 12 - BY OTHERS)
- FUTURE CARRIER ANTENNAS
- FUTURE CARRIER ANTENNAS

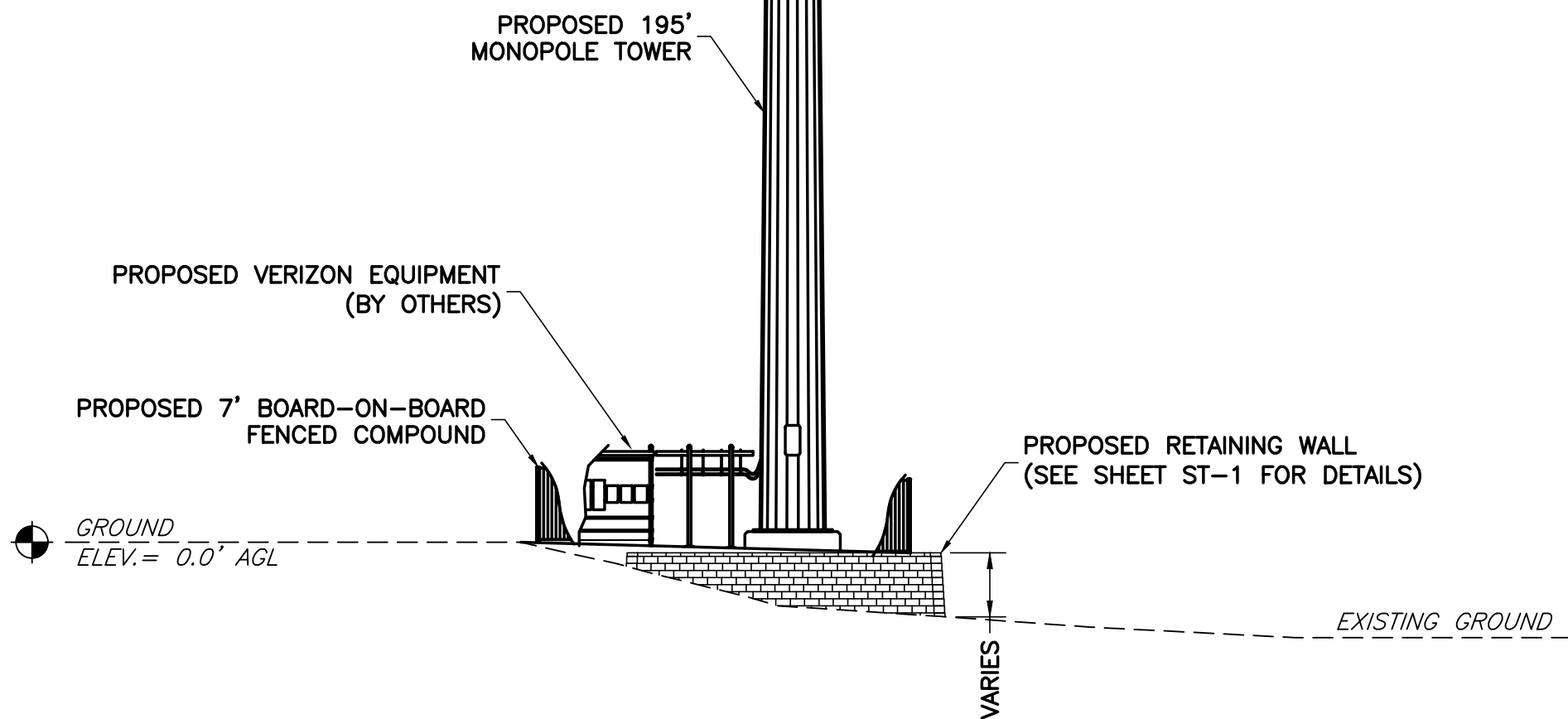


COMMSCOPE
MCG23HDX-12M-12-96

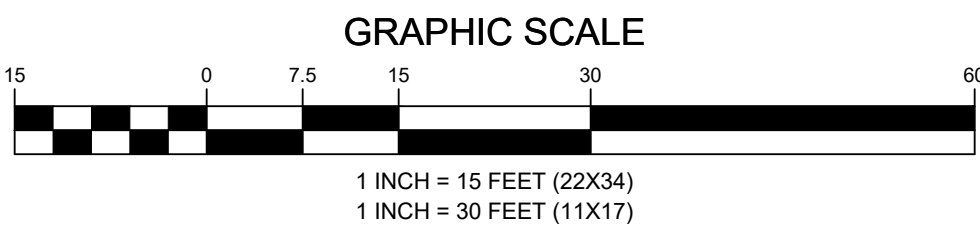
2 ISOMETRIC MOUNT DETAIL
C-2 NTS

NOTE:
THE COMMSCOPE MCG23HDX-12M-12-96 MOUNT MEETS BOTH VERIZON WIRELESS'S MOUNT CLASSIFICATION STANDARDS "NSTD-44S" MINIMUM CRITERIA FOR THE SOUTH MARKET WHICH IS:
1. M1400R-4[6] AND M1000R(1)-4[6]
2. THIS DESIGNATION MUST BE INSTALLED ON THE MOUNT VIA A METAL TAG.
TIEBACKS MUST BE CONNECTED TO A RIGID MEMBER THAT PROVIDES ADEQUATE SUPPORT WITHIN THE LIMITS NOTED IN THE TIEBACK ANGLE RANGE DETAIL.
PROPOSED COLLAR IS SUITABLE FOR MONOPOLE DIAMETERS 15"Ø-50"Ø.

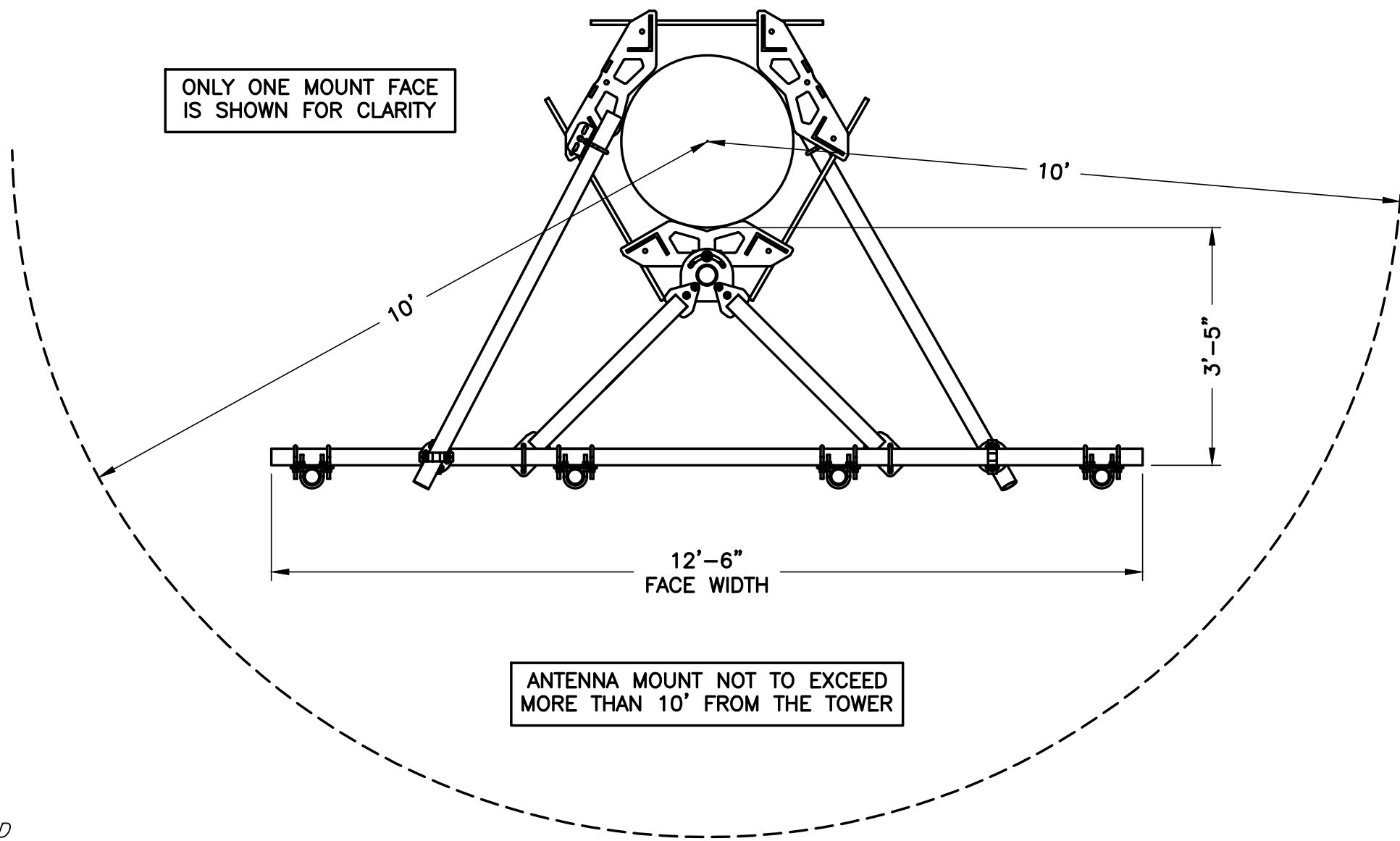
NOTE:
• PER FAA "DETERMINATION OF NO HAZARD TO AIR NAVIGATION" LETTER DATED XX/XX/XXXX, TOWER ILLUMINATION IS NOT REQUIRED.
• TOWER STEEL FINISH AND STEEL COMPONENTS TO BE GALVANIZED.
• TOWER & FOUNDATION DESIGN PERFORMED INDEPENDENTLY FROM THESE CONSTRUCTION DRAWINGS.



1 TOWER ELEVATION
C-2 SCALE: 1" = 15' (22X34)
SCALE: 1" = 30' (11X17)



ONLY ONE MOUNT FACE IS SHOWN FOR CLARITY



3 PLAN VIEW MOUNT DETAIL
C-2 NTS

GENERAL NOTES

- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES ORDINANCES, LAWS AND REGULATIONS OF ALL MUNICIPALITIES, UTILITIES COMPANY OR OTHER PUBLIC AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS THAT MAY BE REQUIRED BY ANY FEDERAL, STATE, COUNTY OR MUNICIPAL AUTHORITIES.
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER, IN WRITING, OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF BIDS OR PERFORMANCE OF WORK. MINOR OMISSIONS OR ERRORS IN THE BID DOCUMENTS SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE OVERALL INTENT OF THESE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SITE IMPROVEMENTS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED AS A RESULT OF CONSTRUCTION OF THIS FACILITY.
- THE SCOPE OF WORK FOR THIS PROJECT SHALL INCLUDE PROVIDING ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED TO COMPLETE THIS PROJECT. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL VERIFY ANTENNA ELEVATION AND AZIMUTH WITH RF ENGINEERING PRIOR TO INSTALLATION.
- TRANSMITTER EQUIPMENT AND ANTENNAS ARE DESIGNED TO MEET ANSI/EIA/TIA 222-H REQUIREMENTS.
- ALL STRUCTURAL ELEMENTS SHALL BE HOT DIPPED GALVANIZED STEEL.
- CONTRACTOR SHALL MAKE A UTILITY "ONE CALL" TO LOCATE ALL UTILITIES PRIOR TO EXCAVATING.
- IF ANY UNDERGROUND UTILITIES OR STRUCTURES EXIST BENEATH THE PROJECT AREA, CONTRACTOR MUST LOCATE IT AND CONTACT THE APPLICANT & THE OWNER'S REPRESENTATIVE.
- OCCUPANCY IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION BY TECHNICIANS APPROXIMATELY 2 TIMES PER MONTH.
- PRIOR TO THE INSTALLATION OF THE PROPOSED EQUIPMENT OR MODIFICATION OF THE EXISTING STRUCTURE, A STRUCTURAL ANALYSIS SHALL BE PERFORMED BY THE OWNER'S AGENT TO CERTIFY THAT THE EXISTING/PROPOSED COMMUNICATION STRUCTURE AND COMPONENTS ARE STRUCTURALLY ADEQUATE TO SUPPORT ALL EXISTING AND PROPOSED ANTENNAS, COAXIAL CABLES AND OTHER APPURTENANCES.
- PROPERTY LINE INFORMATION WAS PREPARED USING DEEDS, TAX MAPS, AND PLANS OF RECORD AND SHOULD NOT BE CONSTRUED AS AN ACCURATE BOUNDARY SURVEY.
- THIS PLAN IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
- NO SIGNIFICANT NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
- THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION (NO HANDICAP ACCESS REQUIRED).
- THE FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SANITARY SERVICE.
- POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.



Know what's below.
Call before you dig.

APPLICANT



ENGINEER



SITE INFORMATION

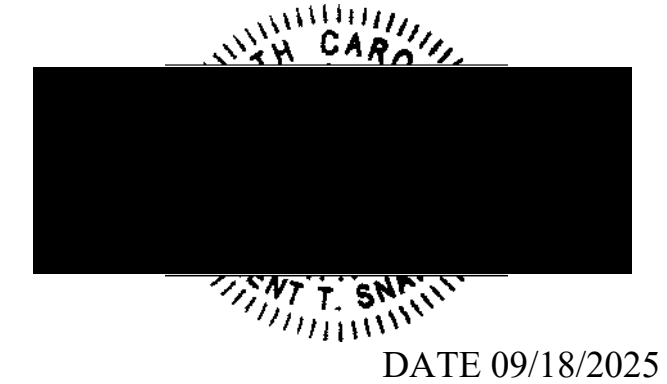
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PROFESSIONAL STAMP



ENGINEER

TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977

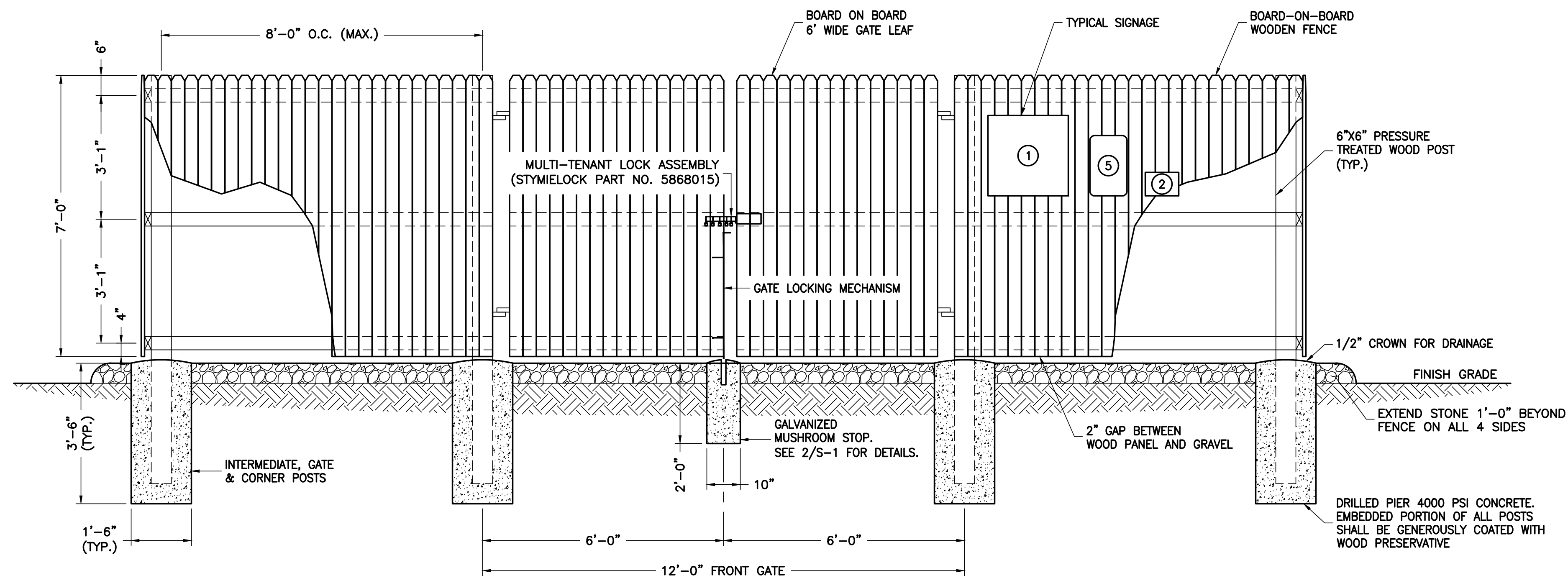
SHEET TITLE

TOWER
ELEVATION

SHEET NUMBER

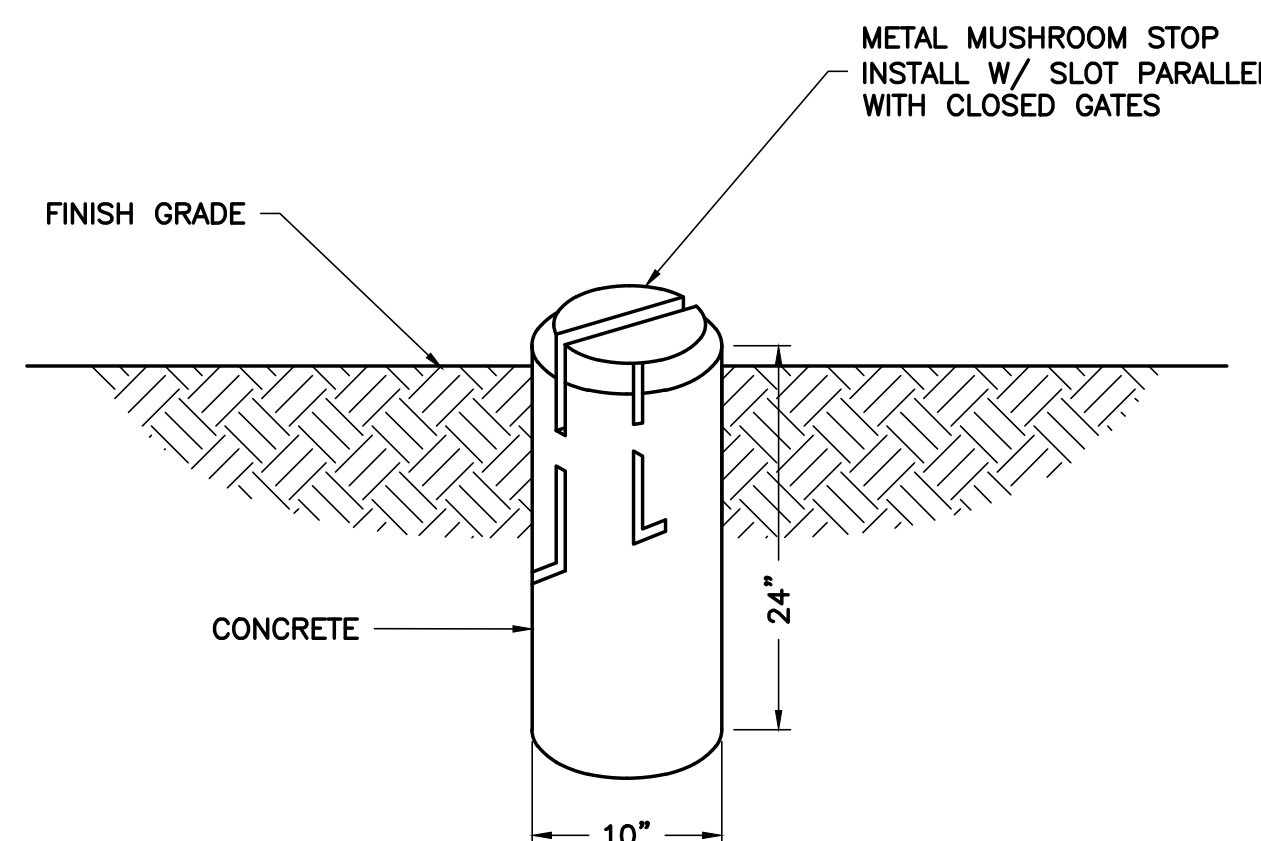
C-2

1. PROVIDE HALF MOON CONCRETE GATE KEEPER FOR DROP ROD
2. PROVIDE GATE CATCHES AT REQUIRED LOCATIONS
3. FENCE SHALL BE INSTALLED WITH THE FINISHED SIDE FACING OUTWARD
4. GATE TO BE SECURE WITH A MULTI-LOCK SYSTEM TO PREVENT UNAUTHORIZED ACCESS TO TELECOM FACILITY.

