

MOSELEY ARCHITECTS

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 9702-700

Chapel Hill HS Expansion

CHAPEL HILL-CARBORO COUNTY SCHOOLS
 1709 HIGH SCHOOL ROAD, CHAPEL HILL, NC 27516

PROJECT NO: 38753 / DATE: MAY 25, 2017

DATE	REVISIONS	DESCRIPTION

NOTES & DETAILS

C3.9

NOTES:
 1. ALL AREAS CHANGING FROM IMPERVIOUS TO PERVIOUS WILL REQUIRE OVER EXCAVATION 12" BELOW SUBGRADE OR FINAL GRADE, WHICHEVER IS GREATER, TO MAXIMIZE INFILTRATION AND VEGETATION GROWTH.

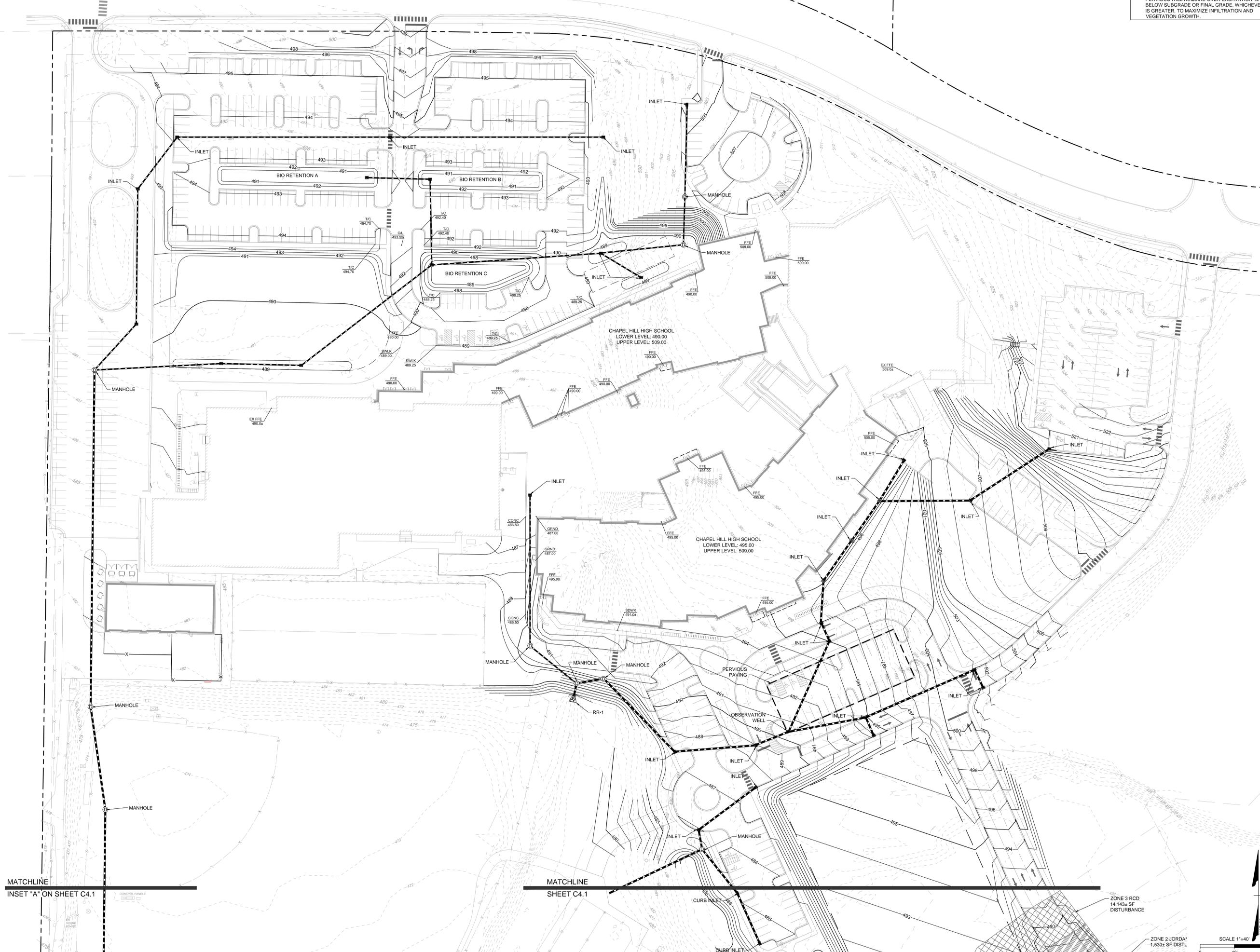


Chapel Hill HS Expansion
 Chapel Hill-Carrboro County Schools
 1709 High School Road, Chapel Hill, NC 27516

