



**QUESTIONS?**  
 Call or email us!

<b>Chapel Hill Historic District</b>  <b>Certificate of Appropriateness Application</b>	<b>Project:</b> 417 WEST PATTERSON PLACE  <span style="color: red;">19-070</span>
<b>Project Description:</b> New Construction:  Constructing a 1.75 story house at the end of the gravel cul-de-sac at W. Patterson Place that blends into the heritage and character of the community.	<b>Permit:</b>  STAFF REVIEW
	<input checked="" type="checkbox"/> Application complete and accepted
	<input type="checkbox"/> Application not complete and returned with a notation of deficiencies
	<b>BY:</b> <span style="color: red;">Becky McDonnell</span> <b>DATE:</b> <span style="color: red;">6/11/2019</span>
<p><b>Instructions:</b> Submit one paper copy and a digital copy of all application materials collated in one file (pdf preferred)</p> <p><b>Deadlines:</b> Applications are due by the close of business 30 calendar days prior to the scheduled meeting date.</p> <p><b>Note:</b> Only complete applications may be accepted for Certificate of Appropriateness review. Applications that are not complete will be returned with a notation of deficiencies.</p>	

A: Property Information	
<b>Property Address:</b> 417 West Patterson Place	<b>Parcel ID Number:</b> 9788252240
<b>Property Owner(s):</b> James Kitchen	<b>Email:</b> <a href="mailto:Jim@jimkitchen.org">Jim@jimkitchen.org</a>
<b>Property Owner Address:</b> 109 New Castle Dr	
<b>City:</b> CHAPEL HILL	<b>State:</b> NC
<b>Zip:</b> 27517	<b>Phone:</b> 919-801-5230
<b>Historic District:</b> <input checked="" type="checkbox"/> Cameron-McCauley <input type="checkbox"/> Franklin-Rosemary <input type="checkbox"/> Gimghoul	<b>Zoning District:</b> R-3

B: Applicant Information	
<b>Applicant:</b> KEITH SHAW, AIA	<b>Role (owner, architect, other):</b> ARCHITECT
<b>Address (if different from above):</b> 180 PROVIDENCE RD. SUITE #8	
<b>City:</b> Chapel Hill	<b>State:</b> NC
<b>Zip:</b> 27514	<b>Ph:</b> 919-493-0528
<b>Email:</b> <a href="mailto:keith@shawdesign.us">keith@shawdesign.us</a>	



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**C. Application Type (check all boxes that apply)**

**Minor Work** Exterior works that do not involve any substantial alterations, and do not involve additions or removals that could impair the integrity of the property and/or the district as a whole. See [Design Guidelines](#) (p. 69) for a list of minor works.

**Historic District Commission Review** Includes all exterior changes to structures and features other than minor works

**Site-work only (walkways, fencing, walls, etc.)**       **After-the-fact application** (for unauthorized work already performed).

**Restoration or alteration**       **Demolition or moving of a site feature.**

**New construction or additions**       **Request for review of new application after previous denial**

**Sign**

**D. Basic information about size, scale, and lot placement.**

Provide measurements in feet and square feet where applicable. Where possible, please provide accurate measurements from a licensed surveyor, architect, engineer, etc. If exact measurements are not available, please provide estimated information. Current estimated information about lots and buildings can be found on the [Orange County Real Estate Data](#) website. Information about lot placement can be found on the [Chapel Hill](#) and [Orange County Interactive GIS](#) portals.

Zoning District:	Minimum setbacks			Maximum heights		Lot size	
<b>R-3</b>	Street	Interior	Solar	Primary	Secondary	<b>.35 ACRES</b> <b>15,350 SQ.FT.</b>	
Required by zoning	24	8	11	29	60		
Proposed	<b>27'-0"</b>	<b>8'-10"</b>	<b>11'-6"</b>	<b>27'-8"</b>	<b>38'-6"</b>		
	Existing	Change +/-	Total	Total Floor Area Ratio			
Floor Area (main structure)	0	<b>+1,240</b> (Main Level)	1,240	Existing	Proposed	ISA/NLA ratio	
Floor Area (all other)	0	<b>+ 124</b> (front porch)	124	926 (GRAVEL)	<b>1,364</b>	Existing	Proposed
Impervious Surface Area (ISA)	0	<b>+1,364</b>	1,395	926	<b>2,290</b>	.06	<b>.149</b>
New Land Disturbance (10FT PERIMETER)			<b>3,350</b>				



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**E: Applicable Design Guidelines**

The Town’s [Design Guidelines for the Chapel Hill Historic Districts](#) are integral to the application and review process. These guidelines supplement the required review criteria for Certificate of Appropriateness applications (provided in [Section 3.6.2\(e\)\(4\)](#) of the Land Use Management Ordinance) by providing detailed, practical considerations for how to make changes to properties while preserving the special character of their Historic District context. Please review the Design Guidelines and consider their applicability to your proposed project. (Attach additional sheets, as necessary.)

Section/Page	Topic	Brief description of the applicable aspect of your proposal
PG. 2	Intro / Intent	<p><i>“The majority of the houses in the district are bungalows and houses built in the nationally popular twentieth-century styles such as Colonial Revival, Craftsman, and Tudor Revival.”</i></p> <p>The proposed design is a Craftsman / Bungalow 1.75-story dwelling.</p>
PG.53	New Construction	<p><i>#1 “Site new buildings to be consistent with neighboring historic buildings in orientation to and setback from the street as well as in spacing between and distance from other buildings”</i></p> <p>417 dwelling’s front façade faces W Patterson as do most of the neighboring historic buildings. The average front (street) setback on the North side of W Patterson is 15.02ft and the South side is 27.64ft. Our dwelling sits 27ft back from the front (street) setback. This is consistent with the street average. It also complies to all required setbacks in zoning district R-3.</p>
“ “	“ “	<p><i>#2 “Design and site a new building so it does not compromise the overall historic character of the site, including its topography, significant site features and distinctive views.”</i></p> <p>The existing site is an empty lot that has never had development. Proposed 417 is positioned to the front of the lot to ensure minimal impact to the existing topography. The building will also help hide the Cogeneration Coal plant beyond, allowing the charm to stay within the street.</p>
“ “	“ “	<p><i>#3 “Design new buildings so that their size and scale do not visually overpower neighboring historic buildings”</i></p> <p><i>#5 “Design new buildings so that the proportions of their street façade is similar with those of neighboring historic buildings.’</i></p> <p>The neighborhood consists of (5) 1 stories, (3) 1.5 stories, (4) 1.75 stories and (1) 2 story dwellings. The floor ratio ranges from .13-.34. The heights of the buildings on the street range from: grade to porch eave: 9ft-14ft, grade to dormer eave: 17ft-22ft, and grade to ridge each: 15ft-29ft.</p> <p>Proposed 417 is a 1.75 story dwelling. The floor land ratio is .134. The heights are as follows: grade to porch eave:11’-6”, grade to dormer eave: 18’-10” and grade to ridge:27’-8”. This indicates the proposed dwelling falls within the averages of heights, land ratio, and number of floors.</p>