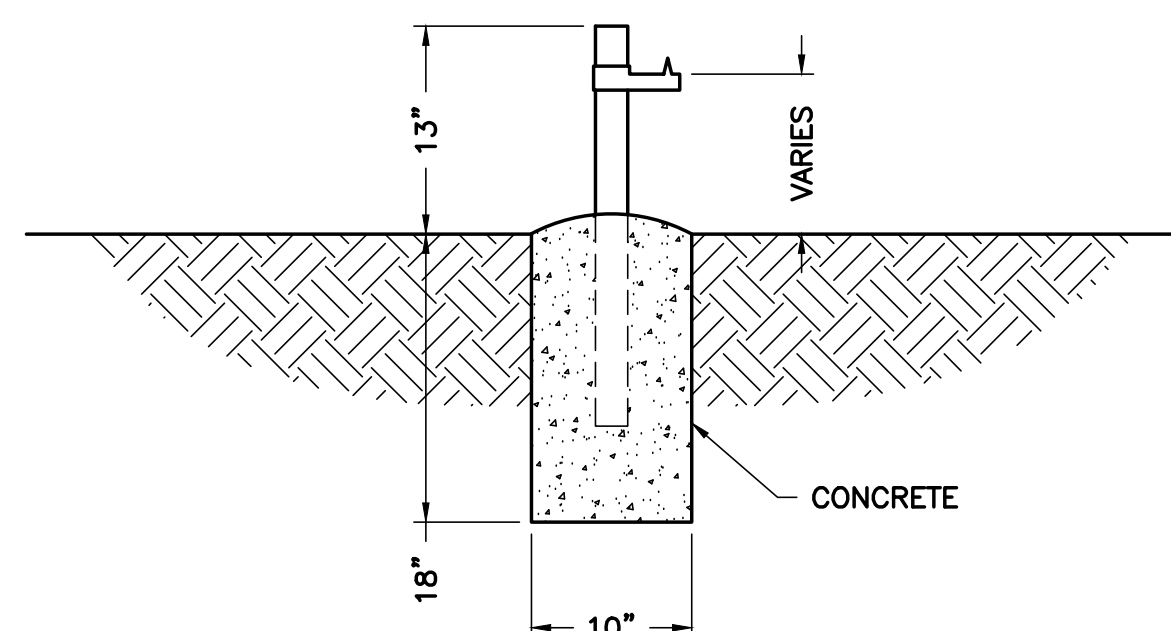


NOTE:
FENCE & GATE DETAIL FOR REFERENCE PURPOSES ONLY.
FOR ACTUAL FENCE & GATE DIMENSIONS REFER TO SHEET C-1

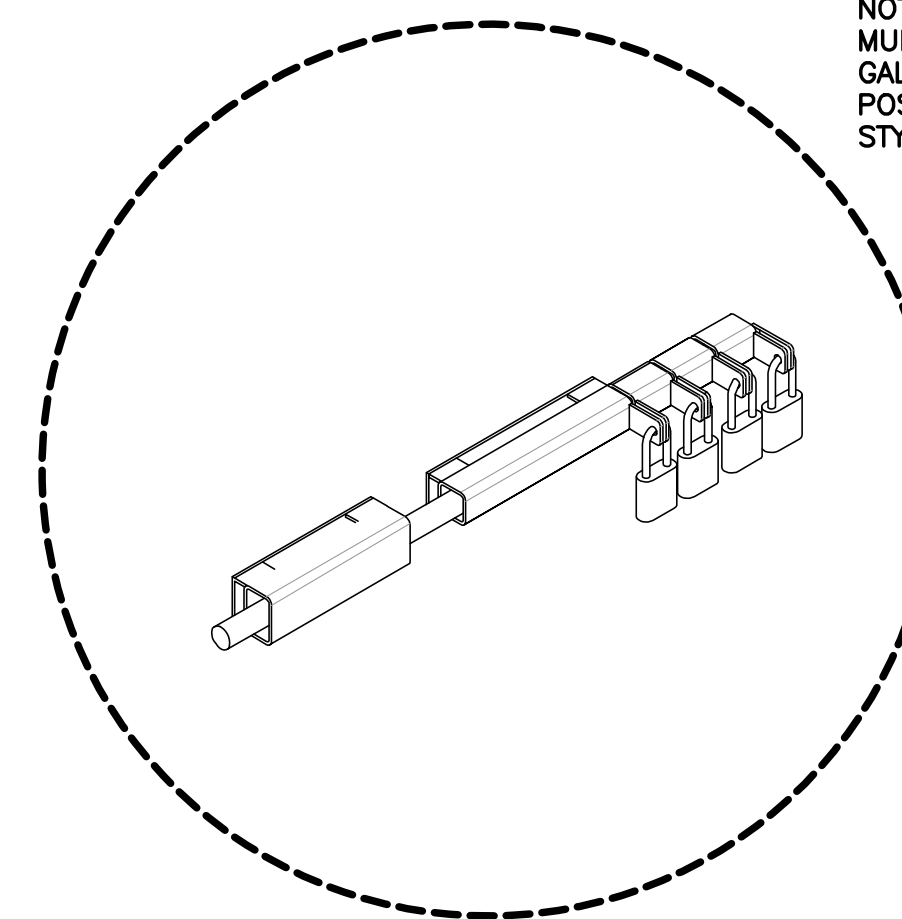
1 TYPICAL FENCE AND GATE DETAIL
S-1 NTS



2 MUSHROOM STOP DETAIL
S-1 NTS



3 GATE KEEPER DETAIL
S-1 NTS



NOTE:
MULTI-TENANT SECURITY LOCK: STANDARD
GALVANIZED 2" LOCK SYSTEM WELDED TO GATE
POSTS 4-2" SLEEVES WITH SLOTTED HASPS.
STYMILOCK PART NO. 5868015

4 MULTI-LOCK DETAIL
S-1 NTS

SHEET NUMBER

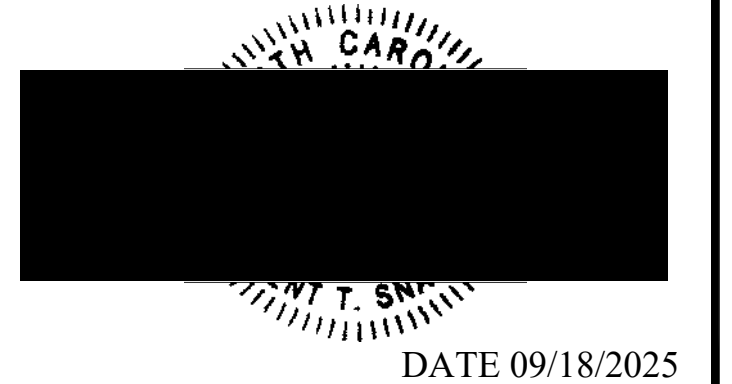


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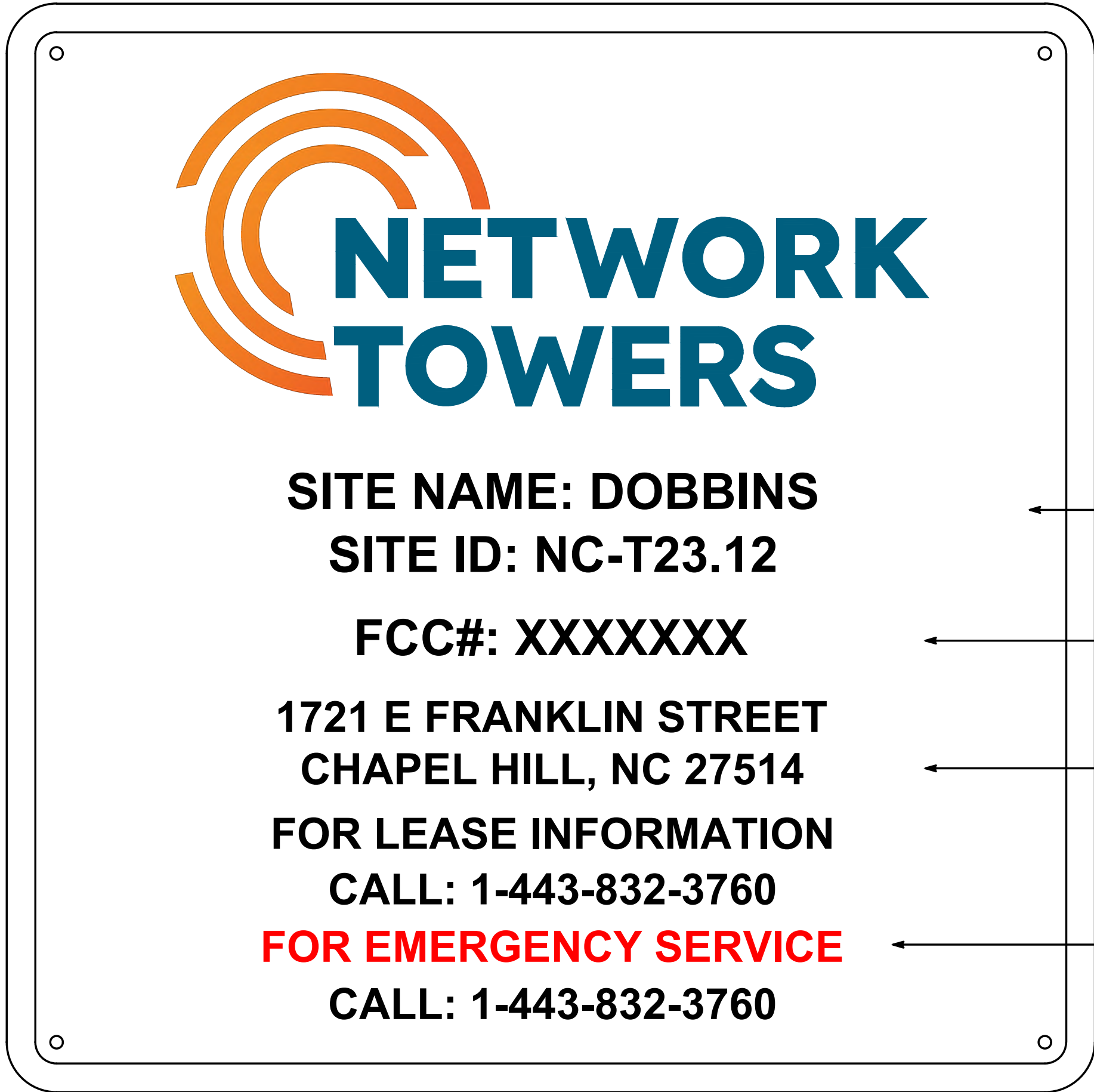
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NC PROFESSIONAL ENGINEER LIC. #037977

FENCE DETAILS

S-1



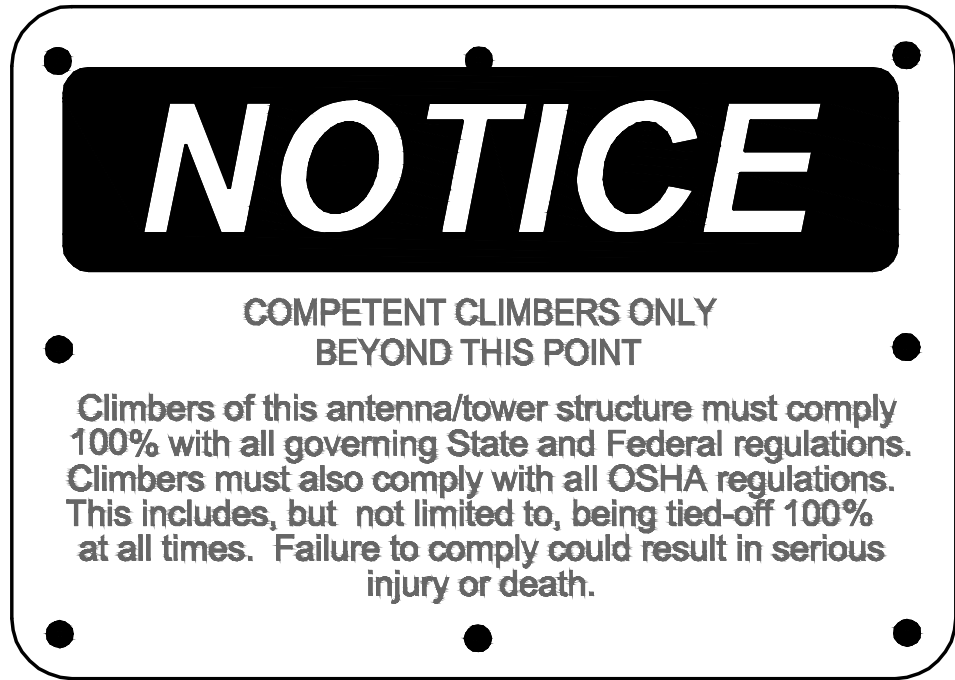
QTY: (1) ON RIGHT SIDE OF MAIN COMPOUND GATE, (1) AT ACCESS ROAD GATE, IF EXIST
CONTRACTOR SHALL VERIFY FCC NUMBER PRIOR TO ORDERING SIGNAGE

1 **NETWORK TOWERS II - SITE SIGN**
24" WIDE X 24" HIGH



QTY: (4) EACH SIDE OF COMPOUND

2 **NO TRESPASSING - SIGN**
10" WIDE X 7" HIGH



QTY: (1) MOUNT SIGN ON CLIMBING FACE AT EYE LEVEL.

3 **COMPETENT CLIMBER - SIGN**
10" WIDE X 7" HIGH

WHITE BACKGROUND
W/ BLACK BORDER

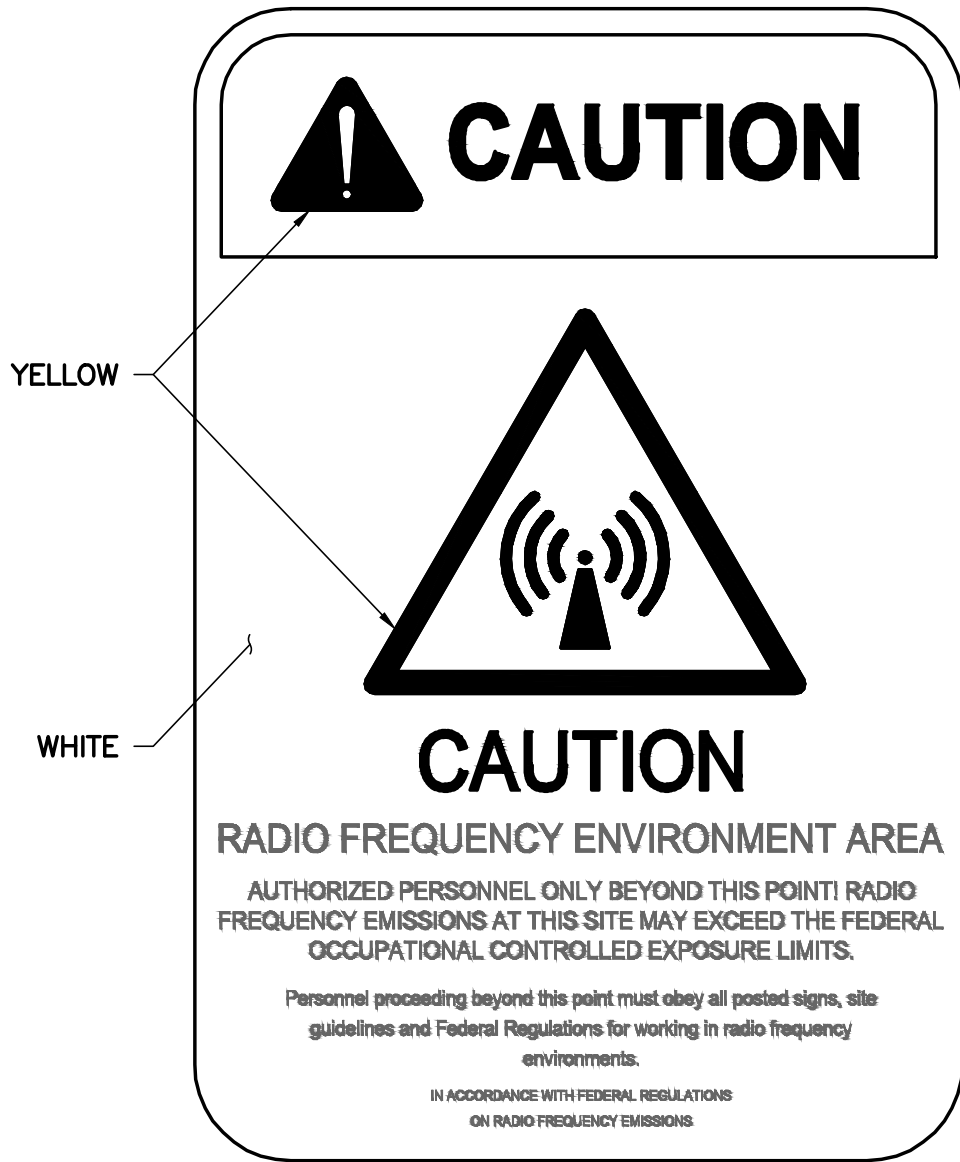
CONTRACTOR SHALL VERIFY FCC NO.
PRIOR TO ORDERING SIGNAGE

CONTRACTOR SHALL VERIFY ADDRESS
PRIOR TO ORDERING SIGNAGE

RED LETTERING
(ALL OTHER BLACK)

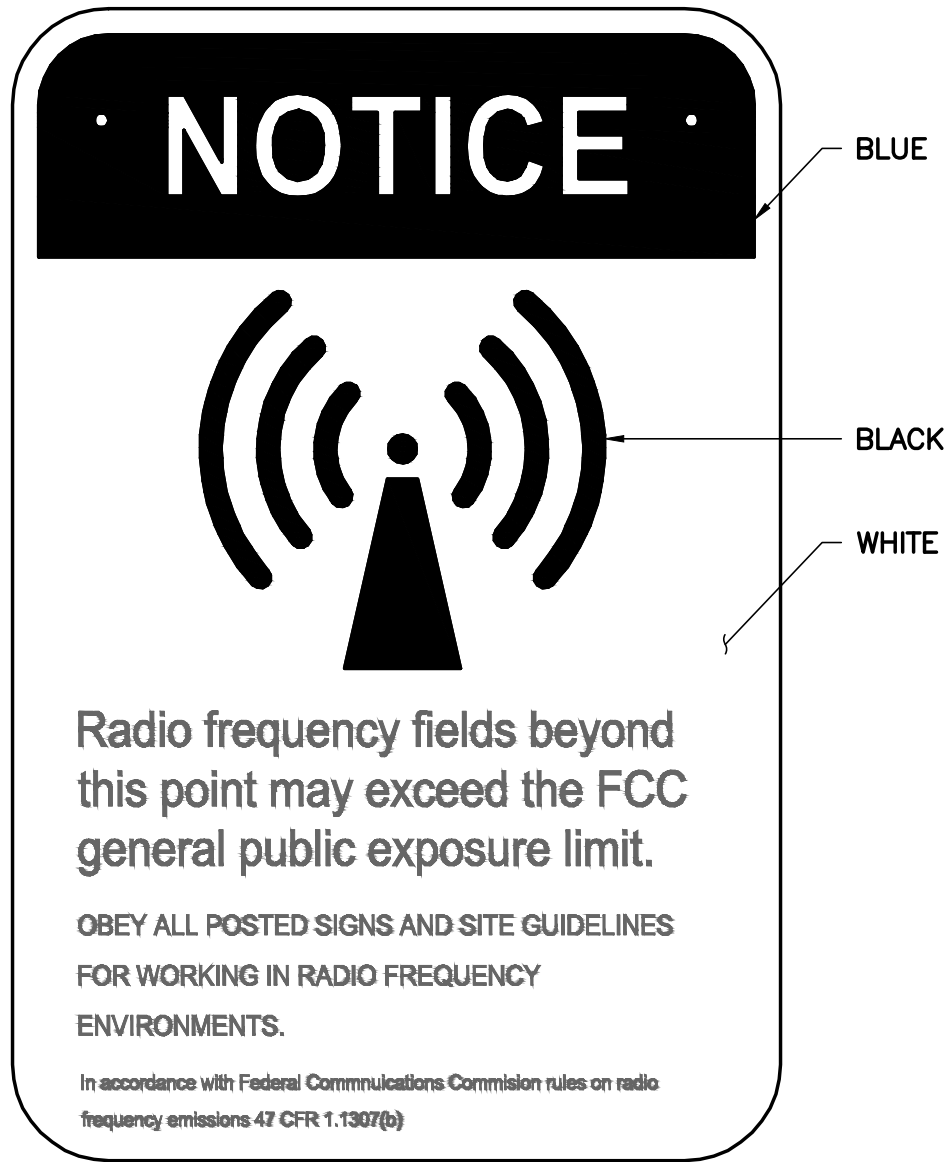
SIGNAGE NOTES

1. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
2. SIGNS UNLESS NOTED OTHERWISE SHALL BE MOUNTED TO THE TOWER, GATE AND FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.
3. CONTRACTOR TO PROVIDE AND INSTALL ALL SIGNAGE.