PROJECT NO.	DATE
38753	February 02, 2018
REVISIONS	DESCRIPTION

GRADING & DRAINAGE PLAN

C4.0



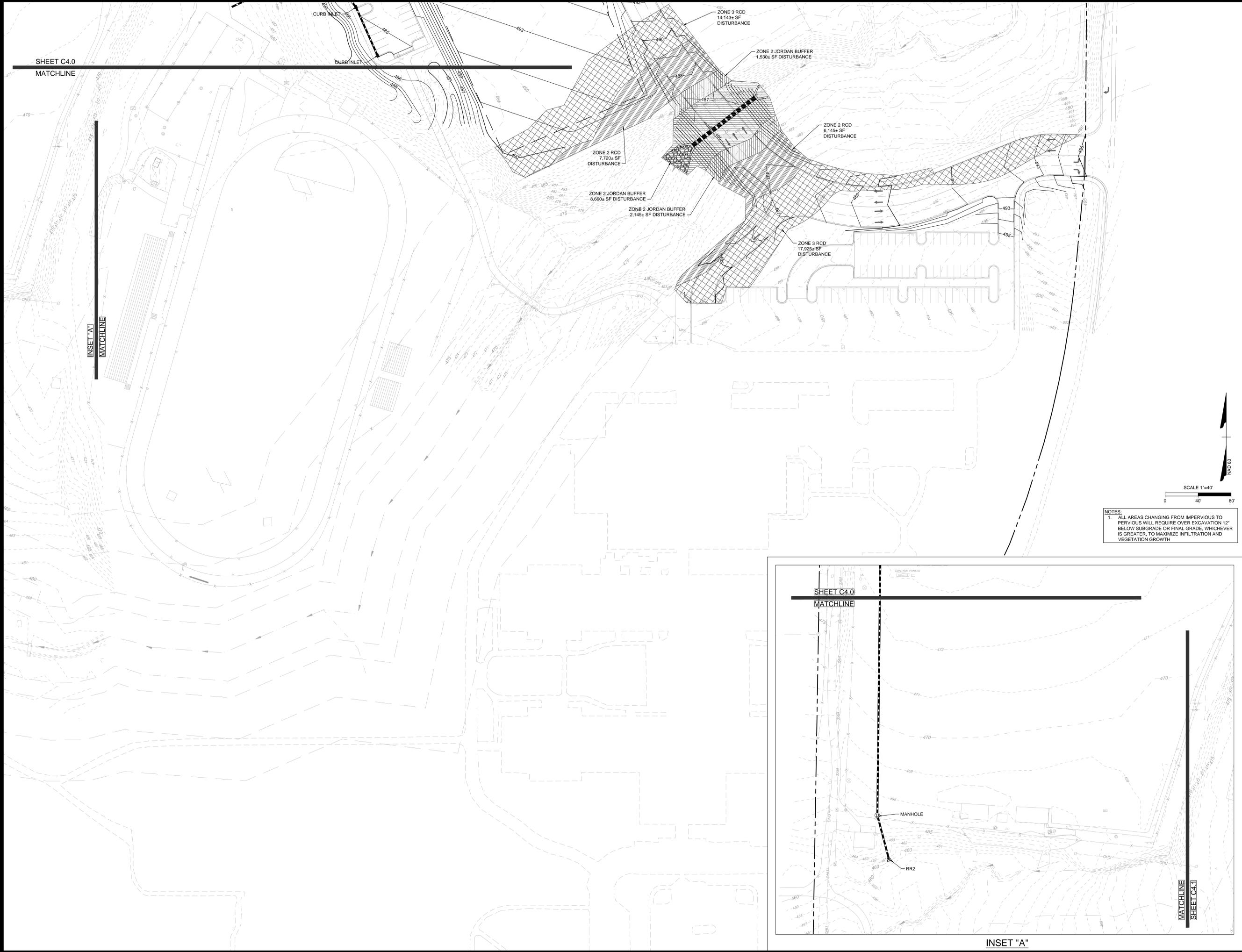
MATCHLINE
 INSET "A" ON SHEET C4.1

MATCHLINE
 SHEET C4.1

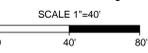
SCALE 1"=40'
 0 40 80
 NORTH
 NAD 83

ZONE 3 RCD
 14,143± SF DISTURBANCE
 ZONE 2 JORDAN
 1,530± SF DISTU

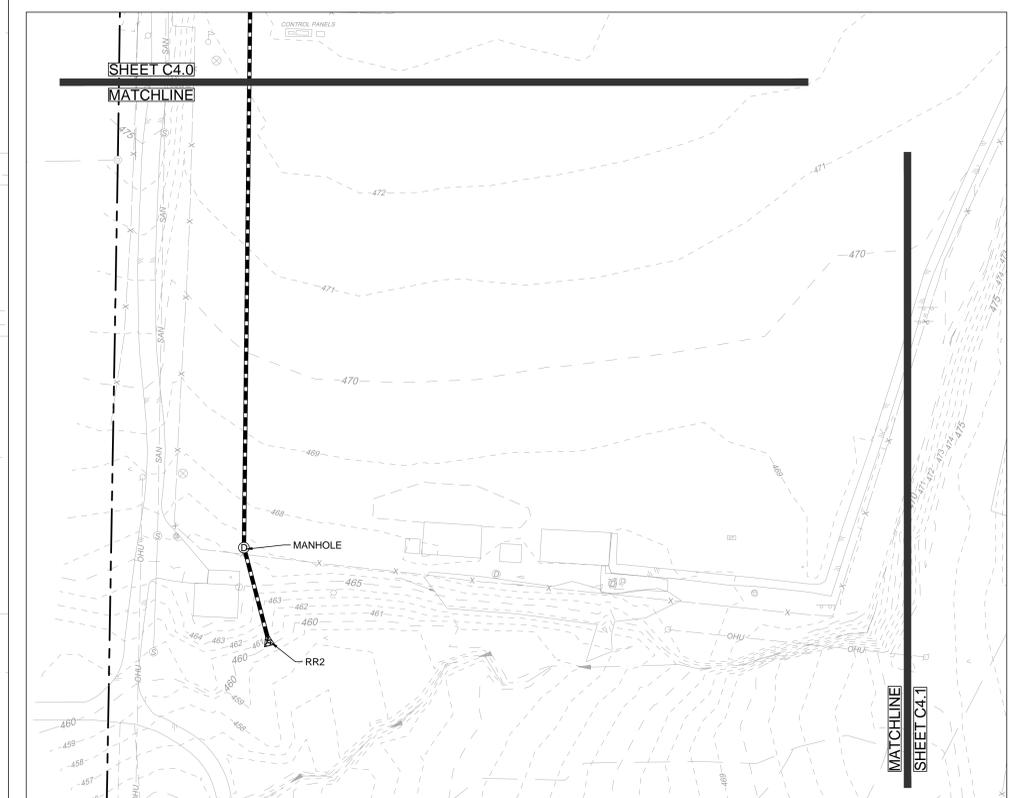
SHEET C4.0
MATCHLINE



INSET "A"
MATCHLINE



NOTES:
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INSET "A"