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Office of Planning and Sustainability

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<p>“ “</p>	<p>“ “</p>	<p><i>#4 “Design new buildings to be compatible in roof form, massing, and overall proportion with neighboring historic buildings.”</i></p> <p>46% of the houses consist of a main cross gable with dormer(s). Seven of 53% of the houses have their main roof structure start / connect directly to the front porch columns. The roof pitches throughout the neighborhood consist of approx. 5/12, 6/12 and 9/12.</p> <p>Proposed 417 has a cross gable roof that starts at a 9/12 pitch from the front porch columns. The rear changes to a 6/12 pitch, along with the (2) wing hip roofs. As far as heights; see comments in box above.</p>
<p>“ “</p>	<p>“ “</p>	<p><i>#6 “Design new buildings and their features to be compatible in scale, materials, proportions and details with neighboring historic buildings. Select exterior surfaces materials that are compatible with those of neighboring historic building in terms of module, composition, texture, pattern, color, and detail”</i></p> <p>Similar to most of the neighboring buildings, proposed 417 utilizes painted timber gable brackets, 3-over-1 double hung windows, lap siding, brick column bases with tapered craftsman columns, window trim with historic sills and header drip caps, water table trim with drip caps, exposed rafter tails, 3-tab asphalt shingles as well as wood decking boards on the front covered porch.</p>
<p>“ “</p>	<p>“ “</p>	<p><i>#7 “Design a new building so that the placement, shape, scale, size, materials, pattern and proportion of the window and door openings are compatible with the windows and doors of neighboring historic buildings”</i></p> <p>100% of the houses have double hung windows trimmed out with flat stock 1x with a historic sill and drip cap. 61% have gang windows (2-3) on the front façade. 60% of the houses with a central upper level dormer have triple window on the single dormer.</p> <p>Proposed 417 utilizes 3-over-1 double hung window trimmed out with 1x6 on the sides and head, a historic sill and drip cap mounding on the head. Doors will also be trimmed out the same. The central from dormer has a triple window. The front has a triple gang window staying consistent with the majority of the front facades. The sizes of the openings are designed to be proportionally consistent with the surrounding buildings.</p>
<p>PG. 19</p>	<p>Parking</p>	<p><i>#7 “In residential sections of the district, it is not appropriate to locate offstreet parking areas in locations that are visible from the street, where the paving will abut the principal building, or where the paved area will substantially alter the proportion of the site that is paved verses landscaped.”</i></p> <p>There is no planned parking in front of the proposed 417 dwelling. It is not allowed from the Historic District Guidelines as well as the OWASA easement. Parking has been planned and organized that meets the regulations and restrictions placed on the lot.</p>



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F. Checklist of Application Materials					
<i>Attach the required elements in the order indicated.</i>	ATTACHED? TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY TOWN STAFF		
	YES	N/A	YES	N/A	NO
<p><b>1. Written description of physical changes proposed.</b> Describe clearly and in detail the physical changes you are proposing to make. Identify the materials to be used (siding, windows, trim, roofing, pavements, decking, fencing, light fixtures, etc.), specify their dimensions, and provide names of manufacturers, model numbers, and specifications where applicable.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p><b>2. History, context, and character information.</b> Please include a summary of what information you have relied on to understand the relevant character and history of the district and subject property—and briefly summarize that information. At a minimum, include:</p> <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Current property information for the lot and all structures, including Building Sketches and Building Details, from <a href="#">Orange County Real Estate Data</a>.</li> <li><input checked="" type="checkbox"/> The entry of your property on the most recent inventory of historic resources in the relevant National Register for Historic Places filing, available via the NC State Historic Preservation Office website: for McCauley-Cameron see <a href="#">West Chapel Hill</a>, for Franklin-Rosemary see <a href="#">Chapel Hill Historic District</a>, for Gimghoul see <a href="#">Gimghoul</a>. (If yours is one of the few properties in McCauley-Cameron or Franklin-Rosemary that has not yet been inventoried, please indicate that.)</li> </ul>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p><b>3. Justification of appropriateness.</b> Attach an annotated statement explaining how the proposed change(s) meets the following standards of appropriateness that the Commission considers in making findings of fact indicating the extent to which the application is or is not congruous with the historic aspects of the historic district. If a standard is not applicable, type “not applicable”.</p> <ul style="list-style-type: none"> <li>A. The height of the building in relation to the average height of the nearest adjacent and opposite buildings.</li> <li>B. The setback and placement on lot of the building in relation to the average setback and placement of the nearest adjacent and opposite buildings.</li> <li>C. Exterior construction materials, including texture and pattern.</li> <li>D. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials.</li> <li>E. Roof shapes, forms, and materials.</li> <li>F. Proportion, shape, positioning and location, pattern, and size of any elements of fenestration.</li> <li>G. General form and proportions of buildings and structures.</li> <li>H. Appurtenant fixtures and other features such as lighting.</li> <li>I. Structural conditions and soundness.</li> </ul>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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J. Architectural scale.					
4. <b>Photographs</b> of existing conditions are required. Minimum image size 4" x 6" as printed or the digital equivalent. Maximum 2 images per page.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. <b>Site Plan Set</b> showing existing and proposed conditions. (Min. scale: 1 in. = 20 ft.)  <input checked="" type="checkbox"/> Site plans must show the relationships between, and dimensions of, existing and proposed buildings, additions, sidewalks, walls, fences, driveways, and/or other structures on the property, as well as property lines and applicable zoning setbacks.  <input checked="" type="checkbox"/> Include both written and drawn scales and show accurate measurements. You may also use a copy of a survey with surveyor's seal deleted. Revise the copy as needed to show existing conditions and your proposed work.  <input checked="" type="checkbox"/> Indicate the area of all structural footprints (existing and proposed) in square feet; also, indicate lot size in square feet.	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. <b>Elevation Drawings</b> showing existing structural facades and proposed changes. Drawings should be submitted as 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. All details should be reasonably legible. Photographs are okay for facades with no changes.  <input checked="" type="checkbox"/> Elevation drawings showing all proposed changes above current grade from front, back, and both sides.  <input checked="" type="checkbox"/> Include scale bar, written scale, and label major dimensions (including width of structures and heights from finished grade to fascia/eaves and heights to top of roofs).  <input checked="" type="checkbox"/> Label materials to be used (roofing, siding, windows, trim, light fixtures, etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. <b>Information about context</b> (required for all construction of new structures, proposed impervious surfaces greater than 1500 SF, additions greater than 150 SF, and/or proposed land disturbance greater than 5000 SF.) Detailed information about lots and structures can be found on the <a href="#">Orange County Real Estate Data</a> website; information about lot placement can be found on the <a href="#">Chapel Hill</a> and <a href="#">Orange County</a> GIS portals.  For each of the nearest adjacent and opposite properties, provide: <input type="checkbox"/> The height of each building (if an estimate, indicate that). <input type="checkbox"/> The setbacks and lots placement of each building (an image from the Town GIS database, including scale, is sufficient). <input type="checkbox"/> The size of each lot (net land area in square feet). <input type="checkbox"/> The size of all buildings on the nearest adjacent and opposite properties, including building footprint areas, Floor Areas (in square feet), and Floor Area Ratios. Provide current figures from <a href="#">Orange County Real Estate Data</a> ; indicate any corrections for accuracy you believe necessary and your basis for doing so.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. <b>Demolition/Relocation Information</b> (required only if demolition or relocation of a feature is proposed).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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<ul style="list-style-type: none"> <li><input type="checkbox"/> Provide a written description of architectural features, additions, remodeling, and any alterations to the structure(s). Make note of any outbuildings on the site plan of the property.</li> <li><input type="checkbox"/> Provide a history of the structure, giving the construction date and architect or carpenter, briefly noting any significant events, persons and/or families associated with the property. Provide current exterior photographs of the property (4" x 6" as printed or the digital equivalent). If information is unknown, please provide a summary of sources consulted.</li> <li><input type="checkbox"/> If an argument about structural soundness is being made, attach a signed and sealed report from a professional engineer.</li> <li><input type="checkbox"/> As necessary, attach a statement explaining how a delay in demolition would cause the property owner to suffer extreme hardship or be permanently deprived of all beneficial use or return from such property by virtue of the delay.</li> <li><input type="checkbox"/> Provide any records about the structure to be demolished.</li> </ul>					
<p><b>9.</b> Mailing notification fee per <a href="#">Planning &amp; Sustainability Fee Schedule</a>. For a list of addresses, please refer to the Town's <a href="#">Development Notification Tool</a>.</p>	☒		☐	☐	☐
<p><b>10.</b> Certificate of Appropriateness fee per <a href="#">Planning &amp; Sustainability Fee Schedule</a></p>	☒		☐	☐	☐