WHITE / YELLOW BACKGROUND W/ BLACK LETTERING
QTY: (1) TO BE MOUNTED AT EYE LEVEL ON TOWER NEAR SAFETY CLIMB

4 **CAUTION RF - SIGN**
12" WIDE X 18" HIGH



WHITE / BLUE BACKGROUND W/ BLACK LETTERING
QTY: (1) TO BE MOUNTED AT COMPOUND ACCESS GATE

5 **NOTICE RF - SIGN**
12" WIDE X 18" HIGH

APPLICANT



ENGINEER



SITE INFORMATION

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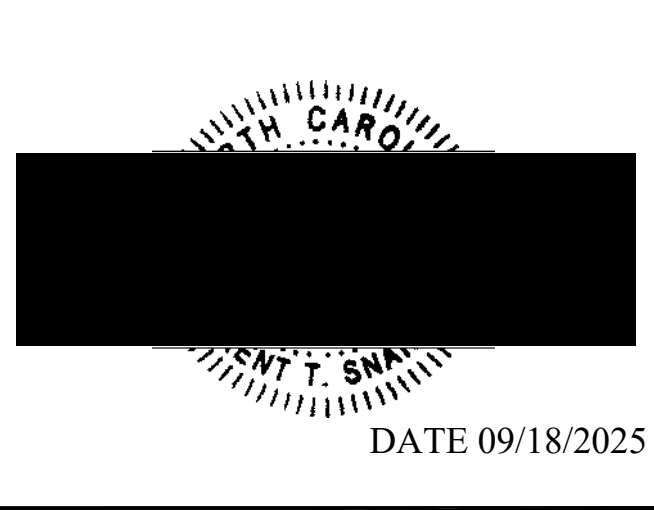
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1	01/31/2025	SITE PLAN	BMB
0	11/14/2024	ZONING DRAWINGS	OP

PROFESSIONAL STAMP



ENGINEER

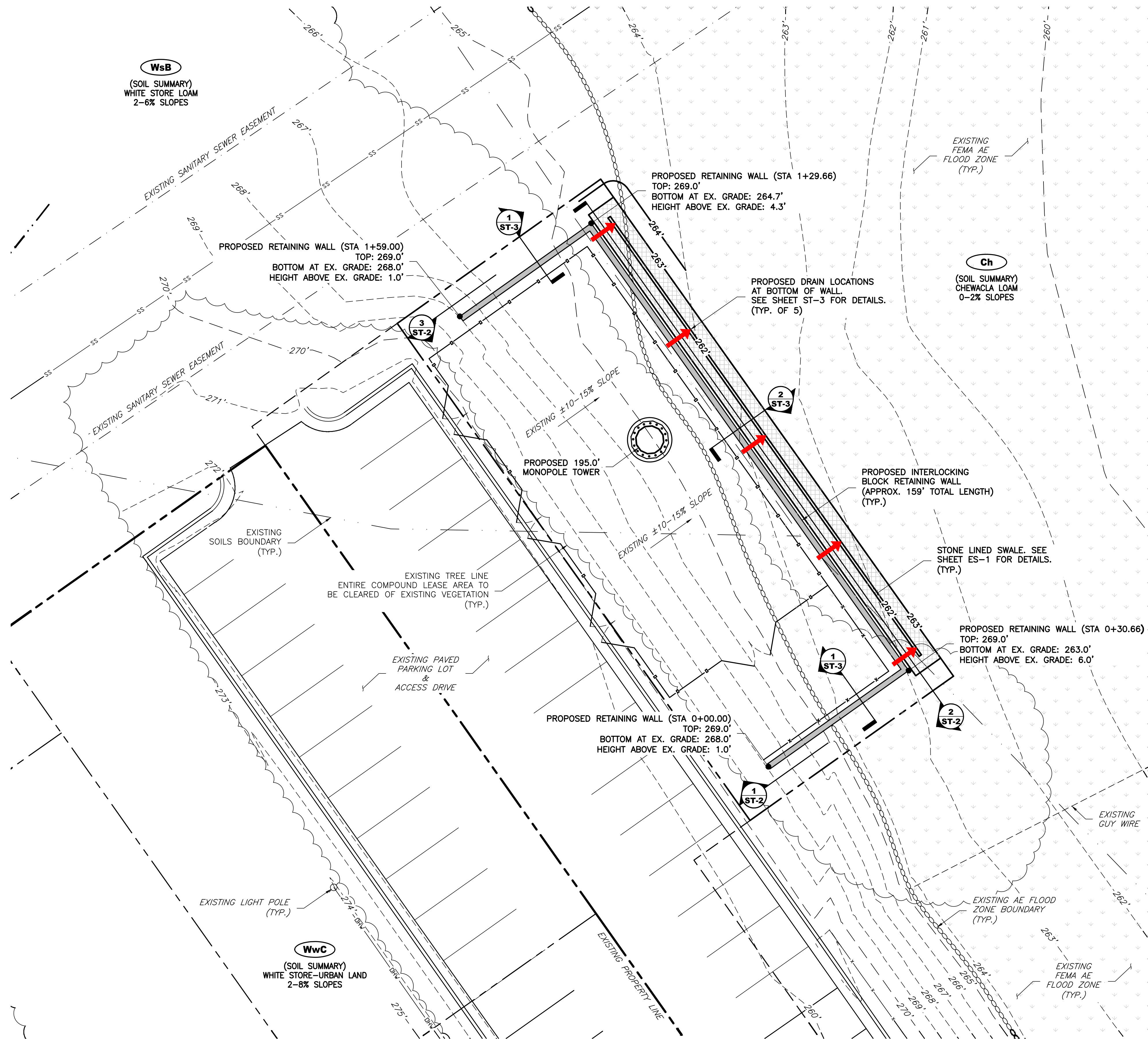
TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977

SHEET TITLE

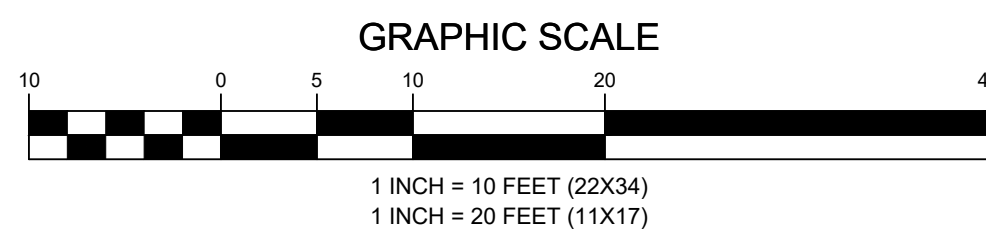
SIGNAGE DETAILS

SHEET NUMBER

S-2



1
ST-1
SEGMENTAL RETAINING WALL PLAN VIEW
SCALE: 1" = 10' (22X34)
SCALE: 1" = 20' (11X17)



APPLICANT



ENGINEER



SITE INFORMATION

NT SITE NAME: DOBBINS
NT SITE ID: NC-T23.12

NB+C PROJ. # 100793
(TOWER 911 ADDRESS TBD)
1721 E FRANKLIN STREET
CHAPEL HILL, NC 27514
ORANGE COUNTY

DESIGN RECORD

REVISIONS

REV	DATE	DESCRIPTION	BY
5	09/18/2025	REVISED SITE PLAN	OP
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PROFESSIONAL STAMP



ENGINEER

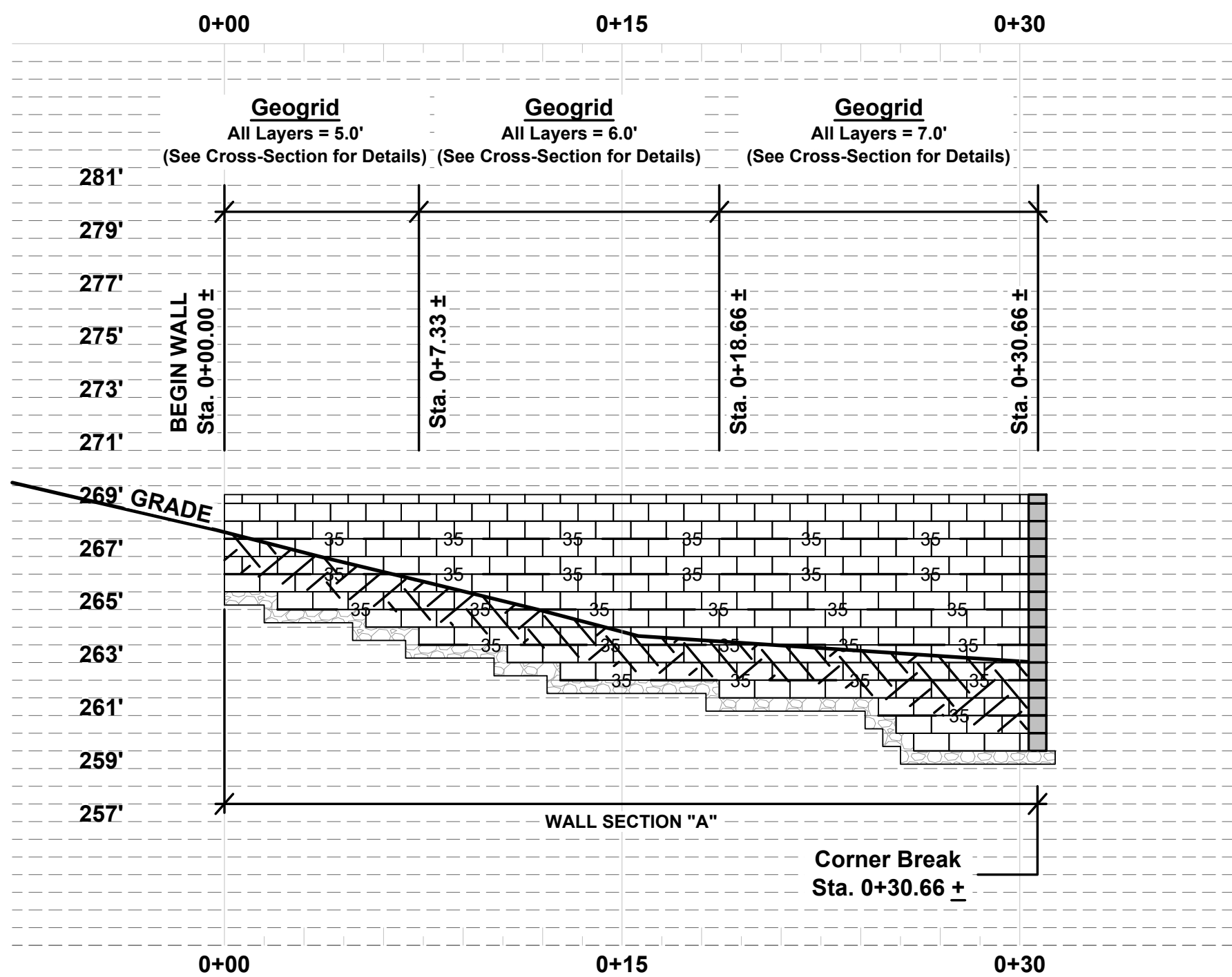
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NC PROFESSIONAL ENGINEER LIC. #037977

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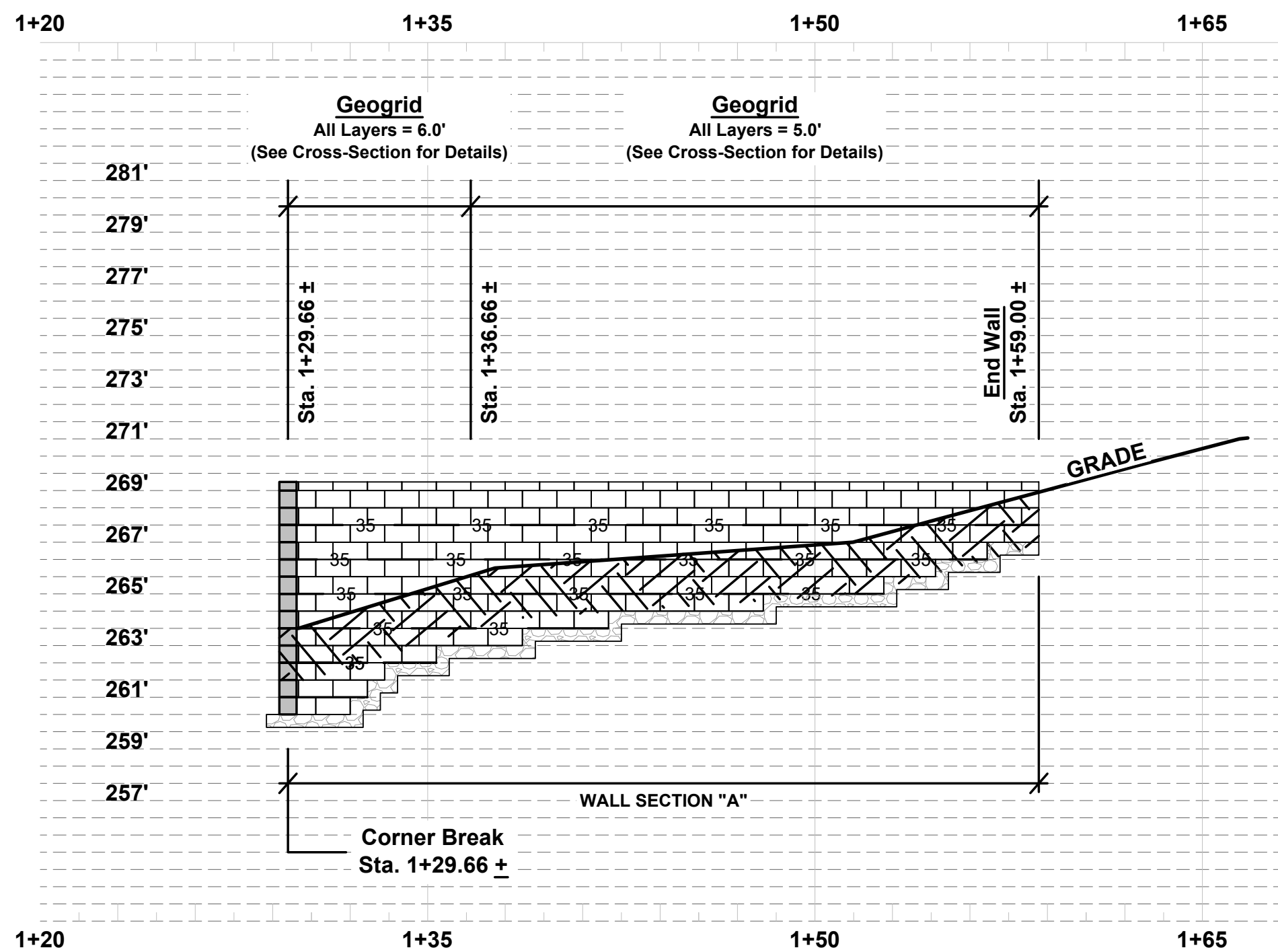
SEGMENTAL
RETAINING WALL
PLAN VIEW

SHEET NUMBER

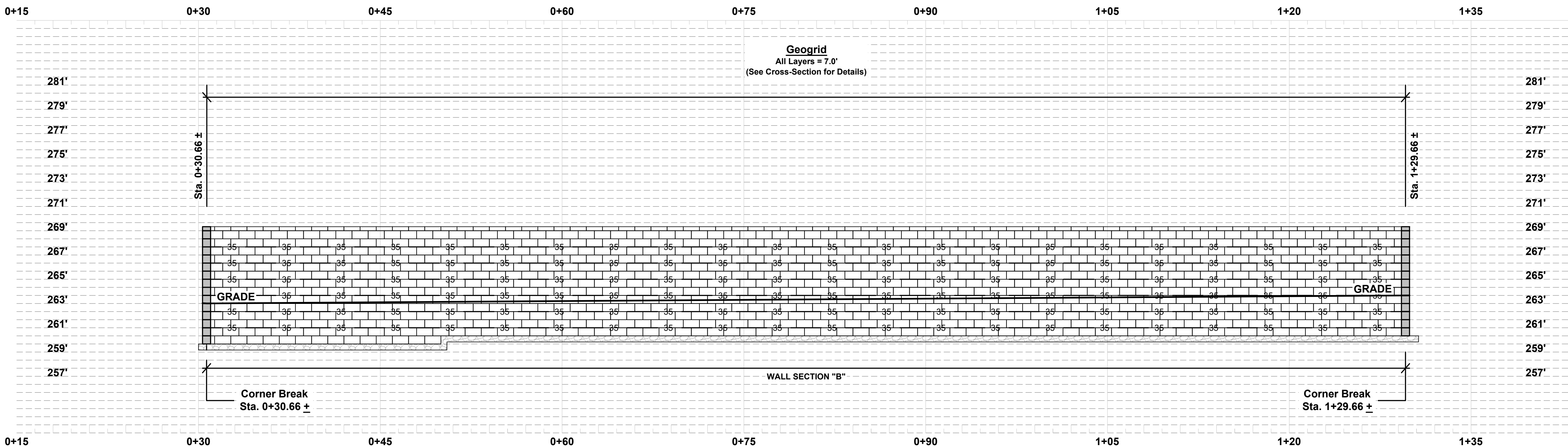
ST-1



1 SEGMENTAL RETAINING WALL - SOUTH PROFILE VIEW
SCALE: 1" = 5'-0"



3 SEGMENTAL RETAINING WALL - NORTH PROFILE VIEW
SCALE: 1" = 5'-0"



2 SEGMENTAL RETAINING WALL - EAST PROFILE VIEW
SCALE: 1" = 5'-0"

LEGEND:
1.) MIRAFI 3XT DESIGNATION:
2.) EMBEDDED BLOCK DESIGNATION:
3.) LEVELING PAD DESIGNATION:

APPLICANT

ENGINEER

SITE INFORMATION

DESIGN RECORD

PROFESSIONAL STAMP

ENGINEER

SHEET TITLE

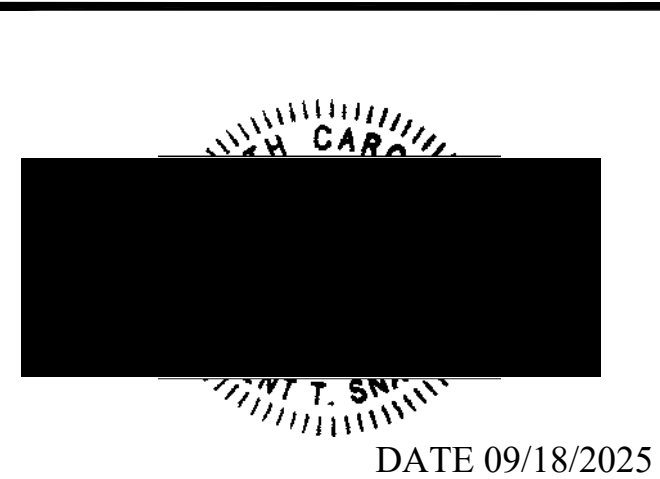
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TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977

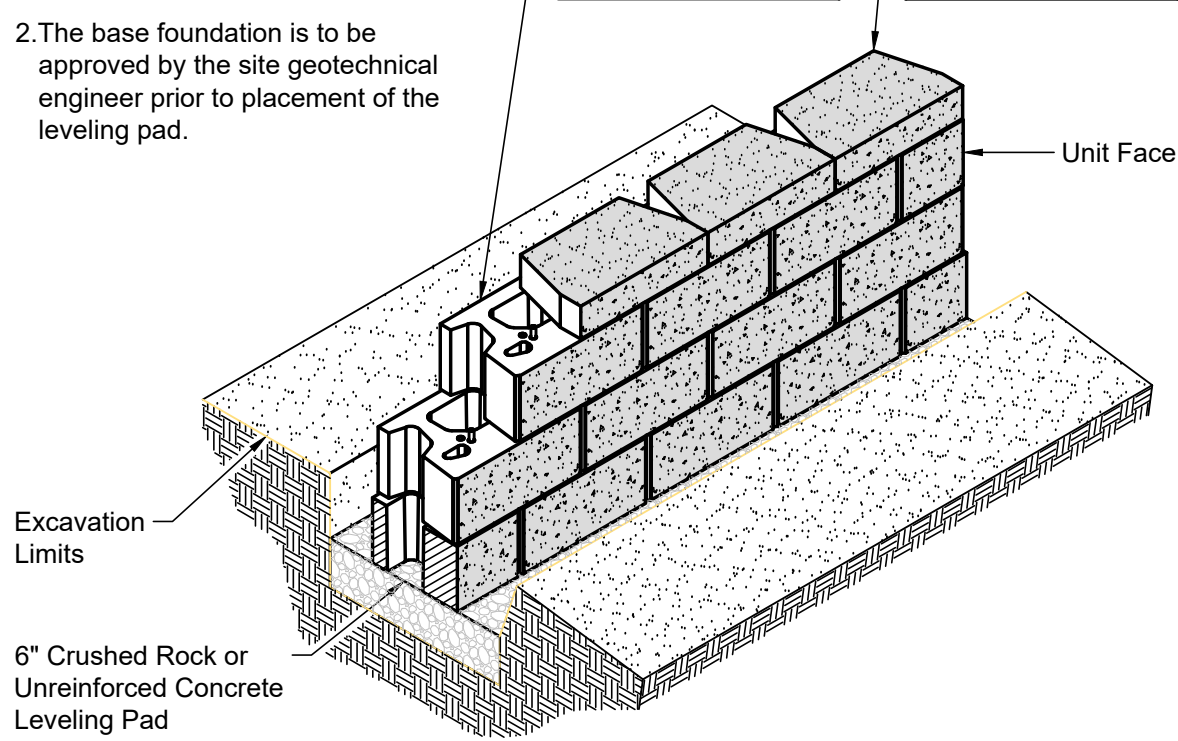
SEGMENTAL
RETAINING WALL
PROFILE

ST-2

Base Leveling Pad Notes:

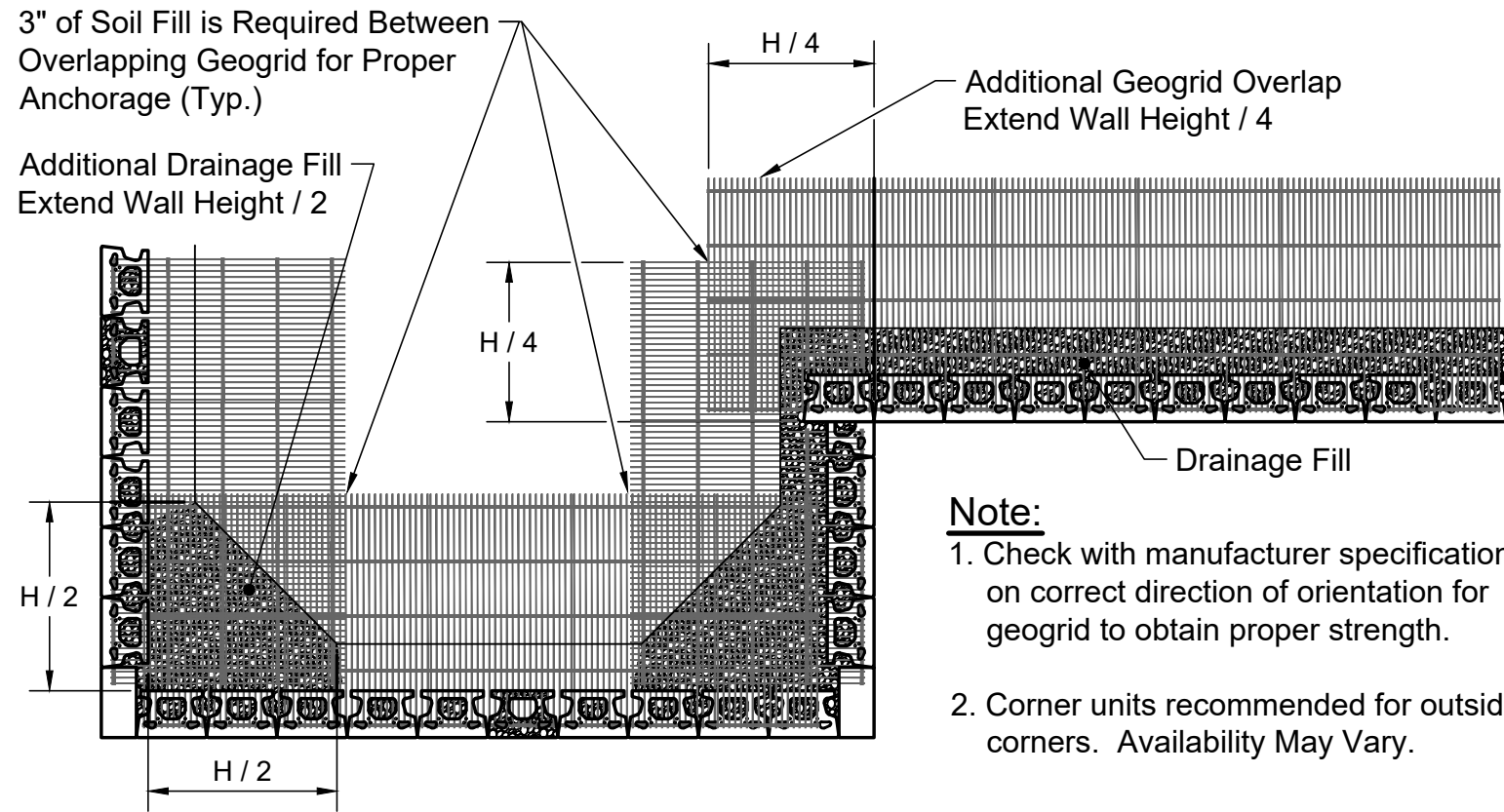
1. The leveling pad is to be constructed of crushed stone or 2,000 psi± unreinforced concrete
2. The base foundation is to be approved by the site geotechnical engineer prior to placement of the leveling pad.