MOSELEYARCHITECTS
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Chapel Hill HS Expansion
Chapel Hill-Carrboro County Schools
1709 High School Road, Chapel Hill, NC 27516

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GRADING &
DRAINAGE
PLAN

C4.1



SLOPES LEGEND

	<10 PERCENT SLOPES
	10 TO 15 PERCENT SLOPES
	>15 TO <25 PERCENT SLOPES
	25 + PERCENT SLOPES

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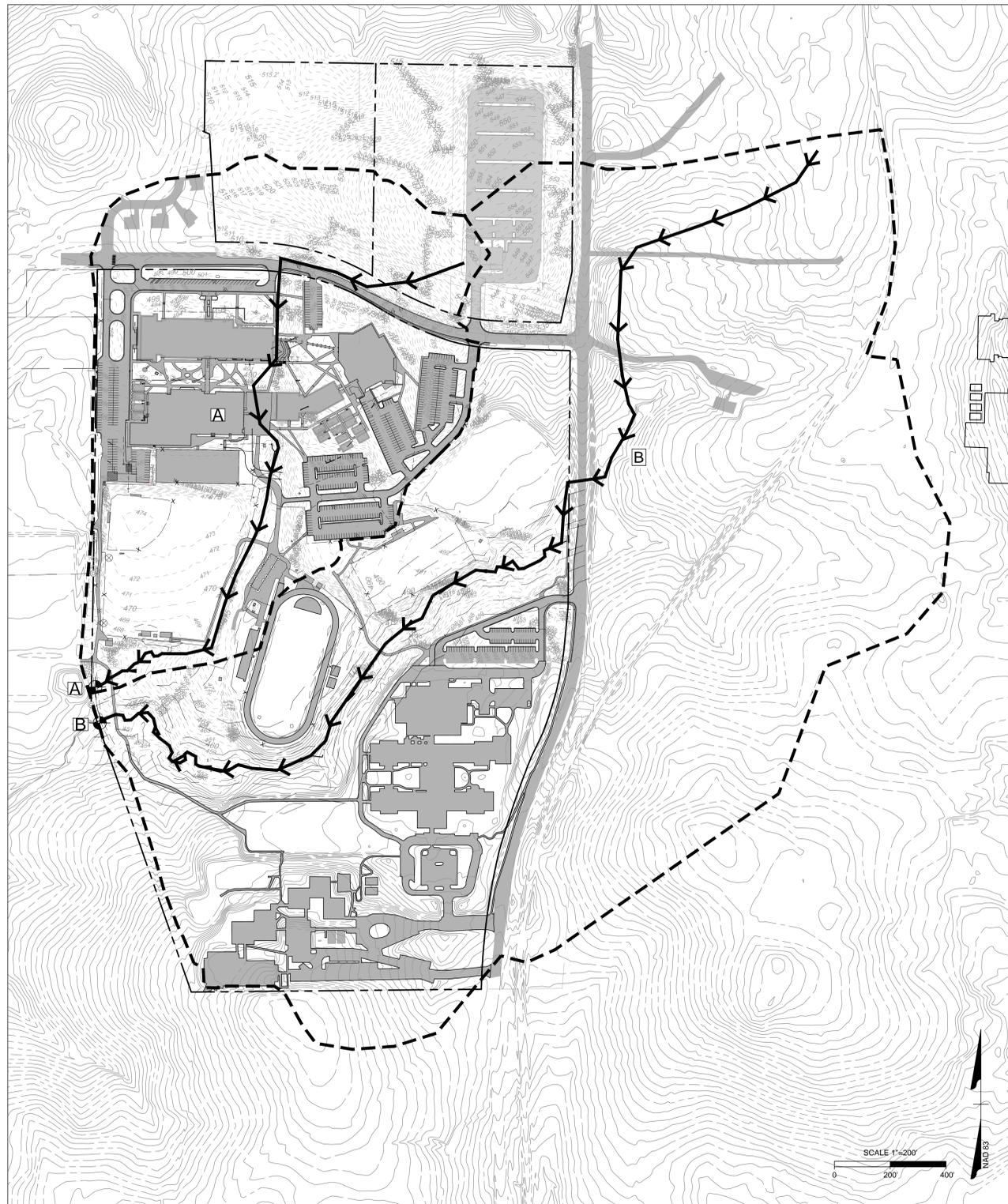
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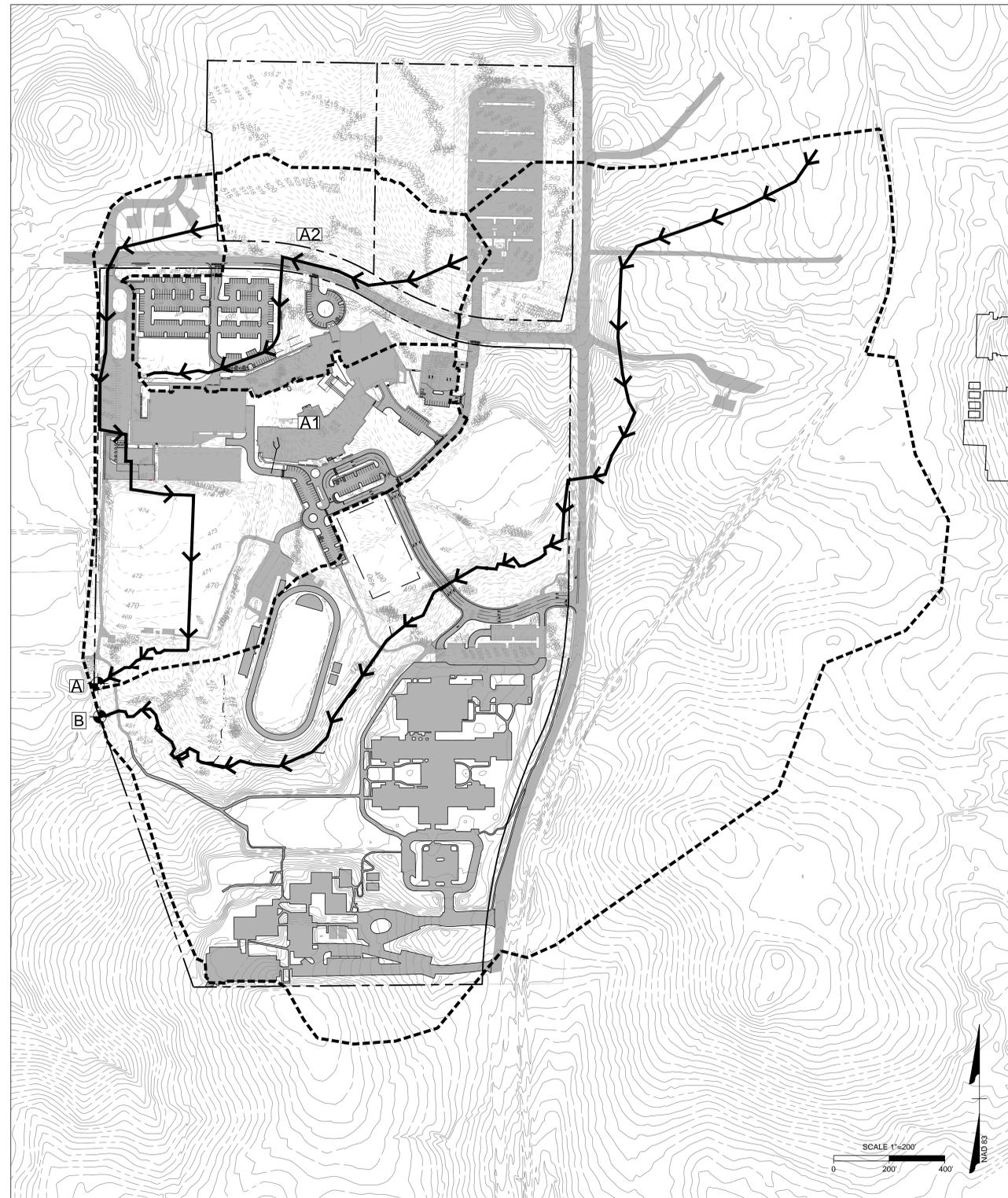
PROJECT NO:	DATE:
38753	May 25, 2017
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STEEP SLOPE PLAN