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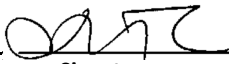
**G: Applicant signature**

I hereby certify that I am authorized to submit this application; that all information is correct to the best of my knowledge, and all work will comply with the State Building Code and all other applicable State and local laws, ordinances, and regulations.

I acknowledge and agree that the Historic District Commission members, Town employees, and Town agents may enter, solely in performance of their official duties and only at reasonable times, upon the applicant's property for examination or survey thereof pursuant to North Carolina General Statute 160A-400.8. However, no member, employee, or agent of the Historic District Commission may enter any private building or structure without the express consent of the owner or occupant thereof.

I understand and agree that an approved Certificate of Appropriateness is valid only for the particular application, plans, specifications and related project details presented to, and approved by, the Historic District Commission. If any of the data contained in this application, any plans or any specifications presented to the Commission are changed or altered for any reason, including, but not limited to, changes or alternations deemed practically necessary during construction, required due to subsequent Town reviews, or otherwise, a new hearing before the Historic District may be required. By signing below, the applicant agrees to notify the Development Services Center of any changes or alternations in the data contained in this application, the approved plans or the approved specifications related to the project that is the subject of this application.

Hearings on Certificate of Appropriateness applications before the Commission are quasi-judicial proceedings. Therefore, Historic District Commission members are not permitted to discuss a pending application with the applicant or other party. By signing below, the applicant agrees to refrain from speaking with or contacting any member of the Historic District Commission about an application outside of the formal evidentiary hearing on the application.

James Kitchen		06/06/2019
Applicant (printed name)	Signature	Date

JAMES KITCHEN

Property Owner	Signature	Date
(if different from above)		





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## Certificate of Appropriateness Supplemental Requirements

**\*In addition to [Residential](#) Zoning OR [Administrative](#) Zoning Compliance Permit Requirements**

Certificate of Appropriateness applications are subject to review and approval by the Historic District Commission as well as by Town staff. For assistance with this application, please contact the Chapel Hill Planning Department.

**Please submit *all* materials listed on this sheet.** The Historic District Commission meets on the second Tuesday of each month at 6:30 pm. For confirmation of a meeting date and the placement of your request on the agenda, please call the Planning Department. **Applications are due one month in advance of meeting.**

### Application Process:

1. Historic District Commission Review of Certificate of Appropriateness (COA) Supplemental materials
2. Staff review of Residential / Administrative Zoning Compliance Permit (ZCP) materials

\*\*COA (step 1) and ZCP (step 2) materials may be submitted simultaneously or separately.

### Required Application Materials

(In addition to [Residential](#) Zoning Compliance Permit or [Administrative](#) Zoning Compliance Permit Requirements)

**An Electronic copy of each document is required in addition to paper copies.**

**Provide a single set of the following materials:**

<b>X</b>	1. <b>Application Form. Either <a href="#">Residential</a> Zoning Compliance or <a href="#">Administrative</a> Zoning Compliance.</b>
<b>X</b>	2. <b>Recorded plat or deed verifying property's current ownership</b>
<b>X</b>	3. <b>Recorded plat of easements, right-of-way, and dedications, if applicable</b>
<b>X</b>	4. <b><a href="#">Mailing List of Property Owners</a>, applicable within 100 feet of property boundaries</b> The Town will prepare a formal notice to be mailed to surrounding property owners about the application. You may find it helpful to discuss the proposed changes with your neighbors in person so you can address their concerns both in your planning and presentation.
<b>X</b>	5. <b>Mailing notification fee. The fee per address can be found on the <a href="#">Planning Department's Fee Schedule</a>.</b>
<b>X</b>	6. <b>Certificate of Appropriateness fee per <a href="#">Planning Department's Fee Schedule</a></b>
	7. <b>Reduced Site Plan Set (reduced to 8.5" x 11")</b>
<b>X</b>	8. <b>Building Elevations</b> (label building height from top of roof to finished grade line)
<b>N/A</b>	9. <b>Floor Plan</b> , only if accessory apartment, duplex, or commercial application.

**(Continued)**



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x

**10. Written Description**

Describe all proposed changes to the property, list all materials to be used, and address the criteria (listed below) that the Commission uses to determine appropriateness. Presenting your proposal with these criteria in mind will provide a clear basis for the Commission's deliberations.