Compac II Unit		Cap Unit	
Width:	18"	Width:	18"
*Depth:	12"	*Depth:	10 1/2"
Height:	8"	Height:	4"
*Weight:	90 lbs	*Weight:	50 lbs



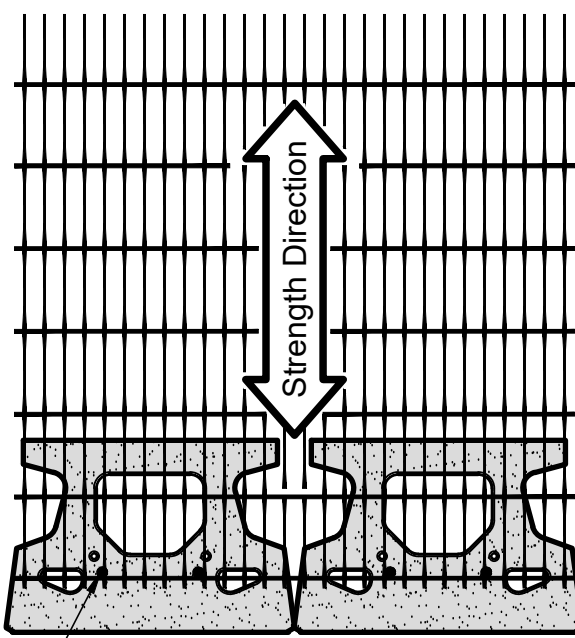
Compac II Unit/Base Pad Isometric Section View

* Dimensions & Weight May Vary by Region

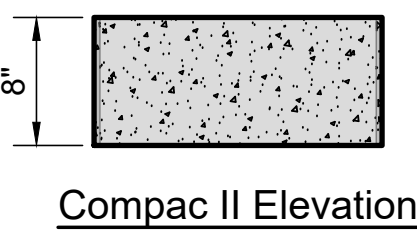


Geogrid Installation at Corners

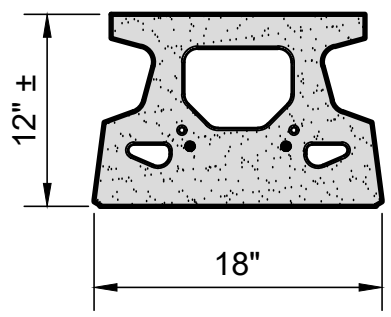
- Note:**
- Check with manufacturer specifications on correct direction of orientation for geogrid to obtain proper strength.
 - Corner units recommended for outside corners. Availability May Vary.



Grid & Pin Connection



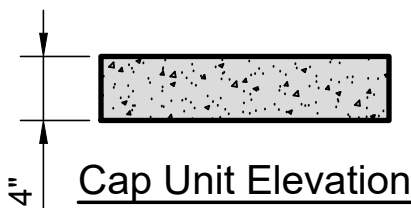
Compac II Elevation



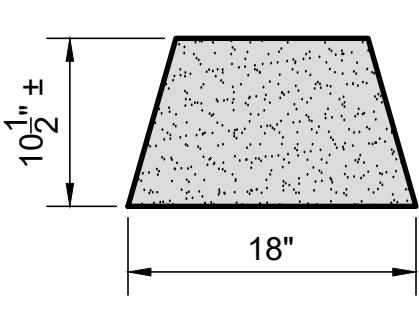
Compac II Plan

Compac II Unit

* Dimensions May Vary by Region



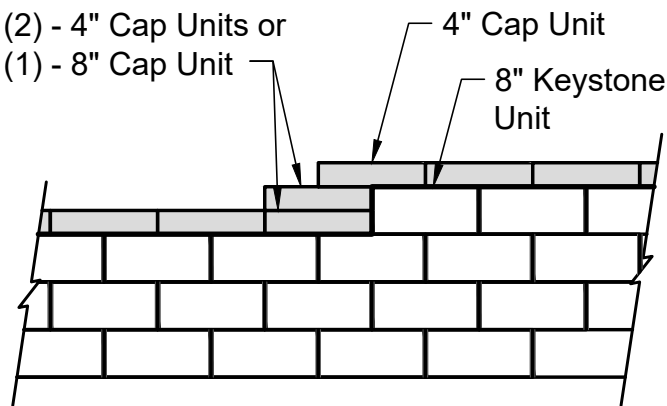
Cap Unit Elevation



Cap Unit Plan

Universal Cap Unit Option

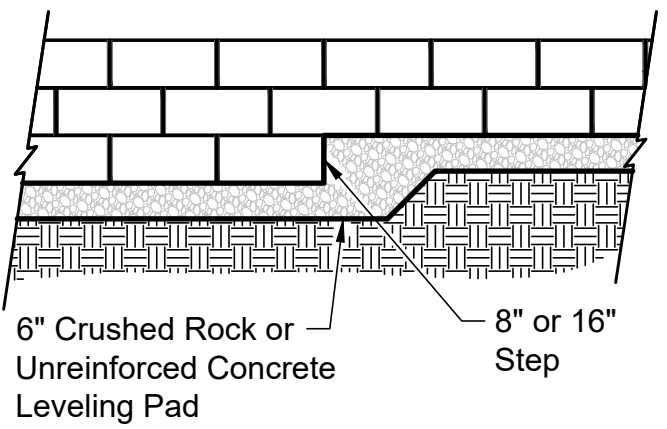
* Dimensions & Availability Will Vary by Region



Note:

1. Secure all cap units with Keystone Kapseal or equal.

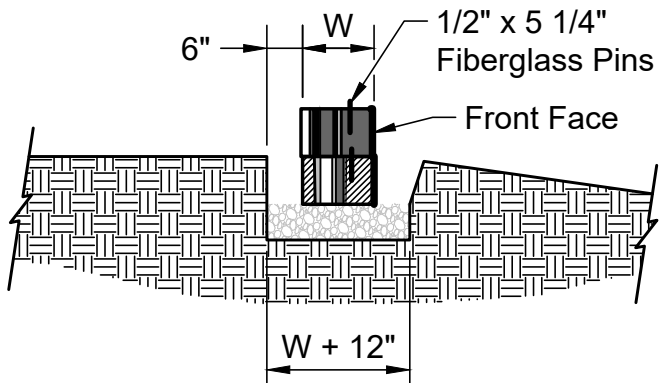
Top of Wall Steps



Elevation

Note:

1. The leveling pad is to be constructed of crushed stone or 2000 psi ± unreinforced concrete.



Section

Leveling Pad Detail

1.0 STRUCTURAL NOTES

TKK ENGINEERING, P.C., REQUESTS THAT REPRESENTATIVES OF THE OWNER AND/OR GENERAL CONTRACTOR ARRANGE A PRE-CONSTRUCTION MEETING WITH ALL PERTINENT PARTIES INVOLVED FOR THE CONSTRUCTION OF THE RETAINING WALL SHOWN ON THESE PLANS. UNLESS INDICATED BY A SUPPLEMENTAL WRITTEN CONTACT, TKK ENGINEERING, P.C. RESPONSIBILITY IS LIMITED TO PROVIDING ONLY THE DESIGN SERVICES OF THE PROJECT'S RETAINING WALLS CONTAINED HEREIN. RETAINING WALL CONSTRUCTION MONITORING, RETAINING WALL CERTIFYING, ETC. ARE BEYOND THE SCOPE OF OUR ORIGINAL DESIGN SERVICES. TKK ENGINEERING, P.C. SHALL NOT BE REQUIRED TO SIGN ANY DOCUMENTS, NO MATTER BY WHOM REQUESTED, IN WHICH TKK ENGINEERING, P.C. IS REQUIRED TO CERTIFY, GUARANTEE, OR WARRANT THE EXISTENCE OF CONDITIONS, THE EXISTENCE OF WHICH TKK ENGINEERING, P.C. HAS NOT OR CANNOT ASCERTAIN.

1.0.1 CONSTRUCTION NOTES

- CONFIRM DISTANCE FROM PROPERTY LINE, TREE BUFFER, CURB & GUTTER AND/OR BUILDINGS TO FACE OF PROPOSED RETAINING WALL PRIOR TO CONSTRUCTION. (DON'T FORGET TO INCLUDE THE BATTER OF THE WALL.)
- CONFIRM EXISTING UTILITIES LOCATIONS (STORMWATER, SEWER, WATER, ELECTRICAL, & GAS) & COORDINATE FUTURE UTILITIES LOCATIONS PRIOR TO WALL CONSTRUCTION.
- CONFIRM IN-SITU AND PROPOSED/FUTURE GRADES PRIOR TO WALL CONSTRUCTION.
- COORDINATE ALL FENCE, GUARDRAIL, CURB & GUTTER, &/OR PAVEMENT INSTALLATION PRIOR TO CONSTRUCTION, TO AVOID DAMAGING UPPER LAYERS OF REINFORCEMENT.

1.1 GENERAL

SEGMENTAL RETAINING WALL SYSTEMS ARE DESIGNED AS A GRAVITY RETAINING WALL UTILIZING A HIGH DENSITY POLYESTER GEOGRID TO REINFORCE THE SOIL ZONE BEHIND THE WALL. THE GEOGRID IS POSITIVELY CONNECTED TO THE MODULAR CONCRETE BLOCK CREATING A REINFORCED SOIL MASS CAPABLE OF RESISTING LATERAL EARTH PRESSURES AND SURCHARGED LOADS. ALL REFERENCES TO THE ENGINEER REFER TO TKK ENGINEERING, P.C.

1.2 QUALITY ASSURANCE

WORK SHALL BE PERFORMED ONLY BY AN EXPERIENCED CONTRACTOR WHO HAS SUCCESSFULLY COMPLETED AT LEAST FIVE RETAINING WALLS OF EQUAL OR GREATER SCOPE.

- CONTRACTOR SHALL SUBMIT TO THE ENGINEER, PRIOR TO START OF WORK, EVIDENCE OF QUALIFICATIONS AND REFERENCES ON PROJECTS OF SIMILAR SCOPE. EVIDENCE SHALL BE SUBMITTED IN WRITING TO THE ENGINEER ON THE CONTRACTOR'S LETTERHEAD AND SHALL CONTAIN AT A MINIMUM: 1) A LIST OF FIVE REFERENCE PROJECTS OF EQUAL OR GREATER SCOPE WITH CONTACT INFORMATION, 2) A LIST OF EXPERIENCE COMMENSURATE WITH THE PROJECT SCOPE (WALL DIMENSIONS, ERECTION TOLERANCES, SOIL PARAMETERS, AND MATERIALS).
- ENGINEER SHALL REVIEW QUALIFICATIONS AND REPORT TO THE CLIENT ON THE SAME. ENGINEER RESERVES THE RIGHT TO REJECT ANY AND ALL QUALIFICATION SUBMITTALS, WHEN IN THE ENGINEER'S OPINION SUCH QUALIFICATIONS ARE DEEMED UNSATISFACTORY. ENGINEER'S APPROVAL OF CONTRACTOR'S QUALIFICATIONS SHALL NOT RELIEVE THE CONTRACTOR OF ANY OR ALL CONTRACT RESPONSIBILITIES FOR QUANTITIES, PERFORMANCE, OR OTHER REQUIREMENTS OF THE CONTRACT DOCUMENTS. ENGINEER'S APPROVAL OF CONTRACTOR QUALIFICATIONS SHALL NOT BE CONSTRUED AS A WARRANTY OR GUARANTEE OF THE CONTRACTOR'S WORK.
- THE OWNER AND/OR GENERAL CONTRACTOR SHOULD PROVIDE A SPECIAL INSPECTOR AS A FULL-TIME CONTINUOUS MONITOR OF WORK QUALITY. THE SPECIAL INSPECTOR WILL REPORT BACK TO THE BUILDING OFFICIAL AND ENGINEER ON QUALITY AND PROGRESS OF WORK. THE SPECIAL INSPECTOR WILL REQUIRE TESTING BE DONE BEFORE THE WORK PROCEEDS.

1.3 BACK FILL MATERIALS

THE SOIL MATERIAL ASSOCIATED WITH THE RETAINING WALL IN THE REINFORCED ZONE, THE RETAINED ZONE, OR THE FOUNDATION BEDDING SHALL HAVE THE FOLLOWING PROPERTIES:

- FOUNDATION SOILS
- RETAINED SOILS
- REINFORCED SOILS $\phi = 26$ DEGREES, COHESION = 0 PSF, UNIT WGT. = 100 LBS/CU.FT. $\phi = 26$ DEGREES, COHESION = 0 PSF, UNIT WGT. = 100 LBS/CU.FT. $\phi = 26$ DEGREES, COHESION = 0 PSF, UNIT WGT. = 100 LBS/CU.FT.

THE SOILS CHARACTERISTICS ABOVE WERE ASSUMED BASED ON INFORMATION SUPPLIED TO THE ENGINEER. IF THIS INFORMATION DOES NOT REPRESENT THE ACTUAL SOIL TO BE USED, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY AND THE WALL SHALL BE REDESIGNED.

1.4 SEISMIC DESIGN CRITERIA

PEAK ACCELERATION = N/A VERTICAL ACCELERATION = N/A

1.5 FOUNDATION LOADS

THE MAXIMUM APPLIED FOUNDATION LOAD FOR THIS WALL IS 1.5 KIPS/SQ.FT.

1.6 CONCRETE MASONRY WALL UNITS

CONCRETE WALL UNITS SHALL BE SEGMENTAL UNITS MANUFACTURED IN ACCORDANCE WITH ASTM-C1372 AND ASTM C140 AND SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. UNITS SHALL BE INTERLOCKED IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS.

1.7 GEOGRID REINFORCEMENT

GEOSYNTHETIC REINFORCEMENT SHALL CONSIST OF HIGH TENACITY GEOGRIDS OR GEOTEXTILES MANUFACTURED FOR SOIL REINFORCEMENT APPLICATIONS. THE TYPE, AND PLACEMENT LOCATION OF THE REINFORCING GEOSYNTHETIC SHALL BE AS SHOWN ON THE PLANS.

1.8 WALL BATTER

BATTER FOR THE ENTIRE WALL SHALL BE MAINTAINED AT NEAR VERTICAL.

2.0 FOUNDATION REQUIREMENTS

THE FOUNDATION BEARING CAPACITY THAT WAS ASSUMED FOR DESIGN SHALL BE VERIFIED IN THE FIELD, AND COPIES OF THE TEST DATA FILED WITH THE ENGINEER. THE FOOTING SHALL BE CLEARED OF LOOSE SOIL. A MINIMUM OF 12" OF WASHED STONE SHALL BE PLACED AT THE BACK OF EACH BLOCK AS INDICATED ON THE DETAILS.

2.1 LEVELING PAD

MATERIAL SHALL CONSIST OF COMPACTED SAND, GRAVEL, CRUSHED ROCK, WASHED STONE, OR UNREINFORCED CONCRETE. THE PAD SHALL BE 6" THICK (UNO). SAND OR GRAVEL MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR. AGGREGATE MATERIAL SHALL RECEIVE A MINIMUM OF ONE PASS OF THE COMPACTION EQUIPMENT. THE TOP OF THE LEVELING PAD FOR THE WALL SECTIONS SHALL BE MAINTAINED AT A MINIMUM DEPTH OF 10% OF TOTAL WALL HEIGHT OR MORE (6" MIN.) (UNO).

2.2 UNIT FILL

THE VOID WITHIN EACH UNIT SHALL BE FILLED WITH A WASHED STONE (#57 STONE) HAVING 100% OF THE AGGREGATE PASSING THE 2" SIEVE. A MINIMUM OF 3/8" WASHED STONE SIZE IS REQUIRED (NO MORE THAN 5% PASSING THE #200 SIEVE). THIS SAME MATERIAL SHALL BE PLACED BEHIND EACH BLOCK PER SEC. 2.0. ALL EXCESS MATERIAL SHALL BE SWEEPED CLEAN FROM THE TOP OF THE BLOCK PRIOR TO INSTALLING THE NEXT COURSE. EACH COURSE OF BLOCK SHALL BE COMPLETELY FILLED BEFORE PROCEEDING TO THE NEXT COURSE.

2.3 FIRST BLOCK COURSE

THE FIRST COURSE OF BLOCK SHALL BE PLACED ON TOP OF AND IN FULL CONTACT WITH THE LEVELING PAD. THE UNITS SHALL MAINTAIN A DISTANCE OF MINIMUM 6" FROM THE FRONT AND BACK OF THE LEVELING PAD. PROPER ALIGNMENT MAY BE ACHIEVED WITH THE AID OF A STRING LINE. PROCEED TO THE NEXT COURSE OF BLOCK. EACH UNIT SHALL CONTACT THE UNITS ON BOTH SIDES AS WELL AS ABOVE AND BELOW. SOME ADJUSTMENTS MAY BE REQUIRED FOR WALLS WITH CURVES AND A BATTER.

2.4 CAPS

APPLY A CONSTRUCTION ADHESIVE TO THE UNITS TO PREVENT THEIR REMOVAL.

3.0 GEOGRID INSTALLATION

THE GEOGRID REINFORCEMENT SHALL BE LAID HORIZONTALLY ON COMPACTED BACK FILL AND CONNECTED TO THE CONCRETE WALL UNITS, IN ACCORDANCE WITH MANUFACTURES SPECIFICATIONS. GEOGRID SHALL BE PULLED TAUT REMOVING ALL SLACK FROM THE MATERIAL AND ANCHORED BEFORE ADDING FILL. GEOGRID SHALL BE INSTALLED AT THE ELEVATIONS AND LENGTHS REQUIRED AS SHOWN ON THE PLANS (REFER TO DETAILS FOR THE APPROPRIATE ORIENTATION). SOIL SURFACE SHALL BE SMOOTH AND LEVEL AND HAVE BEEN COMPACTED TO 95% STANDARD PROCTOR BEFORE INSTALLING THE GRID.

3.1 FILL PLACEMENT

BACK FILL MATERIAL SHALL BE PLACED ON A MAXIMUM 8" COMPACTED LIFT, 95% STANDARD PROCTOR WITH A MOISTURE CONTROL OF +/- 3% OF OPTIMUM. ONLY HAND OPERATED EQUIPMENT SHALL BE ALLOWED WITHIN 3 FEET OF THE SEGMENTAL UNITS. BACK FILL SHALL BE PLACED FROM THE WALL REARWARD TO INSURE TAUTNESS OF THE GEOGRID. CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED DIRECTLY ON THE GEOGRID.

3.2 UNSUITABLE MATERIAL

SOILS CONTAINING ROOTS, BRUSH, SOD OR OTHER ORGANIC MATERIAL SHALL NOT BE PERMITTED AS BACKFILL. FROZEN SOILS, SNOW, ICE, HEAVY CLAYS, OR WET SOILS SHALL NOT BE PERMITTED AS BACKFILL. MATERIAL PASSING THE #40 SIEVE SHALL NOT HAVE A LIQUID LIMIT OF GREATER THAN 40 AND A PLASTICITY INDEX OF GREATER THAN 15, UNLESS WRITTEN CONSENT IS OBTAINED FROM THE ENGINEER PRIOR TO PLACEMENT.

3.3 SOIL PROPERTIES

MINIMUM INTERNAL ANGLE OF FRICTION SHALL EQUAL OR BE GREATER THAN REFERENCE IN SECTION 1.3. VERIFICATION SHALL BE FILED WITH THE ENGINEER THAT THE SOIL WILL MEET THIS CRITERIA.

4.0 SOIL TESTING

COMPACTION TESTING SHALL BE PERFORMED FOR EVERY LIFT ELEVATION REQUIRING GEOGRID OR EVERY 3RD LIFT AS A MINIMUM. TESTS SHALL BE FILED WITH THE ENGINEERS OFFICE.

5.0 HYDROSTATIC PRESSURE POTENTIAL

THE ENGINEER SHALL BE NOTIFIED IF ANY OF THE FOLLOWING SHOULD BECOME EVIDENT:

- WATER OR WETNESS FROM OR IN A CUT BANK
- LOCAL SPRINGS, LOCAL STORM DRAINS, SEWER, WATER LINES UNDER OR BEHIND THE WALL

6.0 ACCEPTABLE BLOCK

SEGMENTAL UNITS SHALL BE USED AND KEPT FREE OF DEFECTS THAT WOULD INTERFERE WITH THE PLACING OR POSITIONING OF THE UNIT OR IMPAIR ITS STRENGTH. MINOR CRACKS INCIDENTAL TO THE USUAL METHOD OF MANUFACTURING OR MINOR CHIPPING RESULTING FROM SHIPMENT AND DELIVERY ARE NOT GROUNDS FOR REJECTION.

7.0 ACCEPTABLE GEOGRID

GEOGRID SHALL BE REJECTED IF 20% OR MORE OF A STRUCTURAL RIB HAS BEEN CUT OR RIPPED. THE CONTRACTOR SHALL INSPECT ALL GEOGRID DELIVERED TO THE SITE AND REJECT MATERIALS THAT MEETS THIS CRITERIA. IF THE GEOGRID IS DAMAGED ON THE CONSTRUCTION SITE, IT SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

8.0 DRAINAGE COMPOSITE

(APPLIES TO CUT WALL APPLICATIONS ONLY), WHERE SITE CONDITIONS WARRANT DRAINAGE COMPOSITE SHALL BE INSTALLED TO COVER 30% OF THE CUT BEHIND THE GEOGRID LAYERS. STRATA-DRAIN (6FT. WIDE SECTIONS) PROVIDES 30% COVERAGE WHEN INSTALLED ON 15 FT CENTERS AND 2/3 THE WALL HEIGHT.