C4.2



PRE-DEVELOPED SITE



POST-DEVELOPED SITE

STORMWATER QUANTITY CALCULATIONS:

ANALYSIS POINT A	DRAINAGE AREA (Acres)	(CN)	DEPTH (1-YEAR)	DEPTH (2-YEAR)	DEPTH (25-YEAR)	Q1	Q2	Q25
PRE-DEVELOPMENT	45.52	82*	2.96	3.60	6.41	64.80	90.60	211.18
POST-DEVELOPMENT A1	28.09*	83*	2.96	3.60	6.41	38.35*	53.08*	121.26*
POST-DEVELOPMENT A2 (BMP)	44.33*	81*	2.96	3.60	6.41	15.97*	24.89*	43.91*
POST-DEVELOPMENT A (ROUTED)	5.90*		2.96	3.60	6.41	53.74*	76.77*	164.32*

* SUBJECT TO CHANGE AS SITE PLAN DESIGN CHANGES

ANALYSIS POINT B	DRAINAGE AREA (Acres)	(CN)	DEPTH (1-YEAR)	DEPTH (2-YEAR)	DEPTH (25-YEAR)	Q1	Q2	Q25
PRE-DEVELOPMENT	129.96	78	2.96	3.60	6.41	139.04	205.05	533.92*
POST-DEVELOPMENT	130.67	77*	2.96	3.60	6.41	139.80*	206.17*	536.83*