- a) The height of the building in relation to the average height of the nearest adjacent and opposite buildings;
- b) The setback and placement of the building on the lot in relation to the average setback and placement of the nearest adjacent and opposite buildings;
- c) The exterior construction materials, including textures and patterns;
- d) The architectural detailing such as lintels, cornices, brick bond, and foundation materials;
- e) The roof shape, form, and materials;
- f) The proportion, shape, location, pattern, and size of any elements of fenestration (windows, doors);
- g) The general form and proportion of the buildings;
- h) The accessory fixture and other features (including lighting fixtures, hardware, awnings, etc.);
- i) The architectural scale in relation to existing structures and surrounding buildings; and
- j) Structural conditions and soundness.

Provide photographs of existing property and elevation drawings of the proposed changes. Depict changes in as much detail as possible, paying special attention to those features which the Commission uses to determine appropriateness. This section of the application allows the Commission to see the current state of the property, to visualize the proposed changes, and to assess the impact. The visual description must include dimensions. For new buildings and major additions, the visual description must include the interior floor plan.

x

**11. Information Regarding Surrounding Properties**

For new construction or large projects, the applicant is required to provide information on:

- The height of the nearest adjacent and opposite buildings;
- The setback and placement of the nearest adjacent and opposite buildings;
- The scale of the nearest adjacent and opposite buildings, including percentage of lot coverage.

n/a

**12. Demolition Information (if applicable)**

Provide a description of architectural features, additions, remodeling, and any alterations to the structure(s). Make note of any outbuildings on the site plan of the property. Provide a history of the structure, giving the construction date and architect or carpenter, briefly noting any significant events, persons, and/or families associate with the property.



**417 WEST PATTERSON PLACE LOT #2  
CHAPEL HILL, NC 27516  
CERTIFICATE OF APPROPRIATENESS: NEW CONSTRUCTION**

DESCRIPTION OF PHYSICAL CHANGES PROPOSED:

**1. NEW CONSTRUCTION ON EMPTY LOT** – The owner is proposing a new craftsman / bungalow style dwelling on empty lot 417 W Patterson Place. The proposed side-gabled dwelling has a footprint that covers 8.8% of the lot and complies to all the required setbacks and regulations of zoning district R-3. The placement of the dwelling is important to ensure it stays consistent with the surround neighboring setbacks as well as stays above the extreme on-site grading drop off.

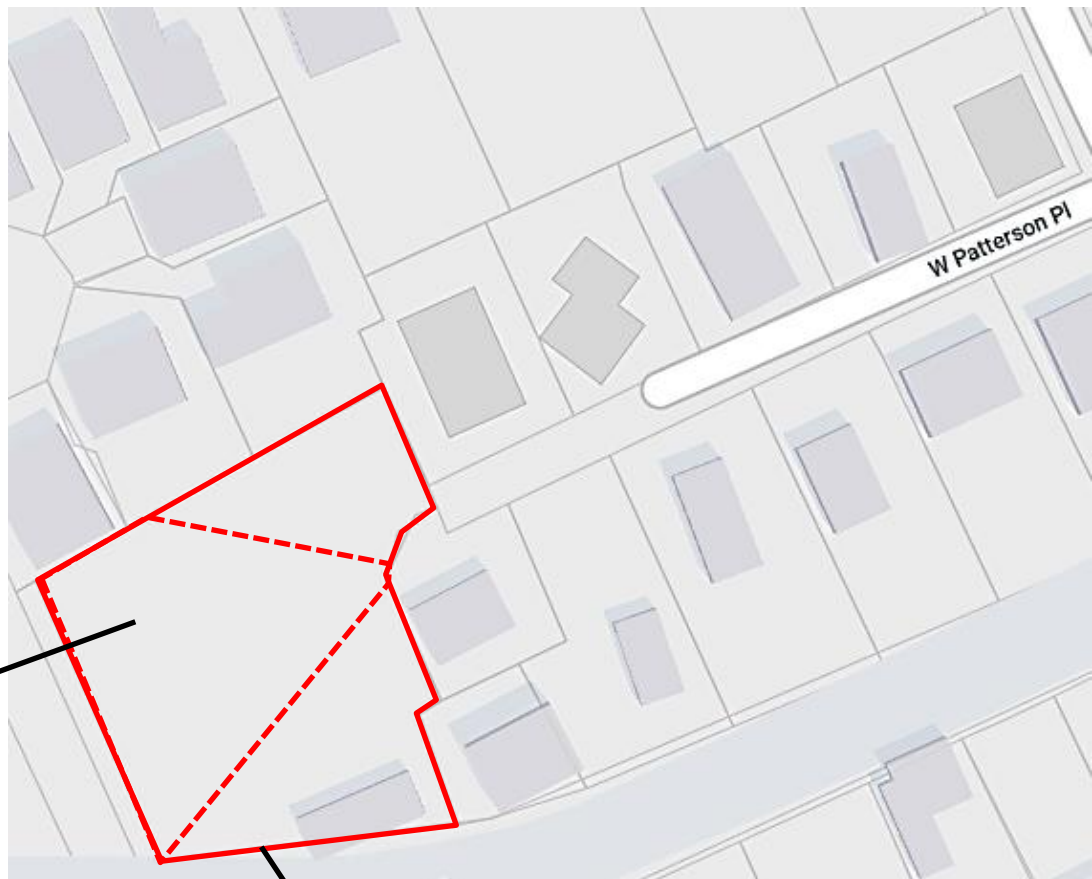
The design blends into the surrounding context by utilizing craftsman style elements such as simulated historical windows, doors, siding, roofing and the noticeable exterior detailing. The windows will be the energy-efficient version of the historical three-over-one SDL white doublehungs manufactured by Sierra Pacific. The front exterior door onto the front covered porch - to be a solid 4 panel door with flanking sidelights. The exterior door to the rear deck will be cottage style, with a two-over-one SDL pattern that aligns to the pattern of the surrounding windows. Siding will be JamesHardie hardieplank wood grain lap siding, which most closely matches the existing neighborhoods aesthetics / character. Roofing will be comparable to the Owens Corning Supreme estate gray 3-tab asphalt roofing shingles with exposed rafter tails across the front. The covered front porch has wood decking boards with beadboard ceiling finish. Exterior trim is constructed out of composite 1x6 for the corner boards, door and window surrounds. The doors and windows will have a traditional drip cap moulding on the head with historical window sills. The wrap around water table trim is a 1x8 composite trim band with traditional drip cap moulding.



## 417 WEST PATTERSON PLACE LOT #2 CHAPEL HILL, NC 27516 CERTIFICATE OF APPROPRIATENESS: NEW CONSTRUCTION

### HISTORY INFORMATION:

1. The original property, 415 W. Patterson Pl. (.71 acres) was subdivided into 3 parcels on September 21, 2018 and recorded in PB 119, pg. 52. This property, lot #2, consist of .35 acres of un-constructed virgin soils.