9.0 SPECIAL PROVISIONS

- GENERAL CONTRACTOR SHALL COORDINATE UPPER GEOGRID LAYERS INSTALLATION WITH PAVING INSTALLATION.
- MAINTAIN THE DIRECTION OF DRAINAGE AWAY FROM THE WALL FACE AT ALL TIMES DURING CONSTRUCTION OF THE WALL AND FINISH GRADING AS SHOWN ON PLANS.
- PLACEMENT OF GEOGRID SHALL BE AS PER PLANS, WITH REGARDS TO PLAN SPECIFIED LENGTH AND ELEVATIONS.
- THE ENGINEER SHALL BE NOTIFIED BY THE INSTALLING CONTRACTOR SHOULD THE EMBEDMENT DEPTH OF THE WALL BE LESS THAN 10% OF THE TOTAL WALL HEIGHT (6" MIN.) (UNO).
- THE REINFORCED SOIL IS ASSUMED TO BE: ML, SC, SM, SP, SW, & ETC. (HIGH PLASTICITY SILTS AND CLAYS) ARE NOT ACCEPTABLE.
- GENERAL CONTRACTOR SHALL INQUIRE TO SEE IF A BUILDING PERMIT MUST BE OBTAINED PRIOR TO WALL CONSTRUCTION. CONTACT YOUR LOCAL CITY, COUNTY, MUNICIPALITY, OR TOWN CODE ENFORCEMENT TO OBTAIN BUILDING PERMIT.

10.0 QUALIFICATION OF DESIGN

- STABILITY OF ANY TEMPORARY SLOPES REQUIRED BY THE INSTALLATION OF A SEGMENTAL RETAINING WALL SHALL BE ADDRESSED BY A QUALIFIED GEOTECHNICAL ENGINEER. RESPONSIBILITY OF THESE TEMPORARY SLOPES RESTS WITH THE OWNER AND/ OR ARCHITECT OF THIS PROJECT AND THE SLOPES SHALL MEET ALL OSHA STANDARDS OF MAX. SLOPE STEEPNESS= 1.5H:1V.
- HANDRAIL/ GUARDRAIL REQUIREMENTS SHALL BE DETERMINED BY THE OWNER OR GENERAL CONTRACTOR.
- NOTIFY THE DESIGN ENGINEER PRIOR TO MODIFYING WALL CONSTRUCTION IF EXISTING SITE CONDITIONS DEVIATE FROM CONDITIONS OUTLINED ON RETAINING WALL PROFILE.

APPLICANT

ENGINEER

SITE INFORMATION

DESIGN RECORD

PROFESSIONAL STAMP

ENGINEER

SHEET TITLE

SHEET NUMBER

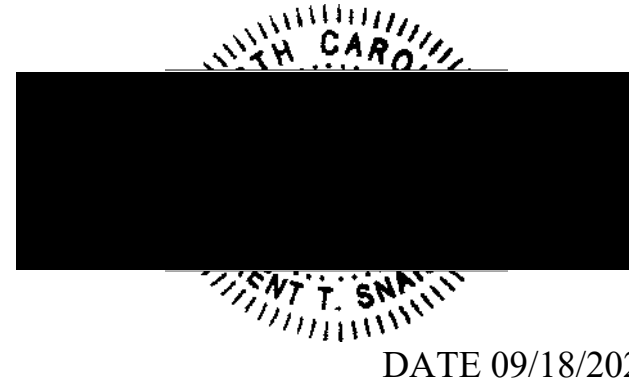


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DATE 09/18/2025

TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977

SEGMENTAL
RETAINING WALL
DETAILS & NOTES

ST-4

APPLICANT	 NETWORK TOWERS NETWORK TOWERS, LLC. 120 EAST SHORE DRIVE, SUITE 300 GLEN ALLEN, VA 23059 804-548-4079																												
ENGINEER	 TOTALLY COMMITTED. TKK ENGINEERING, P.C. 8601 SIX FORKS ROAD, SUITE 540 RALEIGH, NC 27615 919-637-9131																												
SITE INFORMATION	NT SITE NAME: DOBBINS NT SITE ID: NC-T23.12 NB+C PROJ. # 100793 (TOWER 911 ADDRESS TBD) 1721 E FRANKLIN STREET CHAPEL HILL, NC 27514 ORANGE COUNTY																												
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ENGINEER	TRENT T. SNARR, P.E. NC PROFESSIONAL ENGINEER LIC. #037977																												
SHEET TITLE	EROSION, SEDIMENT CONTROL & GRADING PLAN																												
SHEET NUMBER	ES-1																												

EROSION AND SEDIMENT CONTROL NARRATIVE

PROJECT DESCRIPTION
THE PURPOSE OF THIS PROJECT IS THE CONSTRUCTION OF A MONOPOLE TOWER AND FENCED COMPOUND, ALONG WITH ASSOCIATED UTILITIES. THE LEASE AREA OF THE TOWER AND COMPOUND IS 4,840 SF.; THE TOTAL DISTURBED AREA IS 5,056 S.F. OF WHICH 3,000 S.F. WILL BE IMPERVIOUS SURFACE AND THE REMAINING 2,056 S.F. WILL BE MANAGED TURF.

EXISTING SITE CONDITIONS
THE EXISTING SITE CONDITIONS ARE MAINLY OPEN GRASSLAND WITH AN EXISTING COMMERCIAL BUILDING, ASSOCIATED PARKING LOT AND OTHER STRUCTURES ON THE PROPERTY. THE PROPOSED COMPOUND LOCATION IS WITHIN AN EXISTING DROP BETWEEN AN EXISTING PARKING LOT AND EXISTING GRASSLAND. THE PROPOSED ACCESS WILL BE UTILIZING AN EXISTING PAVED DRIVEWAY.

ADJACENT AREAS
THE ADJACENT AREAS ARE MOSTLY RESIDENTIAL PROPERTIES & A WALKING TRAIL.

OFF-SITE AREAS
ALL ORGANIC MATERIAL, TREE VEGETATION, ROCKS GREATER THAN 12" IN ANY DIRECTION AND EXCESS CUT MATERIAL TO BE HAULED OFF SITE. CONTRACTOR TO ENSURE MATERIAL IS DISPOSED OF AT AN APPROVED AND PERMITTED SOIL DISPOSAL LOCATION.

SOILS
(Ch) CHEWACLA LOAM – 0% TO 2% SLOPES
(Wsb) WHITE STORE LOAM – 2% TO 6% SLOPES
(Wwc) WHITE STORE-URBAN LOAND COMPLEX – 0% TO 8% SLOPES

CRITICAL AREAS
A LARGE AREA OF THE PROPERTY IS INSIDE A FEMA FLOOD PLAIN & FLOODWAY. A SMALL PORTION OF THE COMPOUND IS LOCATED INSIDE A FLOOD PLAIN. THE COMPOUND WILL BE RAISED ABOVE THE FLOOD ELEVATION WITH THE USE OF A RETAINING WALL.

ESC MEASURES – STRUCTURAL PRACTICES
STRUCTURAL MEASURES TO BE USED ON THE SITE INCLUDE STANDARD SILT FENCE (TOWN OF CHAPEL HILL SPEC. EC–9.00), STANDARD SILT FENCE OUTLET (TOWN OF CHAPEL HILL SPEC. EC–10.00), TREE PROTECTION (TOWN OF CHAPEL HILL SPEC. EC–12.00), TEMPORARY SOIL STOCK PILE (NC E&S MANUAL SPEC. 6.04.1), AND CONCRETE WASHOUT (TOWN OF CHAPEL HILL SPEC. EC–18.00). ALL MEASURES SELECTED ARE STANDARD ESC ITEMS FOR THIS APPLICATION. ANY DISTURBED AREA DENUDED FOR SEVEN DAYS THAT IS NOT IN ACTIVE WORK AREA TO BE TEMPORARILY SEEDED.

ESC MEASURES – VEGETATIVE PRACTICES
VEGETATION PRACTICES INCLUDE TEMPORARY AND PERMANENT SEEDING (NC E&S MANUAL SPEC. 6.10.1 & 6.11.1).

PERMANENT STABILIZATION
1. UNTIL AN ADEQUATE ROOT SYSTEM IS ESTABLISHED AND IN THE ABSENCE OF ADEQUATE RAINFALL, WHATEVER VEGETATION IS USED SHALL BE IRRIGATED AS OFTEN AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. IN GENERAL, WATERING SHALL BE PERFORMED IN ACCORDANCE WITH THE NC E&S MANUAL.

2. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISHED GRADING. SEEDING SHALL BE DONE WITH KENTUCKY 31 TALL FESCUE ACCORDING TO STD. AND SPEC. 6.11.1, PERMANENT SEEDING, OF THE NC HANDBOOK. EROSION CONTROL BLANKETS WILL BE INSTALLED OVER FILL SLOPES WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEEDED TO PROTECT THE SLOPES PROPERLY. MULCH (STRAW OR FIBER) WILL BE USED ON RELATIVELY FLAT AREAS. IN ALL SEEDING OPERATIONS, SEED FERTILIZER AND LIME WILL BE APPLIED PRIOR TO MULCHING. FINAL STABILIZATION IS CONSIDERED COMPLETED WHEN 100% OF THE DISTURBED SOIL SURFACE IS UNIFORMLY COVERED IN PERMANENT VEGETATION WITH A DENSITY OF 70% OR GREATER.

STORM WATER RUNOFF CONSIDERATIONS
THE NATURAL DRAINAGE CONDITION FROM THE PROPOSED SITE WILL BE MAINTAINED TO THE GREATEST EXTENT POSSIBLE. ALL DRAINAGE FROM THE DISTURBED AREA WILL BE IN SHEET FLOW.

MANAGEMENT STRATEGIES
1. CONSTRUCTION WILL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
2. TEMPORARY SEEDING OR OTHER STABILIZATION WILL FOLLOW IMMEDIATELY AFTER GRADING. SEE NC E&S MANUAL 6.10.1 & 6.11.1 FOR SEEDING SPECIFICATION.
3. SEASONAL NURSE CROP MAY BE REQUIRED.
4. AREAS WHICH ARE NOT TO BE DISTURBED WILL BE CLEARLY MARKED BY FLAGS, SIGNS, ETC.
5. THE JOB SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL ESC PRACTICES.
6. AFTER ACHIEVING ADEQUATE STABILIZATION THE TEMPORARY ESC MEASURES WILL BE CLEANED UP FROM ACCUMULATED SEDIMENT AND REMOVED, ONLY AFTER APPROVAL OF THE JURISDICTION ESC INSPECTOR.

GENERAL NOTES
1. GENERAL CONTRACTOR MAY RELOCATE OR REVISE EROSION AND SEDIMENT CONTROLS AS DEEMED NECESSARY DURING CONSTRUCTION TO MAINTAIN PROPER SEDIMENT CONTROL.

2. ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITIES TO BE RELOCATED AS NECESSARY TO ACCOMMODATE THE PROPOSED IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING LOCAL UTILITY COMPANIES PRIOR TO CONSTRUCTION.

3. ALL ONSITE DRAINAGE EASEMENTS INCLUDING STORMWATER/B.M.P. DRAINAGE EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR THIS PROJECT.

UNDERGROUND UTILITY LINE INSTALLATION
UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:

- NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
- EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
- EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
- MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
- DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE REGULATIONS.
- COMPLY WITH APPLICABLE SAFETY REGULATIONS.

CONSTRUCTION SEQUENCE

AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OWNER/OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND THE CONSERVATION DISTRICT TO AN ON-SITE MEETING. ALSO, AT LEAST 3 WORKING DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL NORTH CAROLINA CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE NORTH CAROLINA ONE CALL SYSTEM "MISS UTILITY" INCORPORATED AT 811 FOR BURIED UTILITIES LOCATIONS.

EROSION AND SEDIMENT BMPS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPS.

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

- INSTALL ALL PERIMETER BMP'S AND TREE PROTECTION FENCE AS SHOWN ON THE PLANS.
- CLEAR TREES AND LIMBS FOR FULL WIDTH OF LEASE AREA, GROUND TO SKY.
- STRIP TOPSOIL AND STORE AT DESIGNATED LOCATIONS AS SHOWN ON THE PLANS OR LOCATION AS AGREED UPON WITH THE CONSTRUCTION MANAGER.
- BEGIN GRADING AND RETAINING WALL CONSTRUCTION.
- INSTALL COMPOUND GRAVEL & IMMEDIATELY STABILIZE FILL AND CUT SLOPES WITH EROSION CONTROL MATTING OR ROCK.
- ONCE CONSTRUCTION OF COMPOUND IS COMPLETE, BEGIN CONSTRUCTION OF TOWER AND ASSOCIATED FACILITIES AND UTILITIES AS SHOWN ON THE DRAWINGS.
- IF CONSTRUCTION IS TERMINATED OR SUSPENDED PRIOR TO CONSTRUCTION COMPLETION, ALL EXPOSED SOIL AREAS SHALL BE SEEDED WITH TEMPORARY SEEDING AND MULCHED IMMEDIATELY.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL SEDIMENT AND EROSION CONTROL FACILITIES IN EFFECTIVE WORKING ORDER DURING CONSTRUCTION AND UNTIL ALL EXPOSED SOIL AREAS HAVE BEEN STABILIZED.

ALL STOCKPILES MUST BE REMOVED PRIOR TO COMPLETION OF THE PROJECT AND THE RELEASE OF THE ROAD AND DRAINAGE BOND FOR THE PROJECT.

IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE O/RP SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPS MUST BE STABILIZED IMMEDIATELY.

GRADING NOTES

- SOILS USED FOR SUBGRADE MUST BE COMPACTED SO THAT THE MINIMUM DRY DENSITY ACHIEVED EXCEEDS 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. THE CONTRACTOR MAY ONLY USE CUT MATERIAL AS FILL IF IT CAN BE COMPACTED TO 95% OF ITS STANDARD PROCTOR MAXIMUM DRY DENSITY. PROCTOR READING MUST BE INSPECTED AND APPROVED BY A THIRD PARTY DURING CONSTRUCTION.
- NATIVE TOPSOIL SHALL BE SAVED, STOCKPILED, MULCHED, AND REUSED AS MUCH AS POSSIBLE ON THE SITE. SILTATION FENCE SHALL BE INSTALLED AT THE BASE OF STOCKPILES AT THE DOWNHILL LIMIT TO PROTECT AGAINST EROSION. STOCKPILES WILL BE STABILIZED BY SEEDING AND MULCHING UPON FORMATION OF THE PILES. UPHILL OF THE STOCKPILES, STABILIZED DITCHES AND/OR BERMS WILL BE CONSTRUCTED TO DIVERT STORMWATER RUNOFF AWAY FROM THE PILES. EXCESS CUT SOIL NOT REUSED AS FILL SHALL BE HAULED OFF SITE TO AN APPROVED AND PERMITTED SOIL DISPOSAL SITE AS SOON AS FINAL GRADE HAS BEEN ESTABLISHED.
- FOR AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY TO BE CONSIDERED PERMANENTLY STABILIZED, THE DISTURBED AREAS SHALL BE COVERED BY A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR ORGANIC MATERIAL THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS. ANY ROCK GREATER THAN 12" IN ANY DIRECTION SHOULD BE DISPOSED OF AND NOT USED AS FILL. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- PLOW, SCARIFY, BENCH, OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING MATERIAL. IF FILL EXCEEDS 4' IN HEIGHT FROM TOE TO CREST, FILL MUST BE BENCHED AND KEYED IN.
- PLACE SOIL FILL ON SUB-GRADES FREE OF ORGANIC MATERIAL, MUD, FROST, SNOW, OR ICE
- PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES THICK IN LOOSE DEPTH COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND OPERATED TAMPERS.
- UNDER ACCESS ROADS WITH MARGINAL TO EXCESSIVE SLOPES AND MARGINAL SUBGRADE, CLEAR, GRUB AND SCARIFY ROAD AREA. INSTALL ONE LAYER OF GEO-TEXTILE FABRIC (US 160 NW OR EQUIVALENT) AND PIN TO SUBGRADE. INSTALL BASE LAYER, AND TRACK IN WITH A BULLDOZER OR SHEEPSFOOT ROLLER, INSTALL SURFACE LAYER, DRESS ROAD AS REQUIRED AFTER CONSTRUCTION WITH MOTOR GRADER AND COMPACT WITH A VIBRATORY ROAD ROLLER.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- THE OWNER/DEVELOPER MUST NOTIFY THE TOWN OF CHAPEL HILL AT LEAST 24 HOURS PRIOR TO THE START OF THE CONSTRUCTION IN ACCORDANCE WITH APPLICABLE TOWN OF CHAPEL HILL ORDINANCES AND POLICIES.
- THE OWNER/DEVELOPER GRANTS THE RIGHT-OF-ENTRY ON TO THIS PROPERTY TO THE DESIGNATED TOWN OF CHAPEL HILL PERSONNEL FOR THE PURPOSE OF INSPECTING AND MONITORING CONSTRUCTION.
- ALL EROSION CONTROL MEASURES SHOWN ON THE APPROVED PLAN MUST BE IN PLACE AND INSPECTED AND APPROVED BY THE TOWN OF CHAPEL HILL PUBLIC WORKS INSPECTOR PRIOR TO CLEARING, STRIPPING OF TOPSOIL OR GRADING.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE KEPT ON THE SITE AT ALL TIMES.
- THE DEVELOPER/DEVELOPERS'S REPRESENTATIVE IS RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE TOWN OF CHAPEL HILL.
- ALL DISTRIBUTED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL COMPLETE AND ADEQUATE STABILIZATION IS ACHIEVED.
- WATER MUST BE PUMPED INTO AN APPROVED FILTERING DEVICE DURING DEWATERING OPERATIONS.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES MUST BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL AND TO THE TOWN OF CHAPEL HILL DESIGN AND CONSTRUCTION STANDARDS. THE DEVELOPER/DEVELOPER'S REPRESENTATIVE WILL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES AT ALL TIMES.
- THE DEVELOPERS/ DEVELOPER'S REPRESENTATIVE SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL MEASURES DAILY AND AFTER EACH SIGNIFICANT RAINFALL THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:
A. SILT FENCE BARRIERS WILL BE CHECKED REGULARLY FOR UNDERMINING OR DETERIORATION OF THE FABRIC. SEDIMENT SHALL BE REMOVED WHEN THE LEVEL OF SEDIMENT DEPOSITION REACHES HALF WAY TO THE TOP OF THE BARRIER.
B. SEEDED AREAS WILL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RE-SEEDED AS NEEDED.
- SEDIMENT TRAPPING MEASURES WILL BE INSTALLED AS A FIRST STEP IN GRADING AND WILL BE SEEDED AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
- PERMANENT SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZED SHALL BE APPLIED WITH IN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN FOURTEEN (14) DAYS. SEEDING AND SELECTION OF THE SEED MIXTURE SHALL BE IN ACCORDANCE WITH THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK STANDARDS AND SPECIFICATIONS. ROADS AND PARKING AREAS SHALL BE STABILIZED WITH SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED.
- ELECTRIC POWER, TELEPHONE, CABLE T.V. AND GAS SUPPLY TRENCHES SHALL BE COMPACTED, SEEDED AND MULCHED WITHIN FIVE DAYS AFTER BACKFILL.
- ALL TEMPORARY EARTH BERMS, DIVERSIONS AND SILT DAMS SHALL BE MULCHED WITHIN FIVE DAYS AFTER GRADING. STRAW OR HAY MULCH IS REQUIRED.
- DURING CONSTRUCTION, ALL STORM SEWER INLETS SHALL BE PROTECTED BY INLET PROTECTION MAINTAINED AND MODIFIED DURING CONSTRUCTION AS REQUIRED.
- AT THE COMPLETION OF ANY PROJECT CONSTRUCTION AND PRIOR TO BOND RELEASE, ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES WILL BE REMOVED WITHIN 30 DAYS AFTER ADEQUATE SITE STABILIZATION AND AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, AS AUTHORIZED BY THE TOWN OF CHAPEL HILL PUBLIC WORKS E&S INSPECTORS. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES WILL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
- WHEN SEDIMENT IS TRANSPORTED ONTO A PAVED ROAD SURFACE, THE ROAD WILL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT WILL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING WILL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
- AREAS WHICH ARE NOT TO BE DISTURBED WILL BE CLEARLY MARKED BY FLAGS, SIGNS, ETC.
- RPA AND FLOOD PLAIN LIMITS SHALL BE CLEARLY MARKED IN THE FIELD BY FLAGS, SIGNS, ETC.
- TREE SAVE AREAS SHALL BE CLEARLY MARKED IN THE FIELD BY ORANGE SAFETY FENCE. APPROPRIATE TREE PRESERVATIONS SIGNS (WATERPROOF) TO IDENTIFY TREE PRESERVATION AREA SHALL BE LOCATED ON TREE PROTECTIONS FENCING (INCLUDES SUPER SILT FENCING) AND SHOULD BE LOCATED ALTERNATE BETWEEN ENGLISH AND SPANISH EVERY 30 FEET.
- ORANGE SAFETY FENCE MUST BE INSTALLED AROUND ALL SILT TRAPS AND SEDIMENT BASINS.

MAINTENANCE

- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY. THE FOLLOWING ITEMS WILL BE CHECKED, IN PARTICULAR:
- THE SILT FENCE BARRIER WILL BE CHECKED REGULARLY FOR UNDERMINING OR DETERIORATION OF THE FABRIC. SEDIMENT SHALL BE REMOVED WHEN THE LEVEL OF SEDIMENT DEPOSITION REACHES HALF WAY TO THE TOP OF THE BARRIER.
- THE SEEDED AREAS WILL BE CHECKED REGULARLY TO ENSURE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RE-SEEDED AS NEEDED.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ECS CONTROLS DURING CONSTRUCTION.
- INSPECTION TO BE CONDUCTED SHALL BE PER TOWN OF CHAPEL HILL STANDARDS AND REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ALL INSPECTIONS.
- SILT FENCE SHALL BE CHECKED AFTER EACH MAJOR STORM EVENT OR ONCE EVERY FIVE DAYS. SEDIMENT SHALL BE REMOVED AFTER IT BECOMES 1/3 HEIGHT OF SILT FENCE.
- ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL WILL BE CONSTRUCTED ACCORDING TO THE STANDARDS AND SPECIFICATIONS OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, 6TH ED, 2013.