* SUBJECT TO CHANGE AS SITE PLAN DESIGN CHANGES

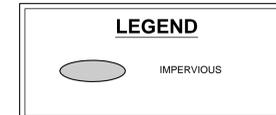
STORMWATER QUALITY CALCULATIONS

PRE DEVELOPMENT ONSITE IMPERVIOUS SURFACES = 29.8± ACRES

POST DEVELOPMENT ONSITE IMPERVIOUS SURFACES = 27.8± ACRES

IMPERVIOUS AREA REQUIRED TO BE TREATED FOR 85% TSS = 0.5 ± ACRES

*0.59 AC OF IMPERVIOUS PAVERS TO BE TREATED TO 85% TSS



Chapel Hill HS Expansion

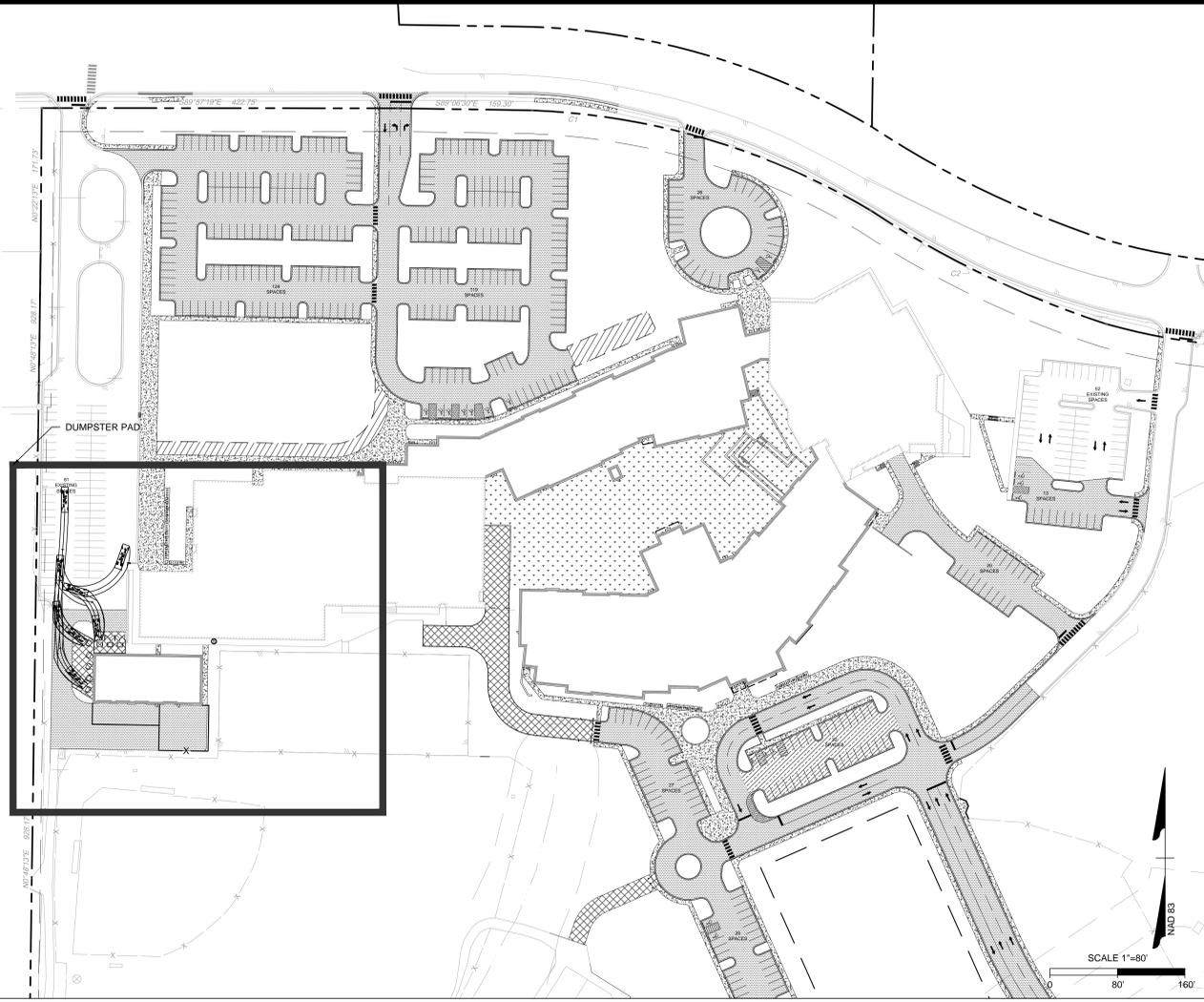
Chapel Hill-Carrboro County Schools
1709 High School Road, Chapel Hill, NC 27516

PROJECT NO:	DATE:
38753	FEBRUARY 02, 2018
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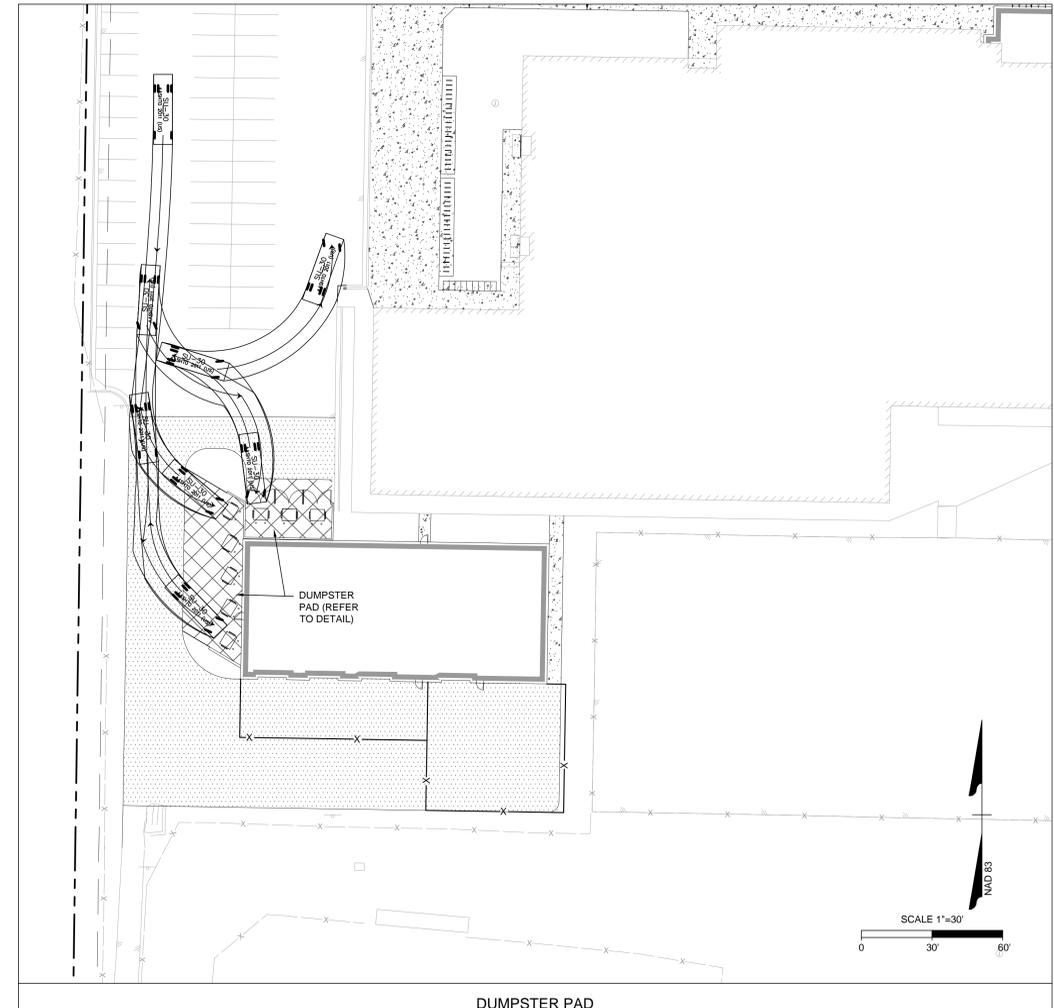
STORMWATER MANAGEMENT PLAN