Subdivided 417  
(lot #2) shown  
with dashed red  
line

Original lot 415 shown  
with solid red line

United States Department of the Interior  
National Park ServiceNational Register of Historic Places  
Continuation SheetSection number 7 Page 22West Chapel Hill Historic District  
Orange County, NC

## South side 300 Block Patterson Place

87. 309 Patterson Place 1932-37  
One-story frame dwelling with side-gabled roof and interior chimney.  
87a. 1932-37 one-story front-gabled frame garage
88. 311 Patterson Place 1927 Dewitt Neville House  
One-story frame dwelling with front-gabled roof and porch. Craftsman style features include triangular knee braces, exposed roof rafter ends, paired three-over-one windows and bungalow porch supports.  
88a. post-1948 two-story concrete block garage NC-age
89. 313 Patterson Place 1932-1948  
Two-story brick-veneered house with side-gabled roof, interior chimney and symmetrical side wings.
90. 317 Patterson Place 1932-1948  
One-story cinder block house with interior chimney and symmetrical side wings.  
90a. 1932-40 one-story side-gabled two-car garage

## North side 400 block Patterson Place

91. 402 Patterson Place 1915-1925  
One-story bungalow with side-gabled roof, gabled dormer and engaged front porch.
92. 406 Patterson Place 1915-1925  
One-story bungalow with side-gabled roof and exterior end-chimney. The enclosed front porch greatly alters the appearance of front facade.  
92a. 1915-1925 one-story front-gabled frame garage
93. 408 Patterson Place 1932-1948  
One-story bungalow with front-gabled roof, interior chimney and shed-roofed porch.  
93a. 1932-1948 front-gabled frame garage
94. 410 Patterson Place 1932-1948  
One-story frame dwelling with hipped roof, interior chimney and engaged front porch.

United States Department of the Interior  
National Park ServiceNational Register of Historic Places  
Continuation SheetSection number 7 Page 23West Chapel Hill Historic District  
Orange County, NC

## South side 400 Block Patterson Place

95. 401 Patterson Place 1915-1925  
One-and-a-half-story frame bungalow with side-gabled roof, gabled dormers, exterior end-chimney and engaged front porch.
- 95a. 1915-1925 one-story front-gabled frame garage
96. 403 Patterson Place 1915-1925  
One-story bungalow with side-gabled roof, shed dormer, paired windows and shed porch.
97. 407 Patterson Place 1915-1925  
One-story frame bungalow with side-gabled roof, interior chimney and large gabled dormer.
- 97a. 1915-1925 one-story front-gabled frame garage
98. 409 Patterson Place 1915-1925  
One-story frame dwelling with hipped roof, oversized hipped dormer, interior chimney and engaged porch.
- 98a. 1915-1925 one-story front-gabled frame garage

## West side 300 Block Pittsboro Street

99. 302 Pittsboro St. c. 1913 Junius Webb House  
This large extensively remodeled Colonial Revival two-story four-square house with hipped roof, full dormers and wrapped porch, contains many later additions, but its original outlines remain visible. The house was built by Junius D. Webb, a Chapel Hill businessman who, with Herbert Lloyd, built the Webb-Lloyd commercial block ca. 1900 (home of the Carolina Coffee Shop) during the first reconstruction of the Franklin Street commercial section. Webb was responsible for moving the bits of the house of the first president of the University from its site at the intersection of Cameron Avenue and Columbia Street, making way for the present Swain Hall. The house now serves as a sorority house.
100. 308 Pittsboro St. 1925-1932  
Two-story frame house with one-story side wing. Colonial Revival style features include asymmetrical facade, paired, six-over-six sash windows, exterior end-chimney and porticoed, central entry.

United States Department of the Interior  
National Park ServiceNational Register of Historic Places  
Continuation SheetSection number 7 Page 24West Chapel Hill Historic District  
Orange County, NC

## West side 400 Block Pittsboro Street

101. 404 Pittsboro St. 1925-1932  
One-story frame dwelling with front-gabled roof. **Craftsman style** features include the exposed roof rafter ends and patterned tripartite windows. A frame garage is not original, but echoes the lines and details of the house.
102. 408 Pittsboro St. 1915-1925  
Two-story frame house with **side-gabled roof**, gabled dormers, exterior end-chimney and symmetrical facade.
- 102a. post 1948 one-story frame shed NC-age
103. 410 Pittsboro St. 1925-1932  
**Two-story**, brick-veneered house with **side-gabled roof**, **front-facing cross-gable**, asymmetrical facade and **grouped windows**.
104. 414 Pittsboro St. 1925-1932  
Altered, one-story house with shingled exterior. The **Craftsman style is suggested by the cross-gabled roof, exposed roof rafter ends, and grouped windows**.
- 104a. post-1948 side-gabled frame shed NC-age
105. 416 Pittsboro St. pre 1932  
One-story frame house with side-gabled roof and front-facing cross-gable. Original front porch has been closed in.

## West side 500 Block Pittsboro Street

106. 500 Pittsboro St. pre 1932  
**Two-story frame house** with board and batten siding on second story and weatherboards below. The facade is dominated by two front-facing gables. The house has been heavily altered, especially on the interior.
107. 504 Pittsboro St. c. 1935  
**Two-story** frame Colonial Revival with exterior chimney on front facade, and shed roof wing on side.
108. 508 Pittsboro St. c. 1935  
One-story, triple-A frame Colonial Revival with gabled side wing.

United States Department of the Interior  
National Park ServiceNational Register of Historic Places  
Continuation SheetSection number 7 Page 25West Chapel Hill Historic District  
Orange County, NC

## East side 200 Block Ransom Street

109. 219 Ransom St. 1925-1932  
Two-story brick-veneered house with hipped roof, gabled dormer and grouped windows on facade.

## West side 200 Block Ransom Street

110. 210 Ransom St. 1915-1925  
One-story frame dwelling with side-gabled roof, grouped windows and recessed entry. Craftsman style influences include triangular knee braces in gable end, three-over-one sash windows, and tapered porch supports.
111. 216 Ransom St. 1932-1948  
One-story, one-room plan dwelling with side-gabled roof.
- 111a. post-1948 one-story frame storage shed NC-age

## East side 300 Block Ransom Street

112. 307 Ransom St. 1932-1948  
Two-story frame and brick-veneered house with side-gabled roof and steel casement windows.
113. 309 Ransom St. 1925-1932  
One-story bungalow with side-gabled roof, oversized shed dormer and shed-roofed front porch.
- 113a. 1950 one-story side-gabled frame secondary house NC-age

## West side 300 Block Ransom Street

114. 302 Ransom St. post 1960 NC-age  
Two-story brick apartment building.
115. 306 Ransom St. 1925-1932  
One-story frame Colonial Revival-style dwelling with side-gabled roof, interior chimney and symmetrical facade. The lot is bounded by a picket fence.
116. 308 1/2 Ransom St. 1932-1948  
One-story frame house of minimal traditional-style with side-gabled roof, front-facing cross-gable and exterior end-chimney.