APPLICANT



ENGINEER



SITE INFORMATION

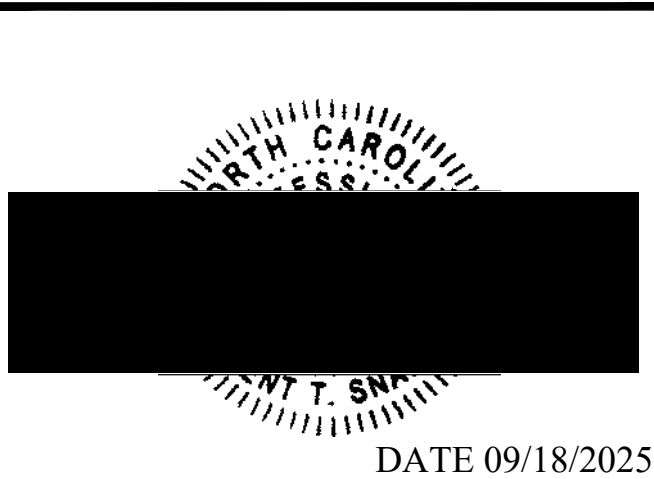
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NT SITE ID: NC-T23.12

NB+C PROJ. # 100793
(TOWER 911 ADDRESS TBD)
1721 E FRANKLIN STREET
CHAPEL HILL, NC 27514
ORANGE COUNTY

DESIGN RECORD

5	09/18/2025	REVISED SITE PLAN	OP
4	06/24/2025	REVISED SITE PLAN	OP
3	04/15/2025	REVISED SITE PLAN	OP
2	03/12/2025	REVISED SITE PLAN	OP
1	01/31/2025	SITE PLAN	BMB
0	11/14/2024	ZONING DRAWINGS	OP
REV	DATE	DESCRIPTION	BY

PROFESSIONAL STAMP



ENGINEER

TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977

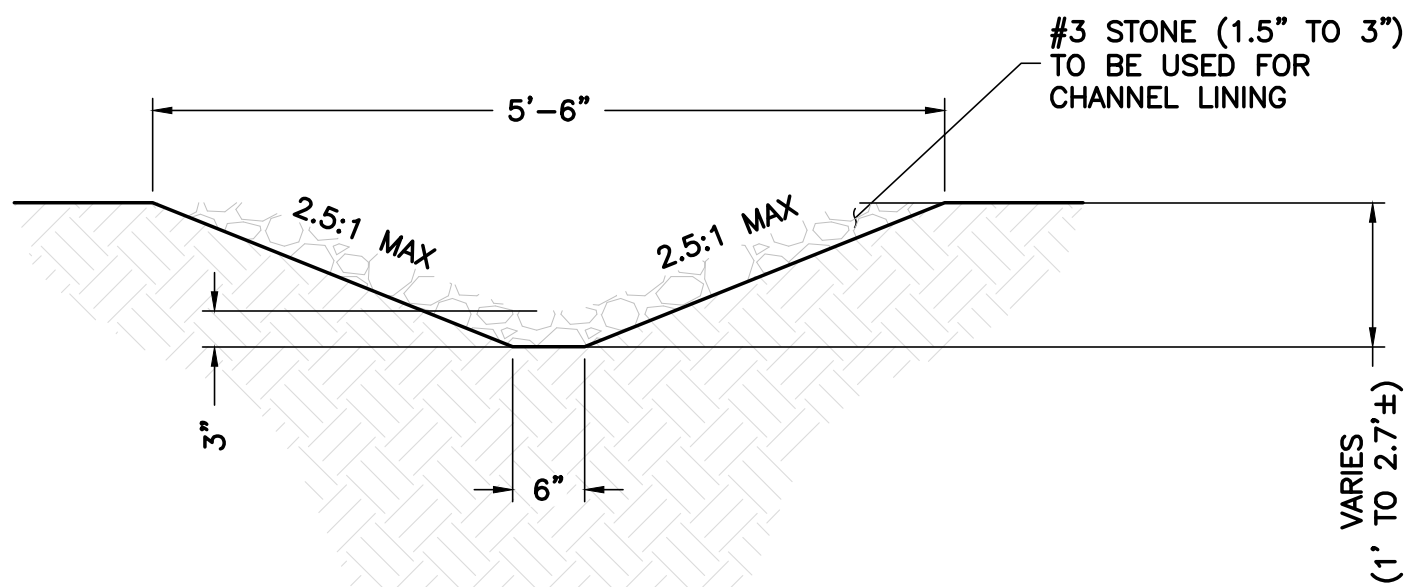
SHEET TITLE

EROSION AND
SEDIMENT CONTROL
NOTES

SHEET NUMBER

ES-2

TENTATIVE ACTIVITY SCHEDULE	MONTH 1				MONTH 2			
	1	2	3	4	1	2	3	4
INSTALL INITIAL PHASE E&SC BMP'S (START-UP)	X	X						
INSTALL INTERMEDIATE PHASE E&SC BMP'S			X	X	X	X		
INSTALL FINAL PHASE E&SC BMP'S							X	X
ROUGH GRADING		X	X					
FOUNDATION INSTALLATION				X	X	X		
UNDERGROUND UTILITIES				X	X	X		
FINAL GRADING					X	X	X	
INSTALL AND MAINTAIN TEMPORARY GRASSING DS-2			X	X	X	X	X	X
REMOVE ALL TEMPORARY BMP'S								X



1
ES-3

PROPOSED STONE-LINED RETENTION BASIN
(NCESCH 6.10.1) RECOMMENDATIONS FOR FALL

TOPSOIL SPECIFICATIONS

TOPSOIL SPECIFICATIONS

- A. THE CONTRACTOR SHALL FURNISH ALL LABOR, SUPERVISION, MATERIAL (EXCEPT AS HEREIN PROVIDED), TOOLS EQUIPMENT, SUPPLIES, AND SERVICES; AND, SHALL PERFORM ALL WORK NECESSARY FOR PROVIDING (TYPE B AS NECESSARY) AND APPLYING TOPSOIL IN ACCORDANCE WITH THE REQUIREMENTS OF THESE SPECIFICATIONS AND IN CONFORMITY TO THE DEPTHS AND LIMITS SHOWN ON THE DRAWINGS OR AS ESTABLISHED BY THE OWNER.
- B. PRIOR TO USE OR PLACEMENT, THE CONTRACTOR SHALL SUBMIT CERTIFICATIONS OF SOIL TESTS FOR APPROVAL. SOIL TESTS SHALL BE PROVIDED AT THE RATE OF ONE TEST PER 10,000 SQUARE FEET OF DISTURBED AREA.
- C. UNLESS OTHERWISE DIRECTED BY THE OWNER, AREAS DESIGNATED TO RECEIVE TOPSOIL SHALL BE GRADED, SHAPED, AND THEN SCARIFIED OR TILLED BY DISKING, HARROWING, OR OTHER APPROVED METHODS TO A DEPTH OF APPROXIMATELY 2". TOPSOIL SHALL BE APPLIED ONLY WHEN THE SUBSOIL IS IN A LOOSE, FRIABLE CONDITION.
- D. THE CONTRACTOR SHALL PROTECT BENCHMARKS, UTILITIES, AND EXISTING TREES, SHRUBS, AND OTHER LANDSCAPE FEATURES DESIGNATED FOR PRESERVATION WITH TEMPORARY FENCING OR BARRICADES SATISFACTORY TO THE OWNER.
- E. SUBSOIL ON SLOPES THAT HAVE BEEN HORIZONTALLY GROOVED IN ACCORDANCE WITH THE DRAWINGS SHALL NOT BE LOOSENEED.
- F. THE LOOSE DEPTH OF THE CLASS OF TOPSOIL SHALL BE NO LESS THAN 4" (NOT LESS THAN 6" IN MEDIANS; AND SHALL BE SUFFICIENT TO ALLOW THE AREA TO CONFORM TO THE ELEVATIONS SHOWN ON THE DRAWINGS AFTER TOPSOIL SETTLES. IN NO CASE SHALL THE CONSOLIDATED FINISH ELEVATION OF TOPSOIL EXCEED THE ELEVATION OF ADJACENT STRUCTURES. CONSOLIDATED ELEVATION SHALL BE FLUSH WITH THE ADJACENT STRUCTURES.
- G. AFTER TOPSOIL HAS BEEN APPLIED, LARGE CLOUDS, HARD LUMPS, AND STONES MORE THAN 1" IN THE GREATEST DIMENSION, BRUSH, ROOTS, STUMPS, LITTER, AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE AREA. WHEN THE OPERATION IS COMPLETE, THE AREA SHALL BE IN A CONDITION TO RECEIVE SEED, SOD, OR PLANTS WITHOUT FURTHER SOIL PREPARATION. AREAS SHALL BE STABILIZED WITHIN 15 DAYS AFTER TOPSOIL IS APPLIED.
- H. THE CONTRACTOR SHALL BE REQUIRED TO BACKFILL ALONG EDGES OF CURBS, SIDEWALKS AND ENTRANCES WHERE SETTLEMENT HAS OCCURRED AND RESHAPE AND RESLOPE, WHERE DIRECTED, PRIOR TO PLACEMENT OF TOPSOIL AS WELL AS TO ADD ADDITIONAL TOPSOIL AS REQUIRED DUE TO SETTLEMENT OR EROSION AT NO ADDITIONAL COST TO THE OWNER.

9/11/19

HERBACEOUS PLANTS-Seedling recommendations for primary stabilization
Successful development depends on planting date (effectiveness goal: 6 mo. - 3 yrs. without an ongoing maintenance program)

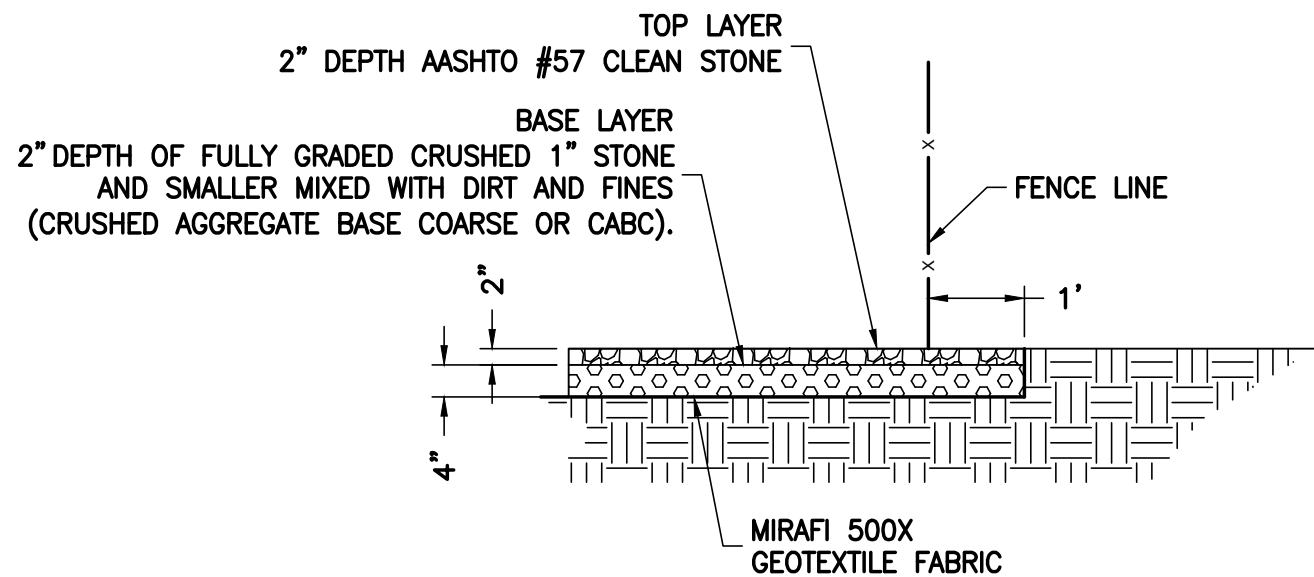
Table 6.11.c

NATIVE SPECIES											
Common Name	Botanical Name / Cultivar	Native / Introduced	See Table 6.11.a for variety seedling rates	Fertilization/ Irrigation/ Inoculation	Optimal Planting Dates						Invasive Yes or No
					Mountains	Piedmont	Coastal Plain	Sun/Shade	Wetlands	Riparian	
Switchgrass	Panicum virgatum / Cave-in-Rock	N	A	By soil test	12/1-4/15	12/1 - 4/1	12/1-4/1	Sun	NR	Well drained only	No
											Responds well to controlled burns. Mix with 3 to 5 other seed varieties that have similar soil drainage adaptations.
Switchgrass	Panicum virgatum / Blackwell	N	A	By soil test	12/1-4/15	12/1 - 4/1	12/1-4/1	Sun	NR	Well drained only	No
											Responds well to controlled burns. Mix with 3 to 5 other seed varieties that have similar soil drainage adaptations.
Switchgrass	Panicum virgatum / Sheller	N	A	By soil test	12/1-4/15	12/1 - 4/1	12/1-4/1	Sun	NR	Well drained only	No
											Responds well to controlled burns. Mix with 3 to 5 other seed varieties that have similar soil drainage adaptations.
Switchgrass	Panicum virgatum / Carthage	N	A	By soil test	12/1-4/15	12/1 - 4/1	12/1-4/1	Sun	Yes	Yes	No
											Responds well to controlled burns. Mix with 3 to 5 other seed varieties that have similar soil drainage adaptations.
Switchgrass	Panicum virgatum / Kenton	N	A	By soil test	12/1-4/15	12/1 - 4/1	12/1-4/1	Sun	No	Poorly drained	No
											Responds well to controlled burns. Mix with 3 to 5 other seed varieties that have similar soil drainage adaptations.
Switchgrass	Panicum virgatum / Alamo	N	A	By soil test	NR	12/1 - 5/1	1/1 - 5/1	Sun	No	Poorly drained	No
											Responds well to controlled burns. Mix with 3 to 5 other seed varieties that have similar soil drainage adaptations.
Indiangrass	Scorphastrum nutans / Rumsey	N	B	By soil test	12/1-4/15	12/1 - 4/1	12/1-4/1	Sun	NR	Well drained	No
											Responds well to controlled burns. Mix with 3 to 5 other seed varieties that have similar soil drainage adaptations.
Indiangrass	Scorphastrum nutans / Osage	N	B	By soil test	12/1-4/15	12/1 - 4/1	12/1-4/1	Sun	NR	Well drained	No
											Responds well to controlled burns. Mix with 3 to 5 other seed varieties that have similar soil drainage adaptations.

Rev. 5/08

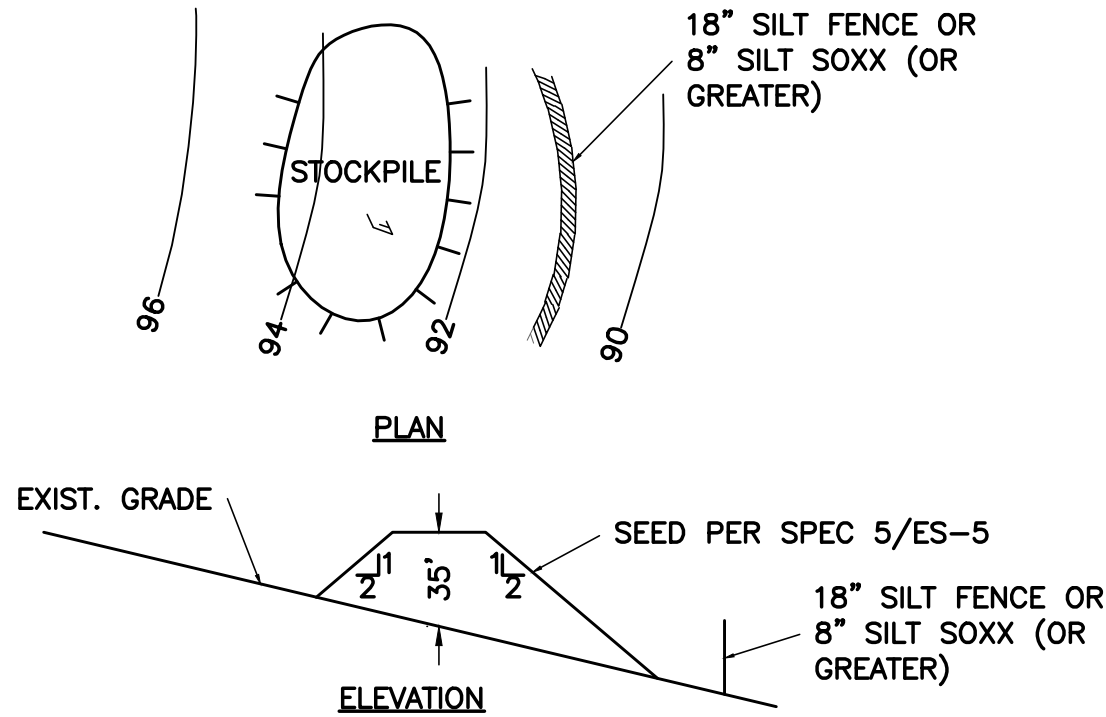
2
ES-3

PROPOSED PERMANANT SEEDING
(NCESCH 6.11.1)



3
ES-3

GRAVEL COMPOUND DETAIL
NTS



NOTES:

1. INSTALL SILT FENCE AROUND ENTIRE STOCKPILE.
2. PLACE STOCKPILE IN AREAS SHOWN ON EROSION CONTROL PLAN WITHOUT BLOCKING NATURAL DRAINAGE PATTERNS.
3. FOLLOW DIMENSIONS SHOWN ABOVE. HEIGHT SHOULD NOT EXCEED 35 FT. SIDE SLOPES SHOULD NOT BE STEEPER THAN 2(H):1(V).
4. SEED IMMEDIATELY IF MATERIAL IS NOT TO BE USED WITHIN 20 DAYS. FOLLOW "SEEDING, FERTILIZATION SCHEDULE & SPECIFICATIONS."
5. LOCATION(S) AND SIZE(S) OF SOIL STOCKPILES ARE APPROXIMATE AND SHALL BE ADJUSTED PER FIELD AND CONSTRUCTION SEQUENCE CONDITIONS. CONTRACTOR SHALL VERIFY REQUIRED SIZE(S). REQUIREMENTS FROM THE STANDARDS DETAIL MUST BE FOLLOWED FOR STOCKPILES.

4
ES-3

TOPSOIL STOCKPILE AND MAINTENANCE
NTS

5
ES-3

PROPOSED TEMPORARY SEEDING
(NCESCH 6.10.1) RECOMMENDATIONS FOR LATE WINTER TO EARLY SPRING

Seeding mixture Species	Rate (lb/acre)
German millet	40
In the Piedmont and Mountains, a small-stemmed Sudangrass may be substituted at a rate of 50 lb/acre.	
Seeding dates Mountains—May 15 - Aug. 15 Piedmont—May 1 - Aug. 15 Coastal Plain—Apr. 15 - Aug. 15	
Soil amendments Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.	
Mulch Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.	
Maintenance Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.	

6
ES-3

PROPOSED TEMPORARY SEEDING
(NCESCH 6.10.1) RECOMMENDATIONS FOR SUMMER

Seeding mixture Species	Rate (lb/acre)
Rye (grain)	120
Seeding dates Mountains—Aug. 15 - Dec. 15 Coastal Plain and Piedmont—Aug. 15 - Dec. 30	
Soil amendments Follow soil tests or apply 2,000 lb/acre ground agricultural limestone and 1,000 lb/acre 10-10-10 fertilizer.	
Mulch Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.	
Maintenance Repair and refertilize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extent temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Korean (Mountains) lespedeza in late February or early March.	