C4.3

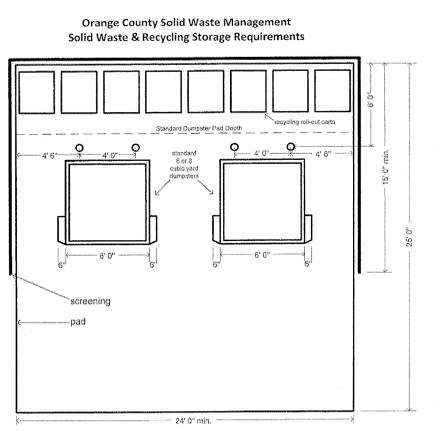




KEY PLAN



DUMPSTER PAD



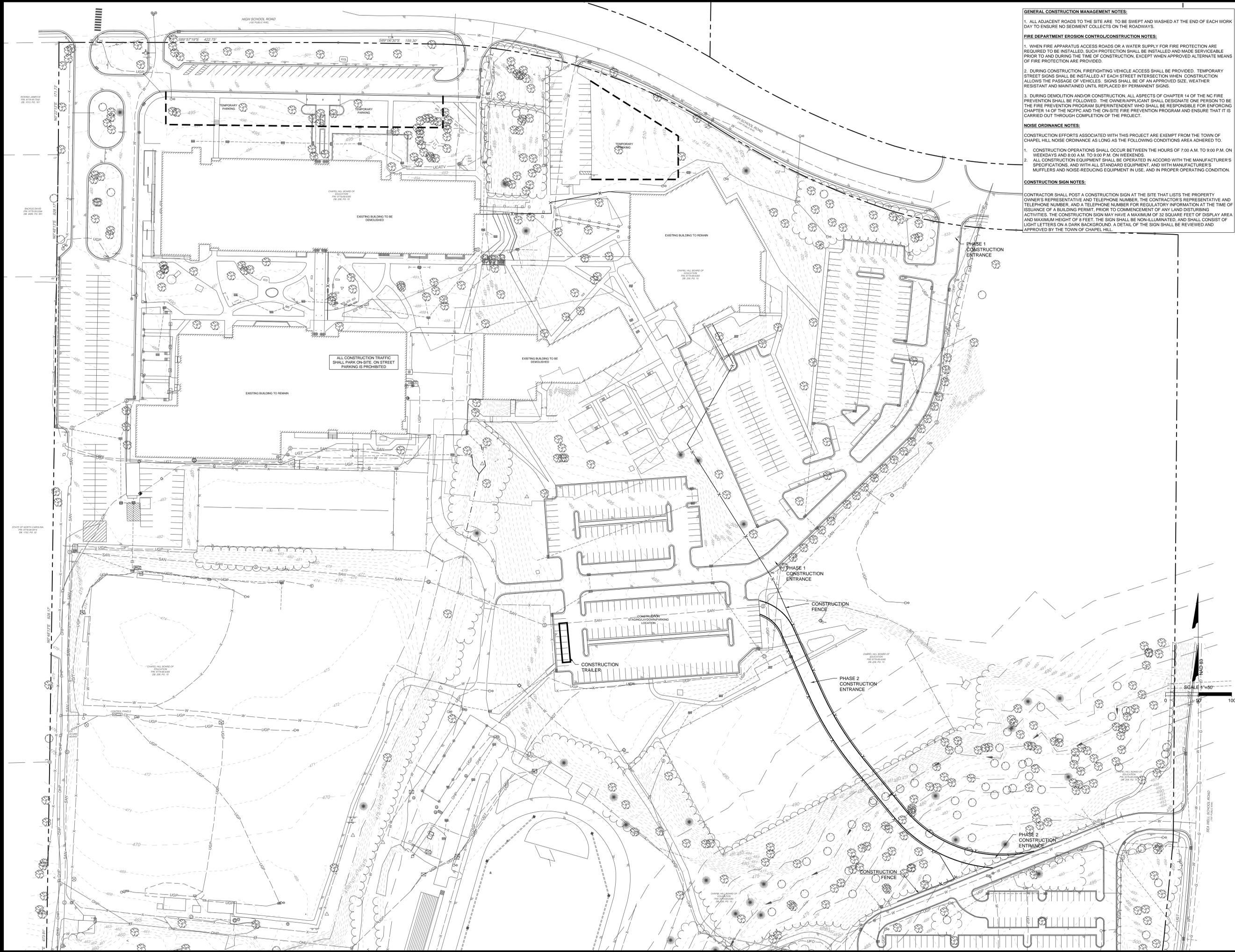
- Dumpster Pad Design Requirements:**
- Pads shall be constructed from concrete with a minimum compressive strength of 3,500 PSI.
 - Pad and approach (measured 25' from back of pad) shall be a minimum of 8" thick.
 - 2 concrete-filled 6" I.D. steel pipe bollards shall be placed as shown on the detail above and shall be set in concrete footings to a minimum depth of 2'.
 - All pads shall be screened/enclosed on 3 sides (sides, back) and shall meet the requirements designated by the jurisdiction (as to materials, height).
 - If gates are to be installed on the front, they shall be equipped with retainers to hold the gates in the open and closed position and shall be installed in such a manner as to provide a minimum clear opening width of 12' for each dumpster (exclusive of mounting hardware).
 - Unless alternate arrangements have been made and approved for the recycling of corrugated cardboard, 1 dumpster shall be designated for corrugated cardboard and 1 for solid waste.
 - The number of mixed-recyclable carts to be used shall be determined by the proposed use and as agreed upon at the time the formal request for service is made to Orange County Community Recycling by the owner/Applicant.