**417 WEST PATTERSON PLACE LOT #2  
CHAPEL HILL, NC 27516  
CERTIFICATE OF APPROPRIATENESS: NEW CONSTRUCTION**

JUSTIFICATION OF APPROPRIATENESS:

**A. Height of building:**

*"Design new buildings so that their size and scale do not visually overpower neighboring historic buildings" – (Design Guidelines pg. 53 # 3)*

*"Design new buildings so that the proportion of their street façade is similar with those of neighboring historic buildings" – (Design Guidelines pg. 53 # 5)*

Measurements were recorded from the street facing elevation:

417- To Front Porch eave: 11'-6"-- Upper dormer eave: 18'-10" -- Ridge: 27'-8"

Neighboring dwelling heights as follows:

413 – Street facing eave: 16'-10" -- Ridge: 23'-8"

409 – Front Porch eave: 14'-0" – Upper dormer eave: 18'-2"

401 – Front Porch eave: 10'-8" – Upper dormer eave: 21'-6" – Ridge: 27'-10"

**B. Setback and placement on lot:**

*"Site new buildings to be consistent with neighboring historic buildings in orientation to and setback from the street as well as in spacing between and distance from other buildings" - (Design Guidelines pg. 52 # 1)*

The proposed dwelling complies to all required setbacks to zoning district R-3.

The North side of W Patterson Place has an average setback of 15.02ft from street property line. The South side of W Patterson Place has an average setback of 27.64 ft from street property line.

The street setback proposed for Lot 417 is 27ft, which is consistent to the neighboring building setbacks of the south side of W Patterson Place.

**C. Exterior construction materials:** The proposed dwelling will match (in kind) to the existing surrounding historical roofs, windows, doors, siding, and roofing in terms of physical appearance.

Element	Material used	Neighbors with alike materials
Roofing	3-tab asphalt shingle GAF	210,401,402,403,406,408,413,415
Windows	3/1 SDL doublehung Sierra Pacific	210, 402, 408





Siding	Lap Siding wood grain James Hardie	Lap Siding:401,403,408,409,410
Wood Brackets	Painted wood brackets in gable	210,402,403,406,407,408
Brick Columns	Brick base columns with craftsman column on Front Porch	All but 411,413,415
Rafter tails	Exposed wood rafter tails on front	407, 408

**D. Architectural detailing:** To uphold the craftsman / bungalow style inspired exterior, key architectural details include: three-over-one windows with a historical sill and 5 ½” trim surround with a traditional drip cap. Doors have 5 ½” trim surround with a traditional drip cap. Corner boards to be 6”. Water table to be 7 ¼” with traditional drip cap. Large overhangs supported by painted wood brackets. Front porch to have exposed rafter tails. Front elevation exposed foundation to have brick veneer as the sides and rear will have painted exposed foundation, like adjacent property 413.

**E. Roof shapes, forms, and materials:**

*“Design new buildings to be compatible in roof form, massing, and overall proportion with the neighboring historic buildings”  
 (Design Guidelines pg. 52 #4)*

Staying relevant to the surrounding context, the main roofline runs perpendicular to the street (side-gabled) with a shed dormer centered on the upper level. The front facing roof starts on the covered porch columns at a 9/12 pitch as the rear face and wings of the dwelling are all 6/12 pitch. Supporting the large overhangs with painted wood brackets, captures the craftsman style. All finished roofing will be 3-tab asphalt shingles. Properties that have the same roof configuration and dormer are address numbers: 402,403,407 and 401 (this has two dormers)

**F. Elements of fenestration:**

*“Design a new building so that the placement, shape, scale, size, materials, pattern and proportion of the window and door openings are compatible with the windows and doors of neighboring historic buildings”  
 - (Design Guidelines pg. 53 # 7)*

The windows that are being proposed, are to be a mixture of three-over-one and two-over-one SDL’s (determined by proportions – see attached elevations). The windows will be energy-efficient versions of the historical three-over-one doublehangs. Window sizes were selected to comply to today’s safety codes while remain comparable in scale and proportion to the surrounding dwellings.



The exterior doors; front door to be a solid 4 panel door with flanking sidelites and the rear glass exterior doors to be cottage style two-over-one (allows the doors to aesthetically compliment the flanking windows).

**G. Form and proportions of buildings and structures:** Keeping the overall design simple, the proposed front elevation is aesthetically symmetrical and visually balanced across the center line of the dwelling.

*“Design new buildings that are compatible with but subtly discernible from historic buildings in the districts.”*

*- (Design Guidelines pg. 53 # 8)*

The design begins with a simple “box” with a focus to the Main Level in the front with the engaging front covered porch. The second floor is only represented by the centered shed dormer. The historic aesthetic of the neighborhood focuses at the entry and front porch as the second floor is visually pushed towards the rear of the property.

*“...it is important to limit any excavation, regrading, or ground disturbance and to protect significant site features, so they are not damaged or destroyed.”*

*- (Design Guidelines pg. 54)*

Land disturbance and grading will be minimal and kept to the front of the lot to maintain the existing topography as it drops off significantly to the rear.

**H. Appurtenant fixtures and features:** There is an existing Gazebo at the lowest portion of the lot that will remain as is and will not be harmed during the construction of the new dwelling.

*“It is not appropriate to introduce period lighting fixtures in an attempt to create a false historical appearance” – (Design Guidelines pg. 23)*

The front entry light fixture will be surface-mounted in the beadboard ceiling. The fixture will be subtle, so it will not stand out and compete with the engaging front porch, like the surrounding dwellings.