7
ES-3

PROPOSED TEMPORARY SEEDING
(NCESCH 6.10.1) RECOMMENDATIONS FOR FALL

APPLICANT



ENGINEER



TKK ENGINEERING, P.C.
8601 SIX FORKS ROAD, SUITE 540
RALEIGH, NC 27615
919.657.9131

SITE INFORMATION

NT SITE NAME: DOBBINS
NT SITE ID: NC-T23.12

NB+C PROJ. # 100793
(TOWER 911 ADDRESS TBD)
1721 E FRANKLIN STREET
CHAPEL HILL, NC 27514
ORANGE COUNTY

DESIGN RECORD

REVISIONS			
5	09/18/2025	REVISED SITE PLAN	OP
4	06/24/2025	REVISED SITE PLAN	OP
3	04/15/2025	REVISED SITE PLAN	OP
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1	01/31/2025	SITE PLAN	BMB
0	11/14/2024	ZONING DRAWINGS	OP
REV	DATE	DESCRIPTION	BY

PROFESSIONAL STAMP



ENGINEER

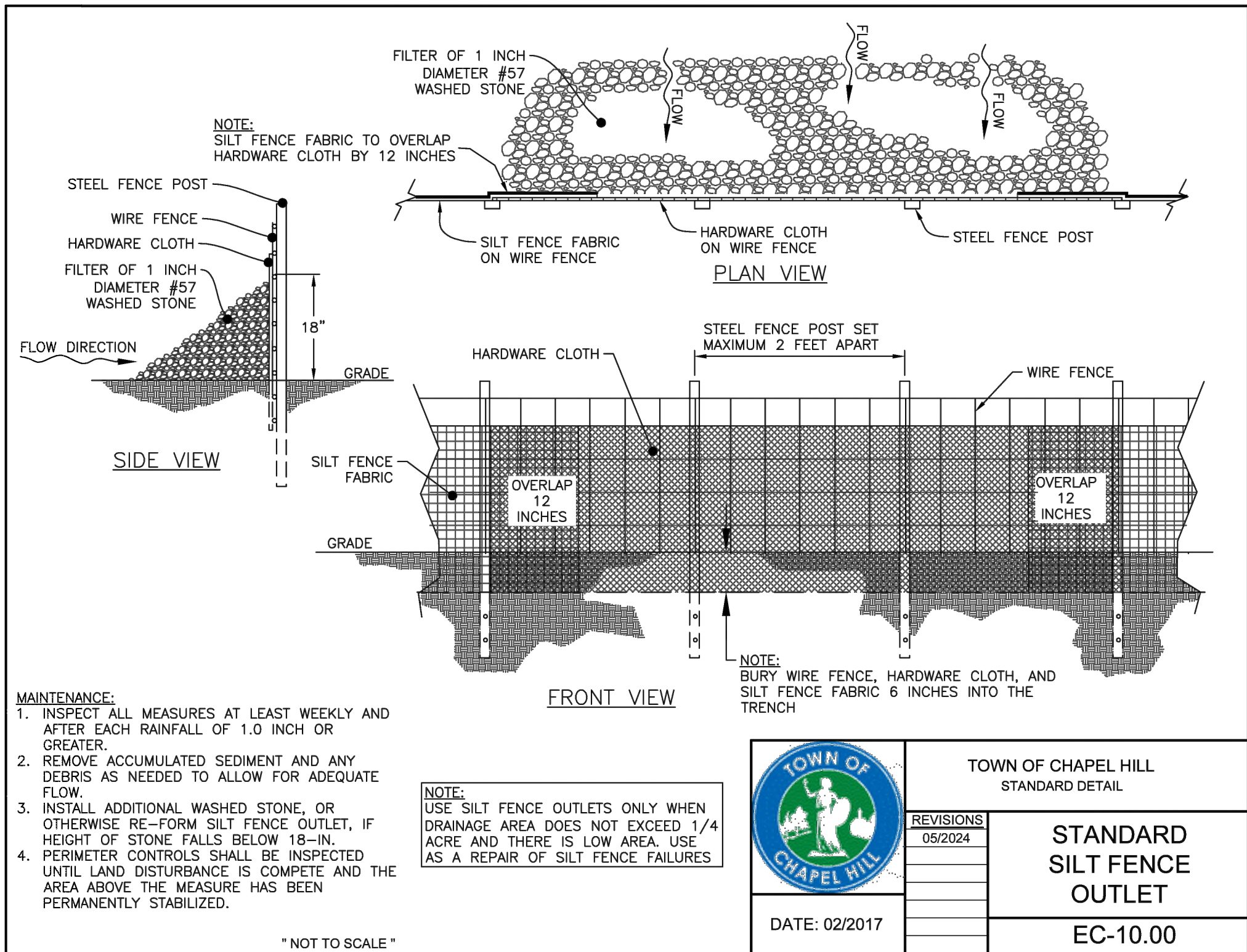
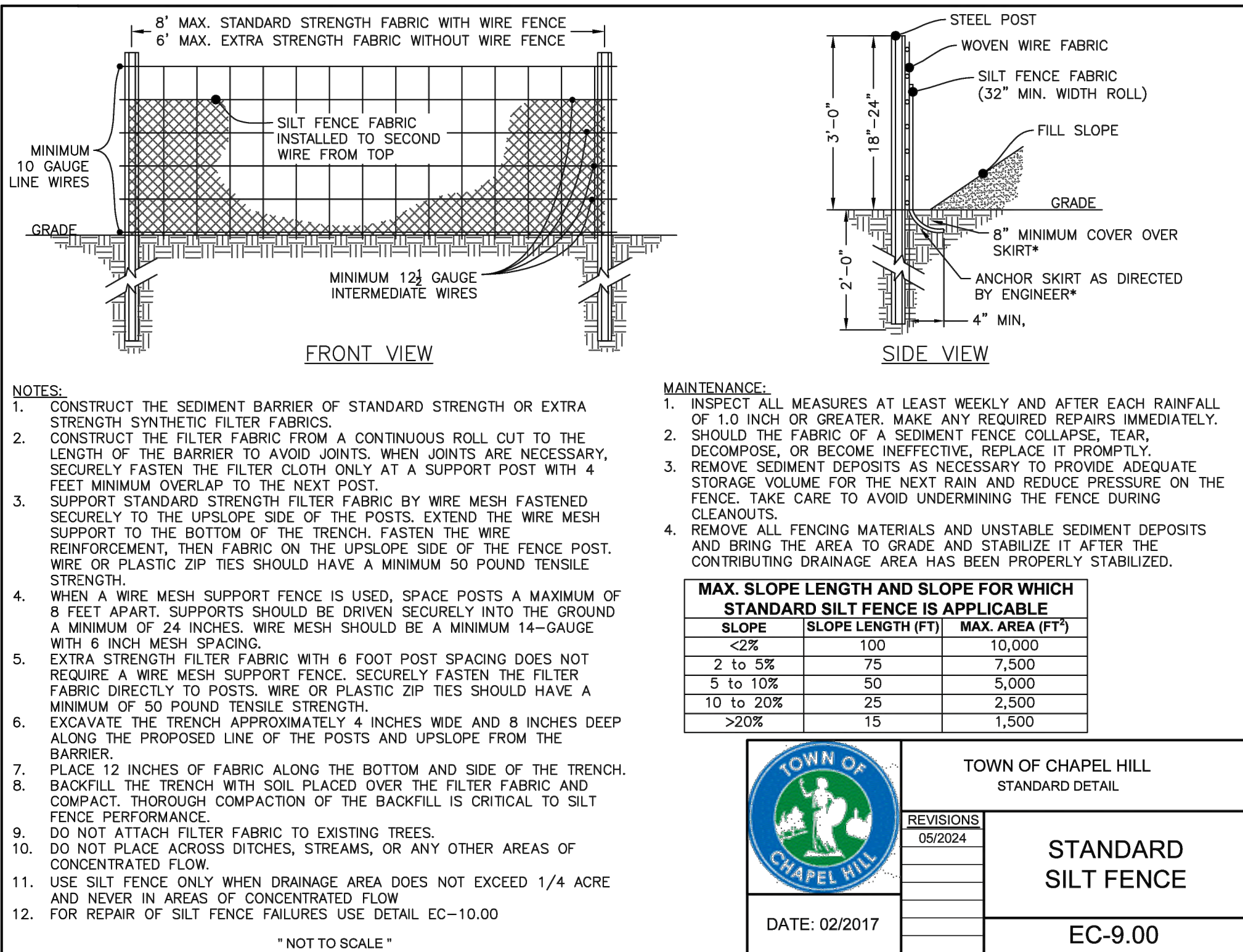
TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977

SHEET TITLE

**EROSION AND
SEDIMENT CONTROL
DETAILS**

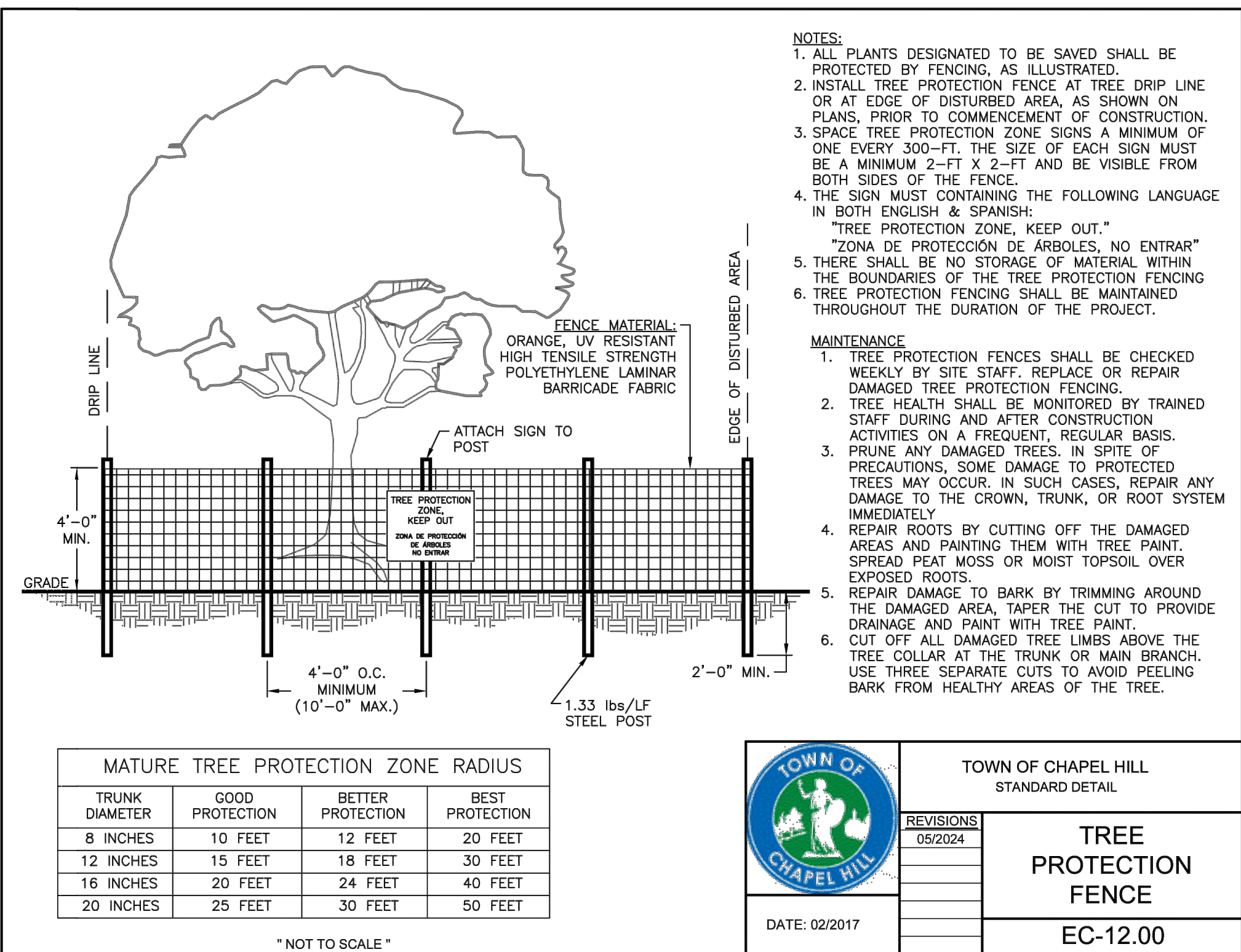
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ES-3

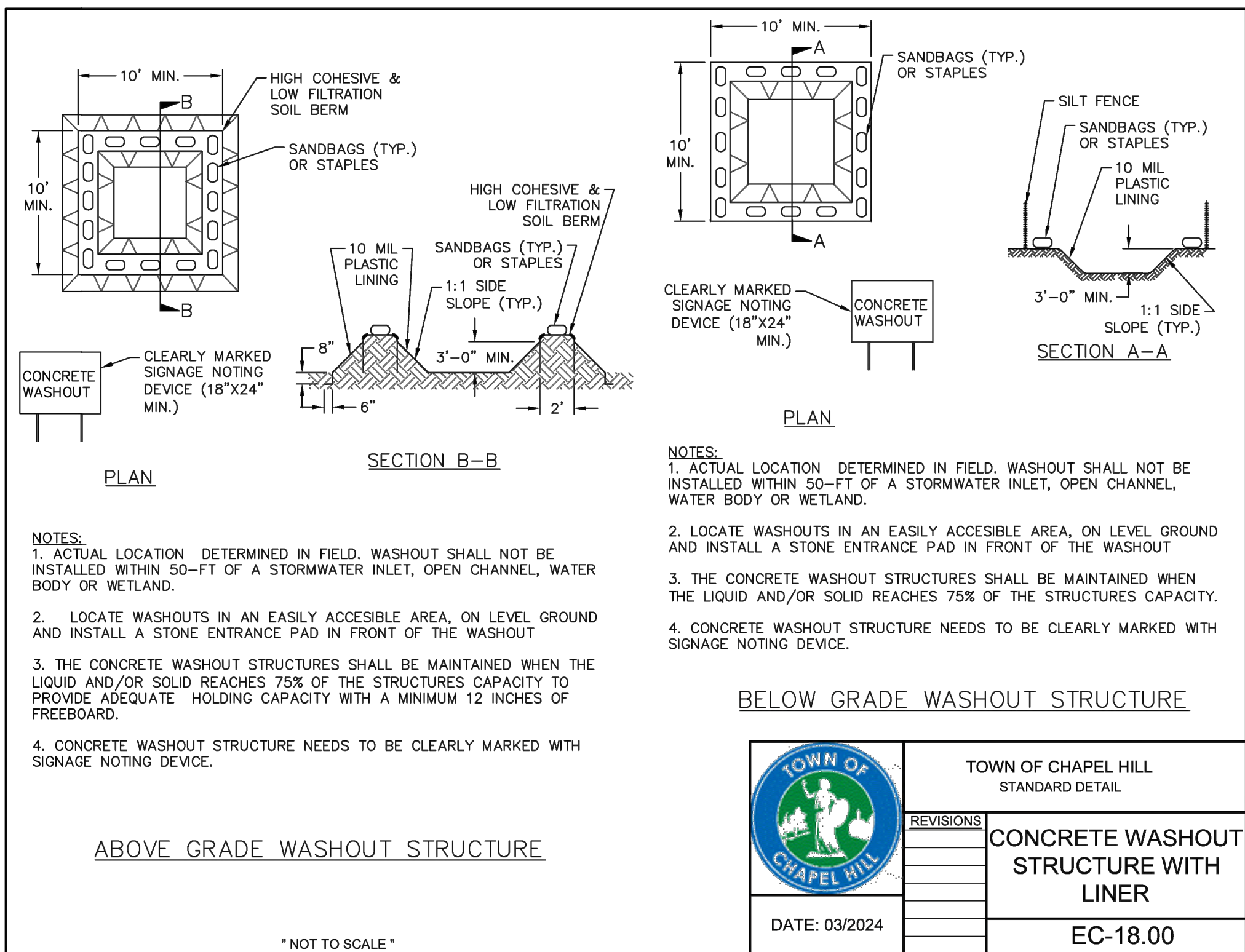


1 STANDARD SILT FENCE SF
ES-4 NTS

2 STANDARD SILT FENCE OUTLET
ES-4 NTS



3 TREE PROTECTION FENCE TP
ES-4 NTS



4 CONCRETE WASHDOWN AREA DETAIL
ES-4 NTS

APPLICANT



ENGINEER



SITE INFORMATION

NT SITE NAME: DOBBINS
NT SITE ID: NC-T23.12

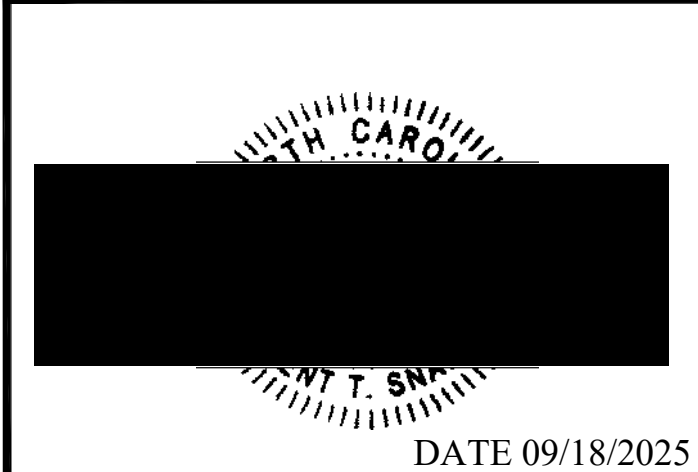
NB+C PROJ. # 100793
(TOWER 911 ADDRESS TBD)
1721 E FRANKLIN STREET
CHAPEL HILL, NC 27514
ORANGE COUNTY

DESIGN RECORD

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0	11/14/2024	ZONING DRAWINGS	OP

PROFESSIONAL STAMP



ENGINEER

TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977

SHEET TITLE

EROSION AND SEDIMENT CONTROL DETAILS

SHEET NUMBER

ES-4

STORMWATER RUNOFF CALCULATIONS:

NARRATIVE
THE SUBJECT PARCEL (4.29 ACRES) CONTAINS A PARKING LOT, DENTIST OFFICE, AND EXISTING GUY TOWER. THE REST OF THE PARCEL IS MADE UP OF GRASS AND WOODED AEA, WITH EXISTING SLOPES GOING UP TO 14%. THE PARCEL IS ALSO IN AN EXISTING FLOOD ZONE. THE LAND OBSERVED DRAINS WATER TO THE EAST. PROPOSED SITE CONSTRUCTION WILL CREATE A TOTAL DISTURBED AREA OF 4,900 SQUARE FEET, OF WHICH 3,000 S.F. WILL BE IMPERVIOUS SURFACE AND THE REMAINING 1,900 S.F. WILL BE MANAGED TURF.

ANALYSIS METHODOLOGIES AND PROCEDURES
PRE AND POST DEVELOPMENT RUNOFF VALUES FOR THE DRAINAGE AREA WERE CALCULATED USING THE SCS METHOD, OUTLINED IN THE JOHNSTON COUNTY STORMWATER DESIGN MANUAL, USING THE MODELING PROGRAM HYDRAFLOW HYDROGRAPHS EXTENSION FOR AUTOCAD CIVIL 3D 2022. THE DRAINAGE AREAS WERE DETERMINED USING A LOCAL SURVEY. PERVIOUS AND IMPERVIOUS AREAS WERE DETERMINED BY AERIAL PHOTOGRAPHY.

STORMWATER RUNOFF CONSIDERATIONS:

THE NATURAL DRAINAGE CONDITION FROM THE THE PROPOSED SITE WILL BE MAINTAINED TO THE GREATEST EXTENT POSSIBLE. PEAK FLOW FOR POST-DEVELOPMENT PEAK FLOW FOR THE 1-YEAR, 2-YEAR, AND 25-YEAR STORMS DO NOT EXCEED THE PRE-DEVELOPMENT PEAK FLOW THUS SATISFYING THE STANDARD SET IN SECTION II-B IN THE TOWN OF CHAPEL HILL STORMWATER IMPACT STATEMENT AND STORMWATER MANAGEMENT PLAN GUIDELINES.

FOR WATER QUALITY CONTROL, 12" DEEP, ROCK-LINED RETENTION POND IS BEING PROPOSED TO SATISFY THE STANDARD SET IN SECTION II-B IN THE TOWN OF CHAPEL HILL STORMWATER IMPACT STATEMENT AND STORMWATER MANAGEMENT PLAN GUIDELINES.

PREDEVELOPMENT – 1-YEAR, 24-HOUR

Hydrograph type	= SCS Runoff	Peak discharge	= 8.206 cfs
Storm frequency	= 1 yrs	Time to peak	= 732 min
Time interval	= 2 min	Hyd. volume	= 33,615 cuft
Drainage area	= 7.590 ac	Curve number	= 80
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 28.90 min
Total precip.	= 2.96 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

PREDEVELOPMENT – 2-YEAR, 24-HOUR

Hydrograph type	= SCS Runoff	Peak discharge	= 11.59 cfs
Storm frequency	= 2 yrs	Time to peak	= 732 min
Time interval	= 2 min	Hyd. volume	= 46,840 cuft
Drainage area	= 7.590 ac	Curve number	= 80
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 28.90 min
Total precip.	= 3.58 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

PREDEVELOPMENT – 25-YEAR, 24-HOUR

Hydrograph type	= SCS Runoff	Peak discharge	= 26.67 cfs
Storm frequency	= 25 yrs	Time to peak	= 730 min
Time interval	= 2 min	Hyd. volume	= 106,669 cuft
Drainage area	= 7.590 ac	Curve number	= 80
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 28.90 min
Total precip.	= 6.10 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

SITE CONDITION	DRAINAGE AREA TOTALS STORM EVENT PEAK DISCHARGE (CFS)		
	1-YR	2-YR	25-YR
PREDEVELOPMENT:	8.2060	11.5900	26.6700
POSTDEVELOPMENT:	8.2060	11.5900	26.6700
POSTDEVELOPMENT - TREATED:	8.1090	11.4500	26.3500

IMPERVIOUS SURFACE TALLIES

TOTAL PARCEL AREA:	186,872 SQ.FT. (4.290 AC) ±
EX. DRIVEWAY/PARKING AREA:	8,185 SQ.FT. (0.188 AC) ±
EX. BUILDING AREA:	2,700 SQ.FT. (0.062 AC) ±
EX. PAVED TRAIL AREA:	3,737 SQ.FT. (0.086 AC) ±
EX. OTHER IMPERVIOUS AREA:	3,000 SQ.FT. (0.069 AC) ±
EX. TOTAL IMPERVIOUS AREA:	17,622 SQ.FT. (0.405 AC) ±
PROP. COMPOUND IMPERV. AREA:	3,000 SQ.FT. (0.069 AC) ±
PROP. TOTAL IMPERVIOUS AREA:	3,000 SQ.FT. (0.069 AC) ±
PROP. TOTAL IMPERVIOUS AREA:	20,622 SQ.FT. (0.473 AC) ±
PROP. DISTURBED AREA:	5,056 SQ.FT. (0.116 AC) ±
PROP. AREA INSIDE FLOOD ZONE:	1,626 SQ.FT. (0.037 AC) ±

PREDEVELOPMENT				
HYDRO SOIL GROUP	GROUND CONDITION	CN	AREA (SQ.FT.)	AREA (ACRES)
D	WOODED	77	163,032	3.74
	GRASS	80	139,111	3.19
	IMPERVIOUS	98	28,314	0.65
TOTAL AREA			330,457	7.59
WEIGHTED CN		80		

POSTDEVELOPMENT				
HYDRO SOIL GROUP	GROUND CONDITION	CN	AREA (SQ.FT.)	AREA (ACRES)
D	WOODED	77	159,742	3.67
	GRASS	80	139,111	3.19
	IMPERVIOUS	98	31,604	0.73
TOTAL AREA			330,457	7.59
WEIGHTED CN		80		

POSTDEVELOPMENT - RETENTION BASIN				
HYDRO SOIL GROUP	GROUND CONDITION	CN	AREA (SQ.FT.)	AREA (ACRES)
D	GRASS	77	662	0.015
	IMPERVIOUS	98	3,290	0.076
TOTAL			3,952	0.091
WEIGHTED CN		94		

POSTDEVELOPMENT - BYPASS				
HYDRO SOIL GROUP	GROUND CONDITION	CN	AREA (SQ.FT.)	AREA (ACRES)
D	WOODED	77	159,742	3.67
	GRASS	80	138,449	3.18
	IMPERVIOUS	98	28,314	0.65
TOTAL AREA			326,505	7.50
WEIGHTED CN		80		



LEGEND

---	PROPERTY LINE - SUBJECT PARCEL
---	PROPERTY LINE - ABUTTERS
---	EXISTING ROAD
[]	EXISTING BUILDING
---	EXISTING TREE LINE
---	EXISTING FEMA FLOODWAY
---	EXISTING FEMA FLOOD AE ZONE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	DRAINAGE AREA

APPLICANT

NETWORK TOWERS
NETWORK TOWERS, LLC.
120 EASTSHORE DRIVE, SUITE 300
GLEN ALLEN, VA 23059
804-548-4079

ENGINEER

NB+C
TOTALLY COMMITTED.
TKK ENGINEERING, P.C.
8601 SIX FORKS ROAD, SUITE 540
RALEIGH, NC 27615
919.657.9131

SITE INFORMATION

NT SITE NAME: DOBBINS
NT SITE ID: NC-T23.12

NB+C PROJ. # 100793
(TOWER 911 ADDRESS TBD)
1721 E FRANKLIN STREET
CHAPEL HILL, NC 27514
ORANGE COUNTY

DESIGN RECORD

REVISIONS

REV	DATE	DESCRIPTION	BY
5	09/18/2025	REVISED SITE PLAN	OP
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2	03/12/2025	REVISED SITE PLAN	OP
1	01/31/2025	SITE PLAN	BMB
0	11/14/2024	ZONING DRAWINGS	OP