DUMPSTER PAD DETAIL

- SOLID WASTE MANAGEMENT NOTES:**
1. PRIOR TO ANY CONSTRUCTION ACTIVITY ON SITE A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE ORANGE COUNTY SOLID WASTE STAFF.
 2. ALL GATES SHALL INCLUDE GATE RETAINERS
 3. A STAFF MEMBER OF THE SCHOOL SHALL BE RESPONSIBLE FOR OPENING GATES TO THE DUMPSTER AREA ON COLLECTION DAYS OF ANY MATERIALS TO BE COLLECTED FROM THIS LOCATION.
 4. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
 5. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE SHALL BE PROPERLY LICENSED.
 6. IF ANY VEHICLES ARE PARKED IN THE REFUSE OR RECYCLABLES COLLECTION VEHICLE ACCESS AREA, THE CONTAINERS WILL NOT RECEIVE SERVICE UNTIL THE NEXT SCHEDULED COLLECTION DAY.



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GENERAL CONSTRUCTION MANAGEMENT NOTES:

1. ALL ADJACENT ROADS TO THE SITE ARE TO BE SWEEPED AND WASHED AT THE END OF EACH WORK DAY TO ENSURE NO SEDIMENT COLLECTS ON THE ROADWAYS.

FIRE DEPARTMENT EROSION CONTROL/CONSTRUCTION NOTES:

1. WHEN FIRE APPARATUS ACCESS ROADS OR A WATER SUPPLY FOR FIRE PROTECTION ARE REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION, EXCEPT WHEN APPROVED ALTERNATE MEANS OF FIRE PROTECTION ARE PROVIDED.
2. DURING CONSTRUCTION, FIREFIGHTING VEHICLE ACCESS SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS.
3. DURING DEMOLITION AND/OR CONSTRUCTION, ALL ASPECTS OF CHAPTER 14 OF THE NC FIRE PREVENTION SHALL BE FOLLOWED. THE OWNER/APPLICANT SHALL DESIGNATE ONE PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE RESPONSIBLE FOR ENFORCING CHAPTER 14 OF THE NCFPC AND THE ON-SITE FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT.

NOISE ORDINANCE NOTES:

CONSTRUCTION EFFORTS ASSOCIATED WITH THIS PROJECT ARE EXEMPT FROM THE TOWN OF CHAPEL HILL NOISE ORDINANCE AS LONG AS THE FOLLOWING CONDITIONS ARE ADHERED TO.

1. CONSTRUCTION OPERATIONS SHALL OCCUR BETWEEN THE HOURS OF 7:00 A.M. TO 9:00 P.M. ON WEEKDAYS AND 8:00 A.M. TO 9:00 P.M. ON WEEKENDS.
2. ALL CONSTRUCTION EQUIPMENT SHALL BE OPERATED IN ACCORD WITH THE MANUFACTURER'S SPECIFICATIONS, AND WITH ALL STANDARD EQUIPMENT, AND WITH MANUFACTURER'S MUFFLERS AND NOISE-REDUCING EQUIPMENT IN USE, AND IN PROPER OPERATING CONDITION.

CONSTRUCTION SIGN NOTES:

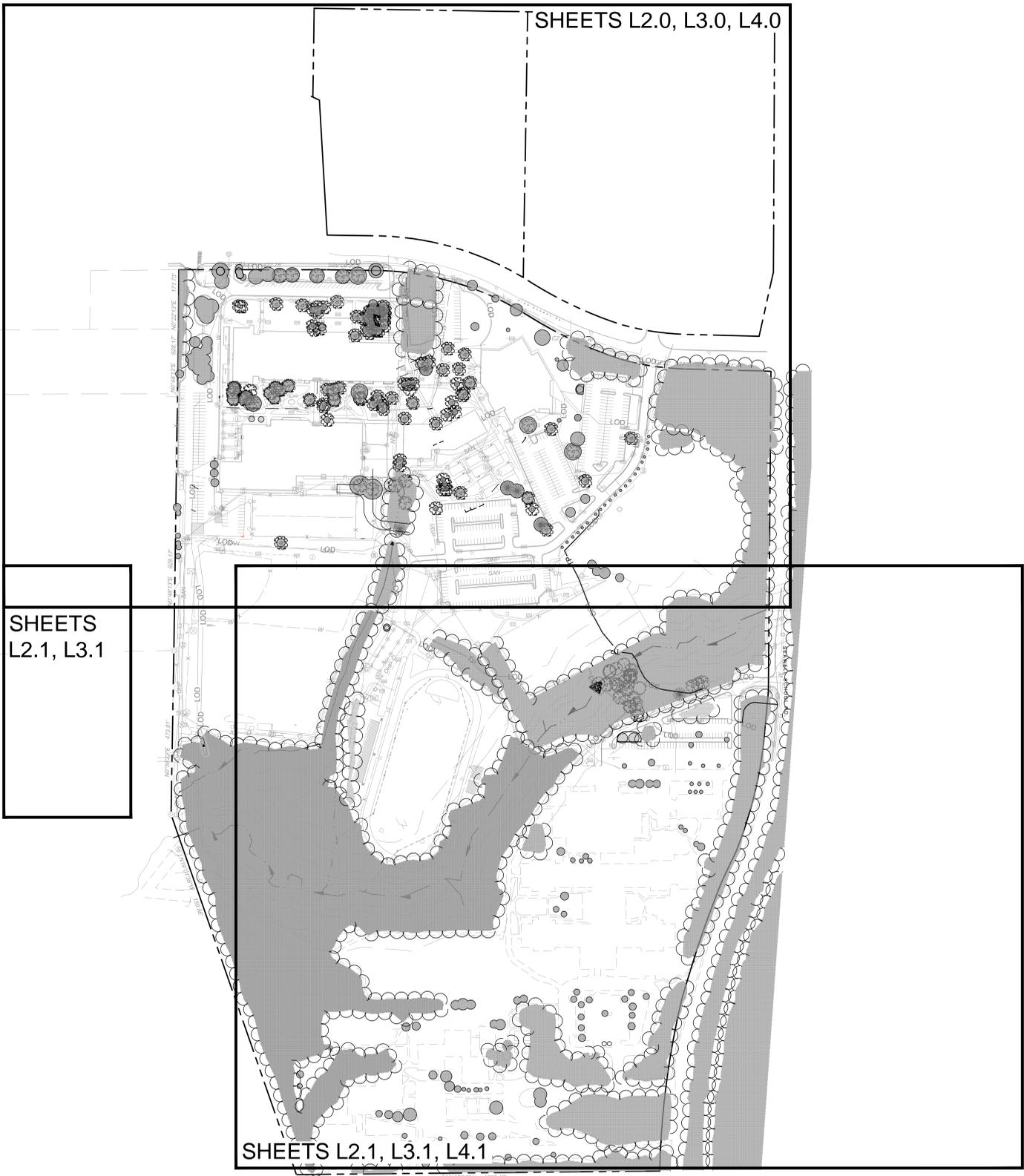
CONTRACTOR SHALL POST A CONSTRUCTION SIGN AT THE SITE THAT LISTS THE PROPERTY OWNER'S REPRESENTATIVE AND TELEPHONE NUMBER, THE CONTRACTOR'S REPRESENTATIVE AND TELEPHONE NUMBER, AND A TELEPHONE NUMBER FOR REGULATORY INFORMATION AT THE TIME OF ISSUANCE OF A BUILDING PERMIT. PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES, THE CONSTRUCTION SIGN MAY HAVE A MAXIMUM OF 32 SQUARE FEET OF DISPLAY AREA AND MAXIMUM HEIGHT OF 8 FEET. THE SIGN SHALL BE NON-ILLUMINATED, AND SHALL CONSIST OF LIGHT LETTERS ON A DARK BACKGROUND. A DETAIL OF THE SIGN SHALL BE REVIEWED AND APPROVED BY THE TOWN OF CHAPEL HILL.



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CONSTRUCTION MANAGEMENT PLAN



LANDSCAPE REQUIREMENTS: TREE CANOPY COVERAGE

TREE CANOPY MEASUREMENT:

TOTAL LOT SIZE: 96.54 AC (4,205,282 SF) - EASEMENTS: 1.12 AC (48,787 SF) =
GROSS LOT SIZE: 95.42 AC (4,156,495)

REQUIRED CANOPY COVERAGE:
 4,156,495 SF x 30% = 1,246,948 SF
TOTAL REQUIRED TREE COVERAGE= 1,246,948 (28.62 AC)

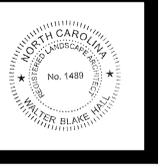
EXISTING CANOPY TO BE PROTECTED:
 TOTAL EXISTING CANOPY = 1,243,078 SF (28.53 AC)

CANOPY DEFICIT
 CANOPY COVERAGE REQUIRED (30%) 1,246,948 SF
 MINUS EXISTING CANOPY PROTECTED (29.90%) -1,243,078 SF
 CANOPY DEFICIT (.10 %) 3,870 SF

REPLACEMENT TREES
 1 TREE/ 500 SF x 3,870 SF = 7.74= 8
REQUIRED REPLACEMENT TREES= 8 TREES
PROVIDED REPLACEMENT TREES = 8 TREES

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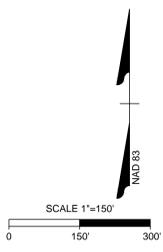
SHEETS
L2.1, L3.1

SHEETS L2.1, L3.1, L4.1

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OVERALL
LANDSCAPE
PLAN

L1.0