**417 WEST PATTERSON PLACE LOT #2  
CHAPEL HILL, NC 27516  
CERTIFICATE OF APPROPRIATENESS: NEW CONSTRUCTION**

EXISTING CONDITON PHOTOS:



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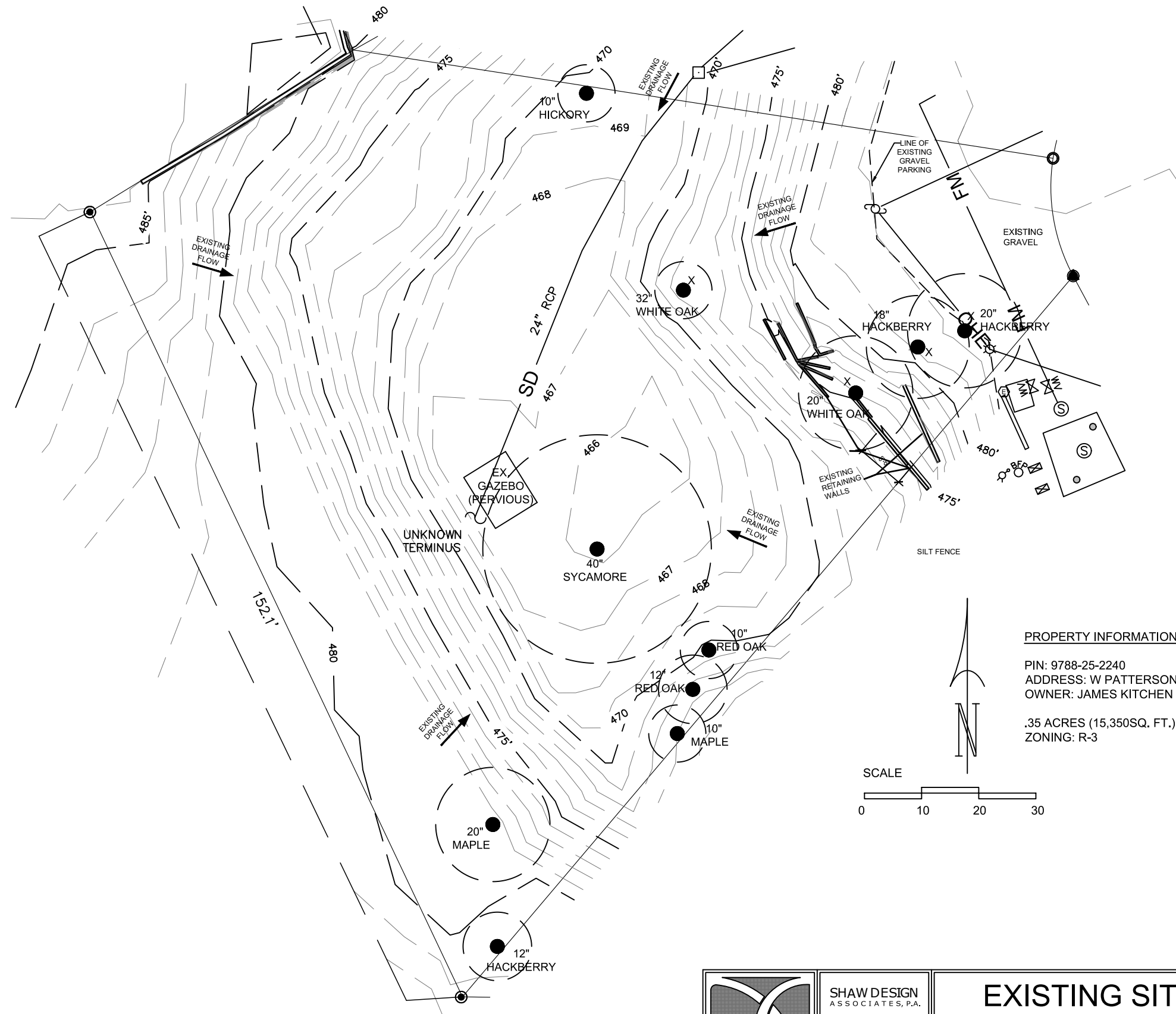
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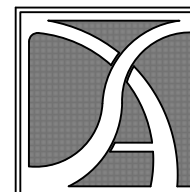
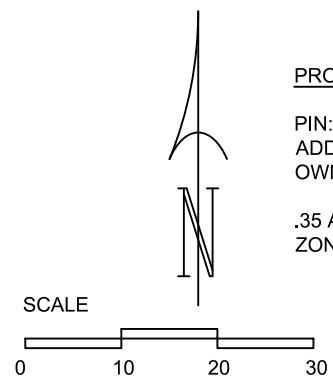
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**PROPERTY INFORMATION:**

PIN: 9788-25-2240  
 ADDRESS: W PATTERSON PL. LOT # 2  
 OWNER: JAMES KITCHEN  
 .35 ACRES (15,350SQ. FT.)  
 ZONING: R-3