PROFESSIONAL STAMP

TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977
DATE 09/18/2025

ENGINEER

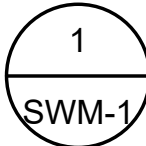
TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977

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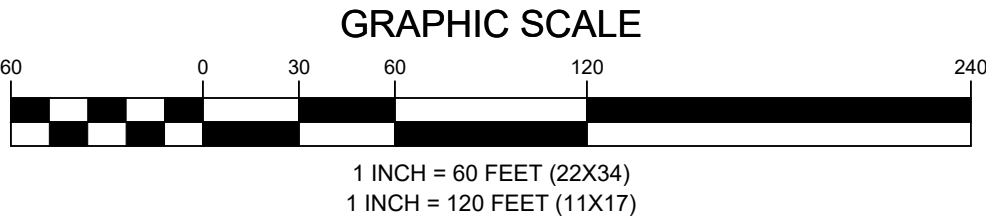
PRE-DEVELOPMENT
DRAINAGE AREA MAP

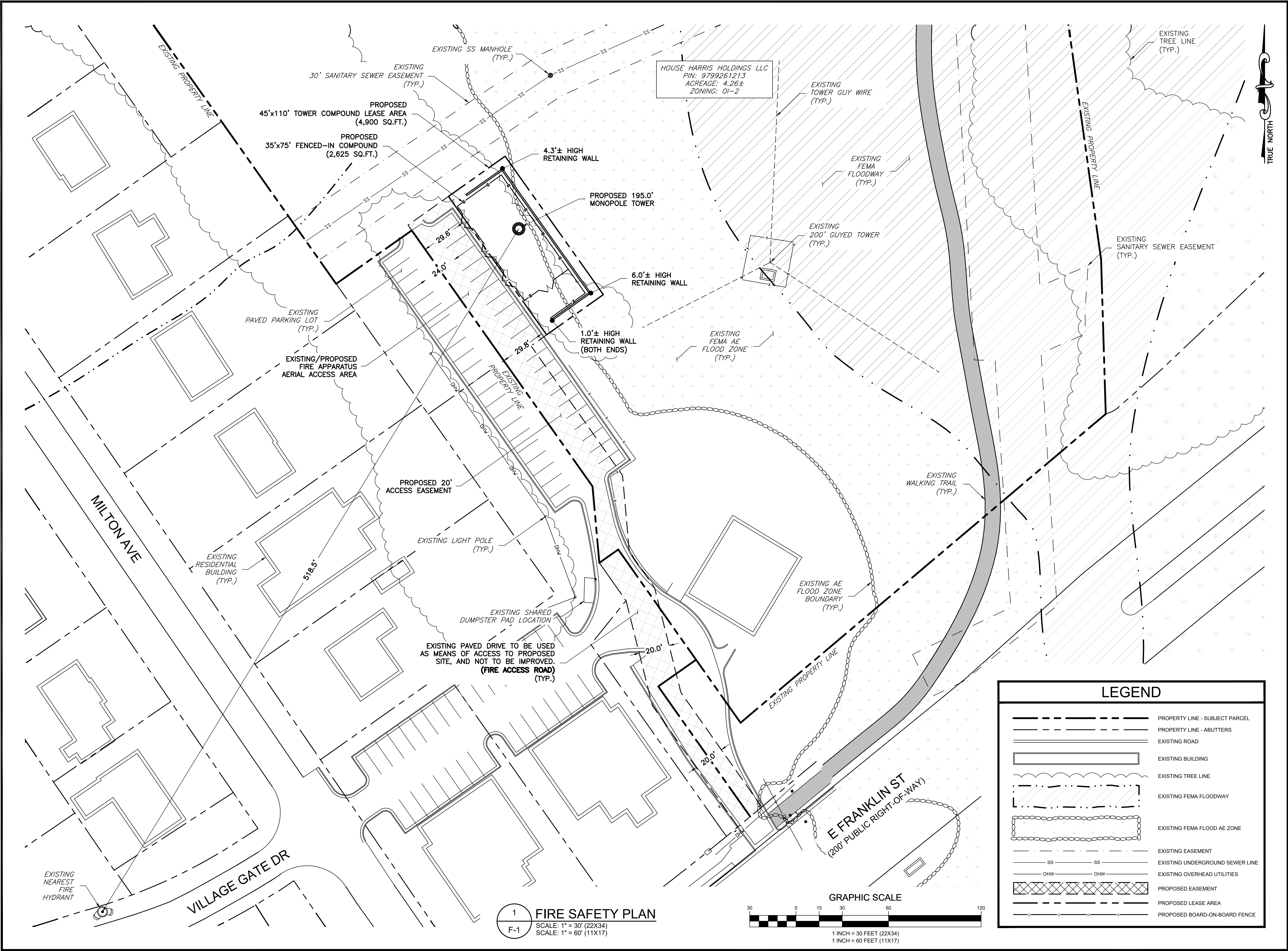
SHEET NUMBER

SWM-1



1 GRADING, EROSION & SEDIMENT CONTROL PLAN
SCALE: 1" = 60' (22X34)
SCALE: 1" = 120' (11X17)





APPLICANT

ENGINEER

SITE INFORMATION

DESIGN RECORD

PROFESSIONAL STAMP

ENGINEER

SHEET TITLE

SHEET NUMBER

NETWORK TOWERS
NETWORK TOWERS, LLC.
120 EASTSHORE DRIVE, SUITE 300
GLEN ALLEN, VA 22059
804-548-4079

NB+C
TOTALLY COMMITTED.
TKK ENGINEERING, P.C.
8601 SIX FORKS ROAD, SUITE 540
RALEIGH, NC 27615
919.657.9131

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NT SITE ID: NC-T23.12

NB+C PROJ. # 100793
(TOWER 911 ADDRESS TBD)
1721 E FRANKLIN STREET
CHAPEL HILL, NC 27514
ORANGE COUNTY

REVISIONS

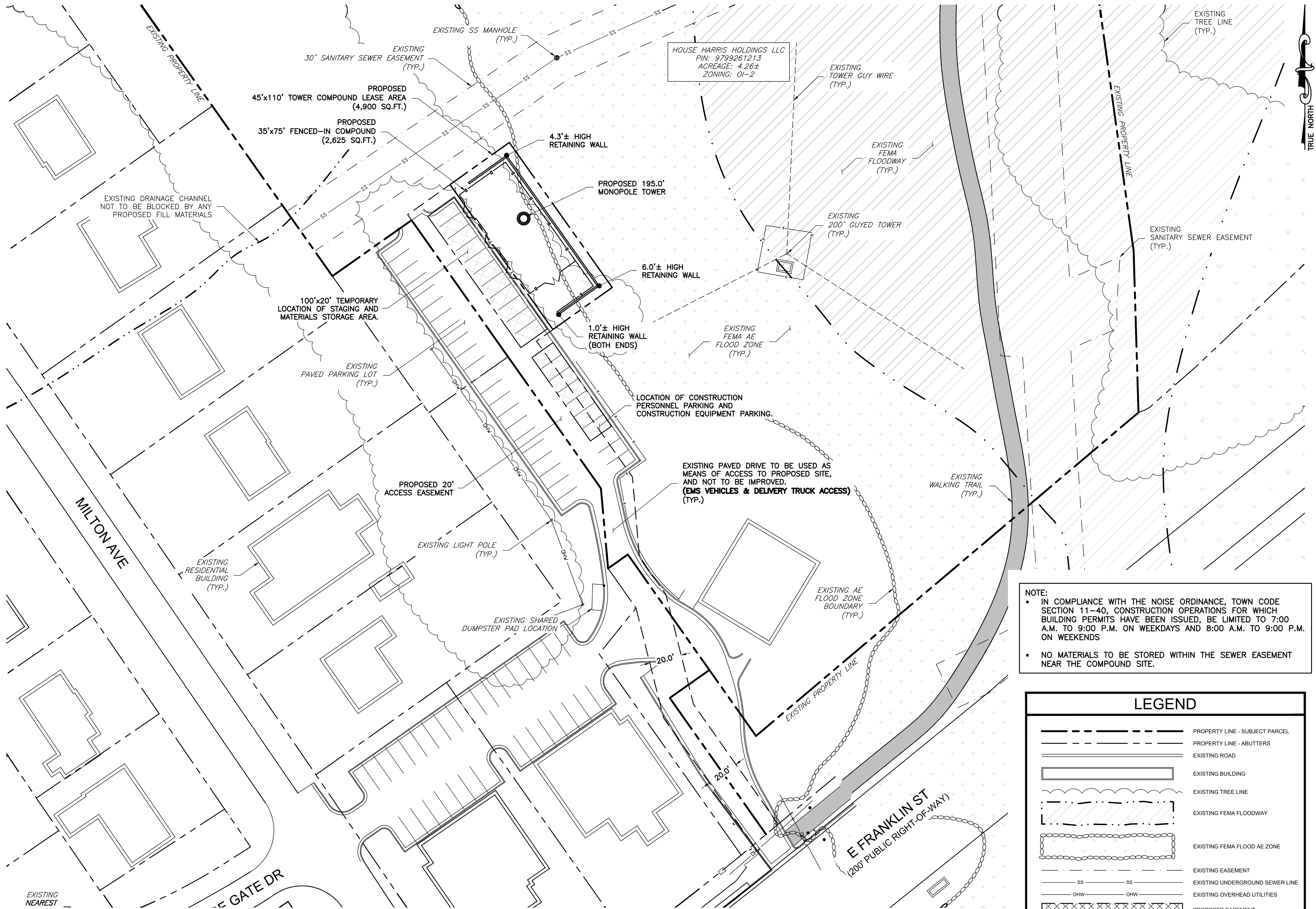
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DATE 09/18/2025

TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977

FIRE SAFETY PLAN

F-1

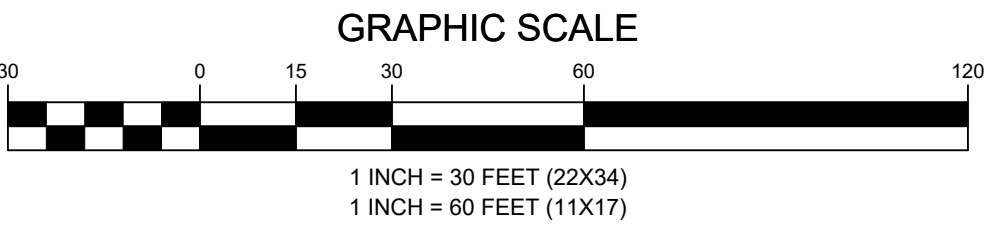


HOUSE HARRIS HOLDINGS LLC
PIN: 9799261213
ACREAGE: 4.26±
ZONING: 01-2

- NOTE:
- IN COMPLIANCE WITH THE NOISE ORDINANCE, TOWN CODE SECTION 11-40, CONSTRUCTION OPERATIONS FOR WHICH BUILDING PERMITS HAVE BEEN ISSUED, BE LIMITED TO 7:00 A.M. TO 9:00 P.M. ON WEEKDAYS AND 8:00 A.M. TO 9:00 P.M. ON WEEKENDS
 - NO MATERIALS TO BE STORED WITHIN THE SEWER EASEMENT NEAR THE COMPOUND SITE.

LEGEND	
	PROPERTY LINE - SUBJECT PARCEL
	PROPERTY LINE - ABUTTERS
	EXISTING ROAD
	EXISTING BUILDING
	EXISTING TREE LINE
	EXISTING FEMA FLOODWAY
	EXISTING FEMA FLOOD AE ZONE
	EXISTING EASEMENT
	EXISTING UNDERGROUND SEWER LINE
	EXISTING OVERHEAD UTILITIES
	PROPOSED EASEMENT
	PROPOSED LEASE AREA
	PROPOSED BOARD-ON-BOARD FENCE

1
F-1
EMS & DELIVERY TRUCK ACCESS PLAN
SCALE: 1" = 30' (22X34)
SCALE: 1" = 60' (11X17)



APPLICANT



ENGINEER



SITE INFORMATION

NT SITE NAME: DOBBINS
NT SITE ID: NC-T23.12

NB+C PROJ. # 100793
(TOWER 911 ADDRESS TBD)
1721 E FRANKLIN STREET
CHAPEL HILL, NC 27514
ORANGE COUNTY

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PROFESSIONAL STAMP



ENGINEER

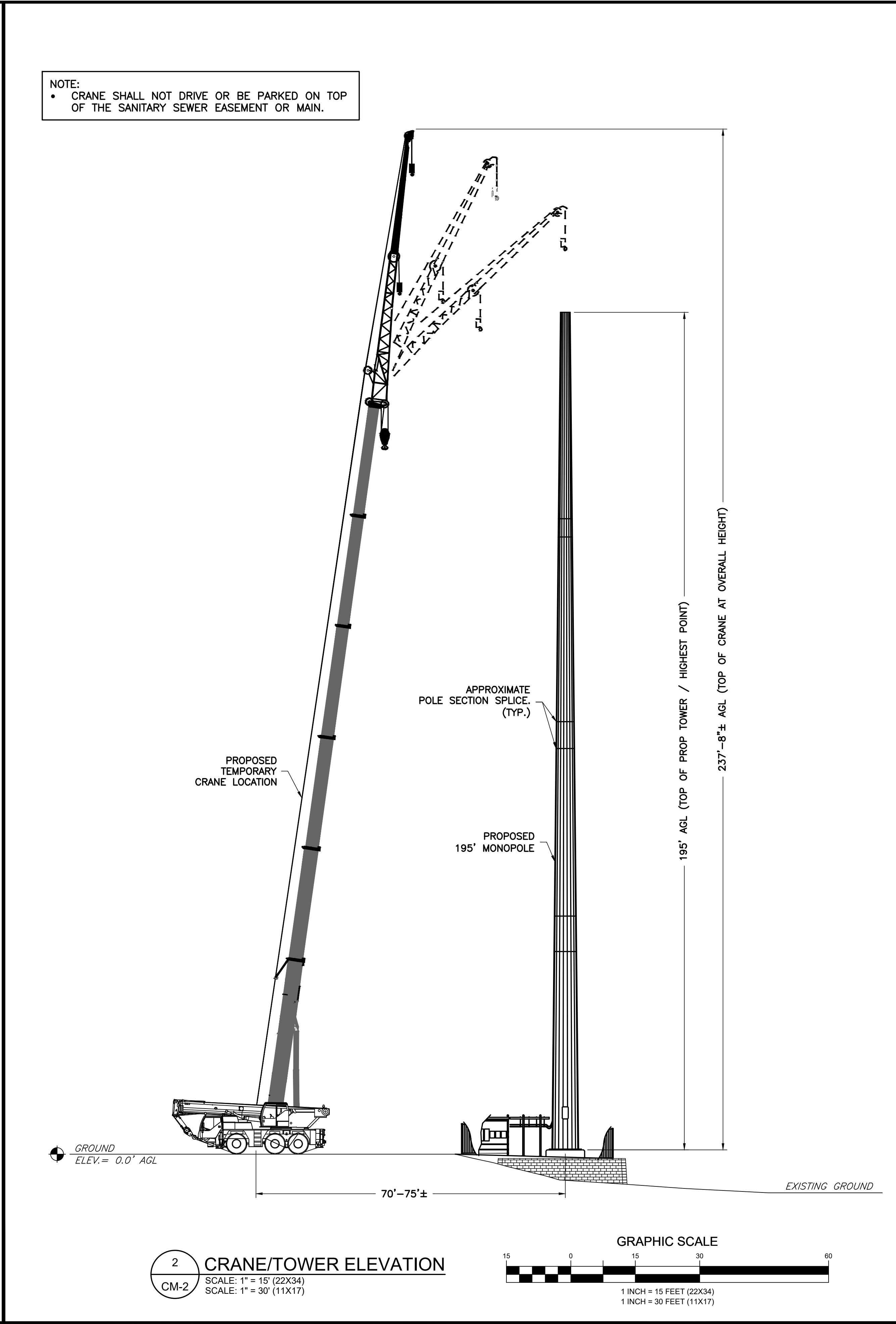
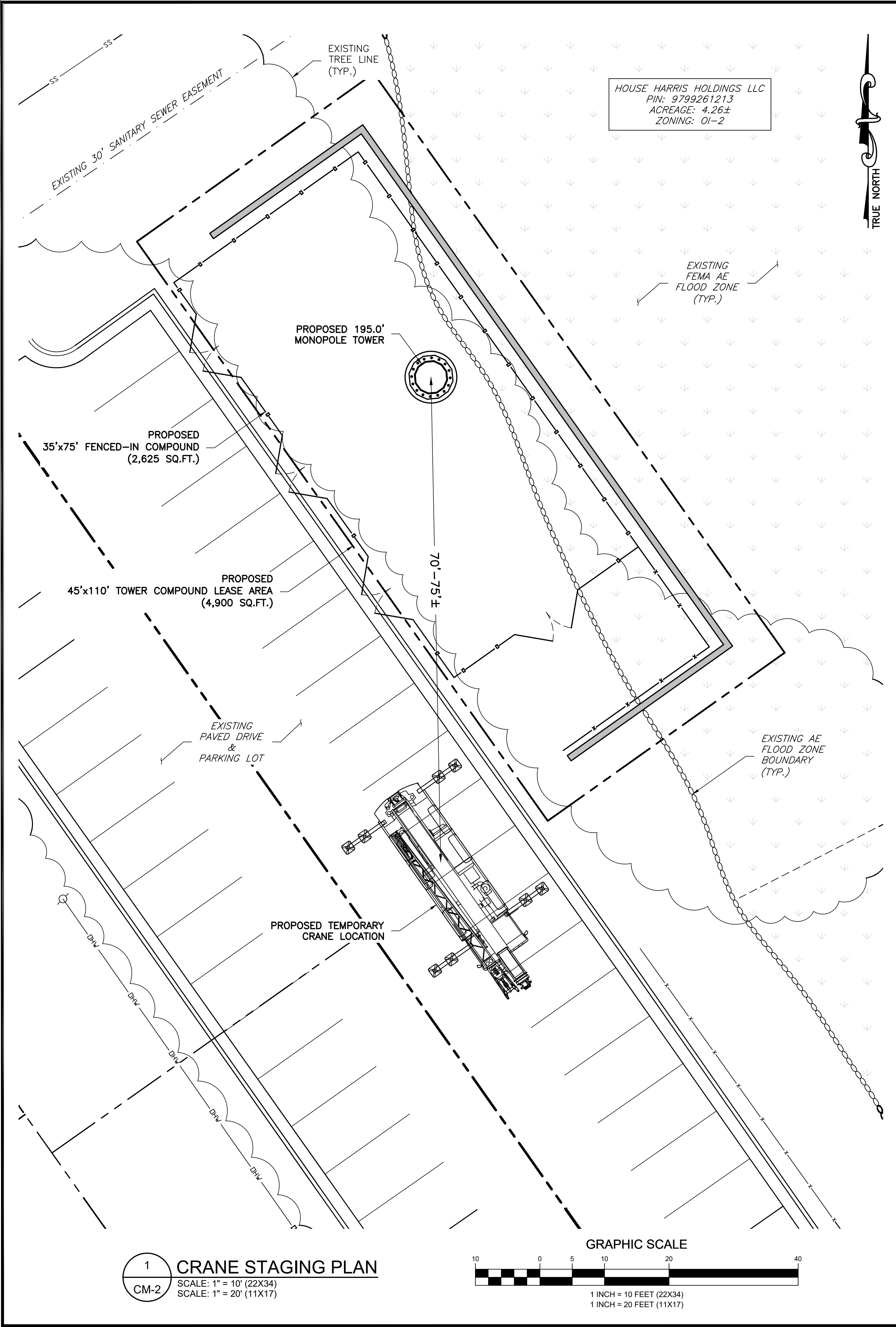
TRENT T. SNARR, P.E.
NC PROFESSIONAL ENGINEER LIC. #037977

SHEET TITLE

CONSTRUCTION
MANAGEMENT
PLAN

SHEET NUMBER

CM-1



APPLICANT	 NETWORK TOWERS, LLC. 120 EASTSHORE DRIVE, SUITE 300 GLEN ALLEN, VA 23060 804-548-4079																																
ENGINEER	 TOTALLY COMMITTED. TKK ENGINEERING, P.C. 8601 SIX FORKS ROAD, SUITE 540 RALEIGH, NC 27615 919-657-9131																																
SITE INFORMATION	NT SITE NAME: DOBBINS NT SITE ID: NC-T23.12 NB+C PROJ. # 100793 (TOWER 911 ADDRESS TBD) 1721 E FRANKLIN STREET CHAPEL HILL, NC 27514 ORANGE COUNTY																																
DESIGN RECORD	<table><tr><th colspan="4">REVISIONS</th></tr><tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th><th>BY</th></tr><tr><td>5</td><td>09/18/2025</td><td>REVISED SITE PLAN</td><td>OP</td></tr><tr><td>4</td><td>06/24/2025</td><td>REVISED SITE PLAN</td><td>OP</td></tr><tr><td>3</td><td>04/15/2025</td><td>REVISED SITE PLAN</td><td>OP</td></tr><tr><td>2</td><td>03/12/2025</td><td>REVISED SITE PLAN</td><td>OP</td></tr><tr><td>1</td><td>01/31/2025</td><td>SITE PLAN</td><td>BMB</td></tr><tr><td>0</td><td>11/14/2024</td><td>ZONING DRAWINGS</td><td>OP</td></tr></table>	REVISIONS				REV	DATE	DESCRIPTION	BY	5	09/18/2025	REVISED SITE PLAN	OP	4	06/24/2025	REVISED SITE PLAN	OP	3	04/15/2025	REVISED SITE PLAN	OP	2	03/12/2025	REVISED SITE PLAN	OP	1	01/31/2025	SITE PLAN	BMB	0	11/14/2024	ZONING DRAWINGS	OP
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ENGINEER	TRENT T. SNARR, P.E. NC PROFESSIONAL ENGINEER LIC. #037977																																
SHEET TITLE	CONSTRUCTION MANAGEMENT PLAN																																
SHEET NUMBER	CM-2																																