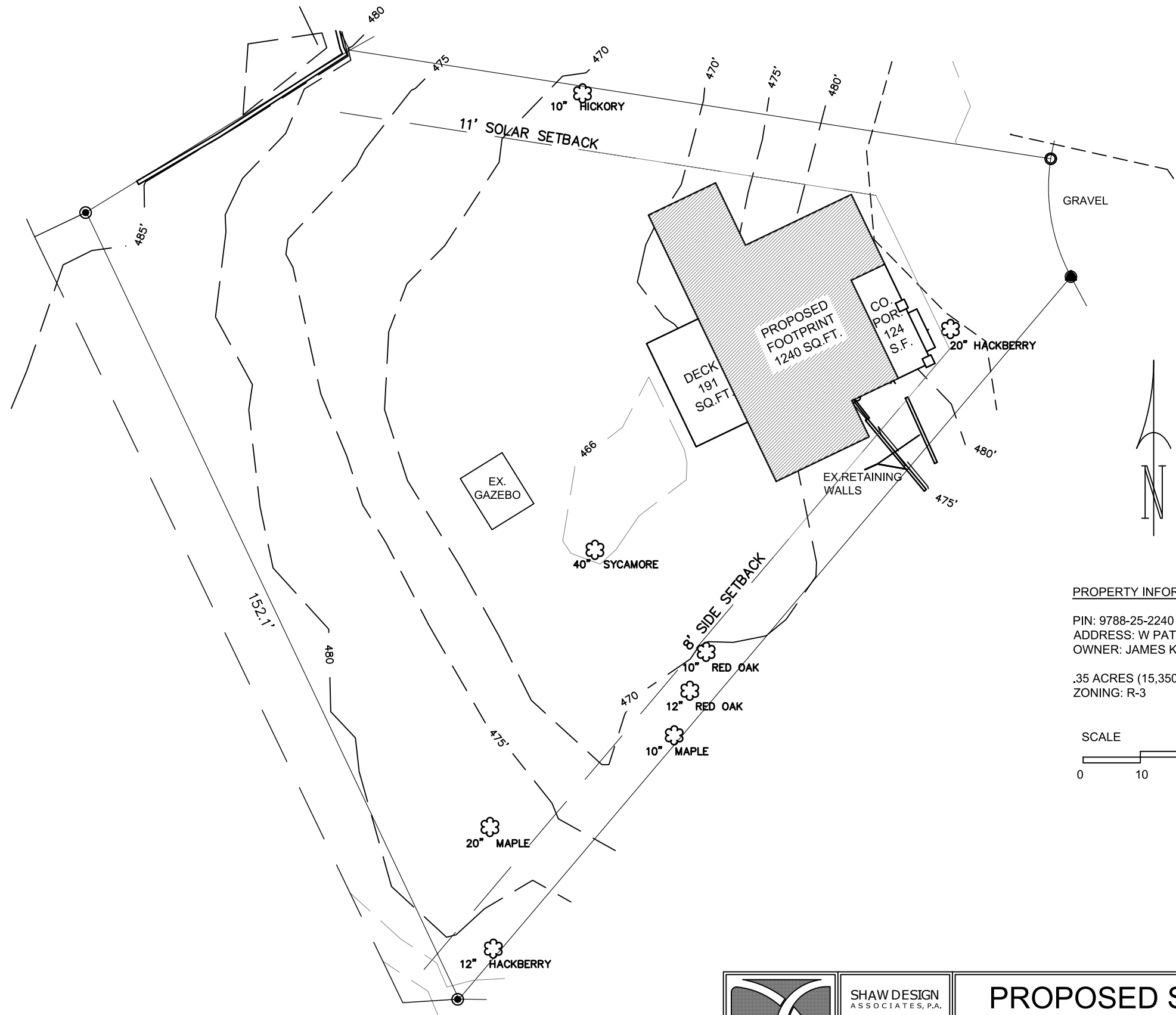


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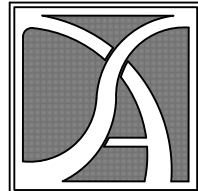
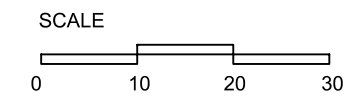
**EXISTING SITE PLAN**  
 417 W PATTERSON PL LOT #2  
 CHAPEL HILL, NORTH CAROLINA 27516

DATE	6/3/2019
DRAWN	MAA
FILE #	1842
SCALE	AS SHOWN

**C101**



**PROPERTY INFORMATION:**  
 PIN: 9788-25-2240  
 ADDRESS: W PATTERSON PL. LOT # 2  
 OWNER: JAMES KITCHEN  
 .35 ACRES (15,350SQ. FT.)  
 ZONING: R-3



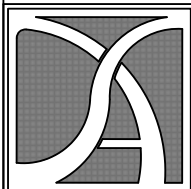
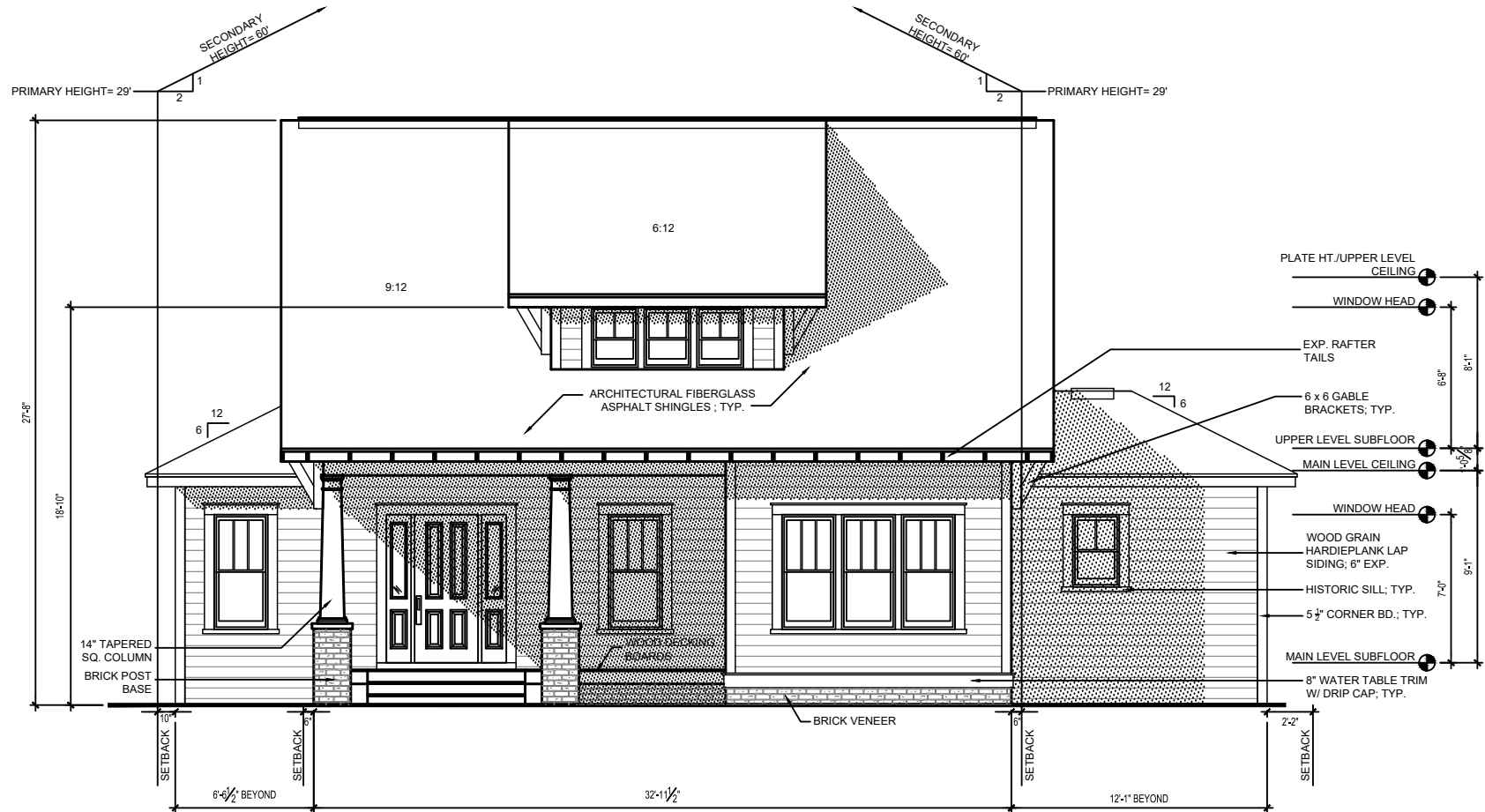
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**PROPOSED SITE PLAN**  
 417 W PATTERSON PL LOT #2  
 CHAPEL HILL, NORTH CAROLINA 27516

DATE	6/3/2019
DRAWN	MAA
FILE #	1842
SCALE	AS SHOWN

**C101**



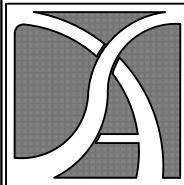
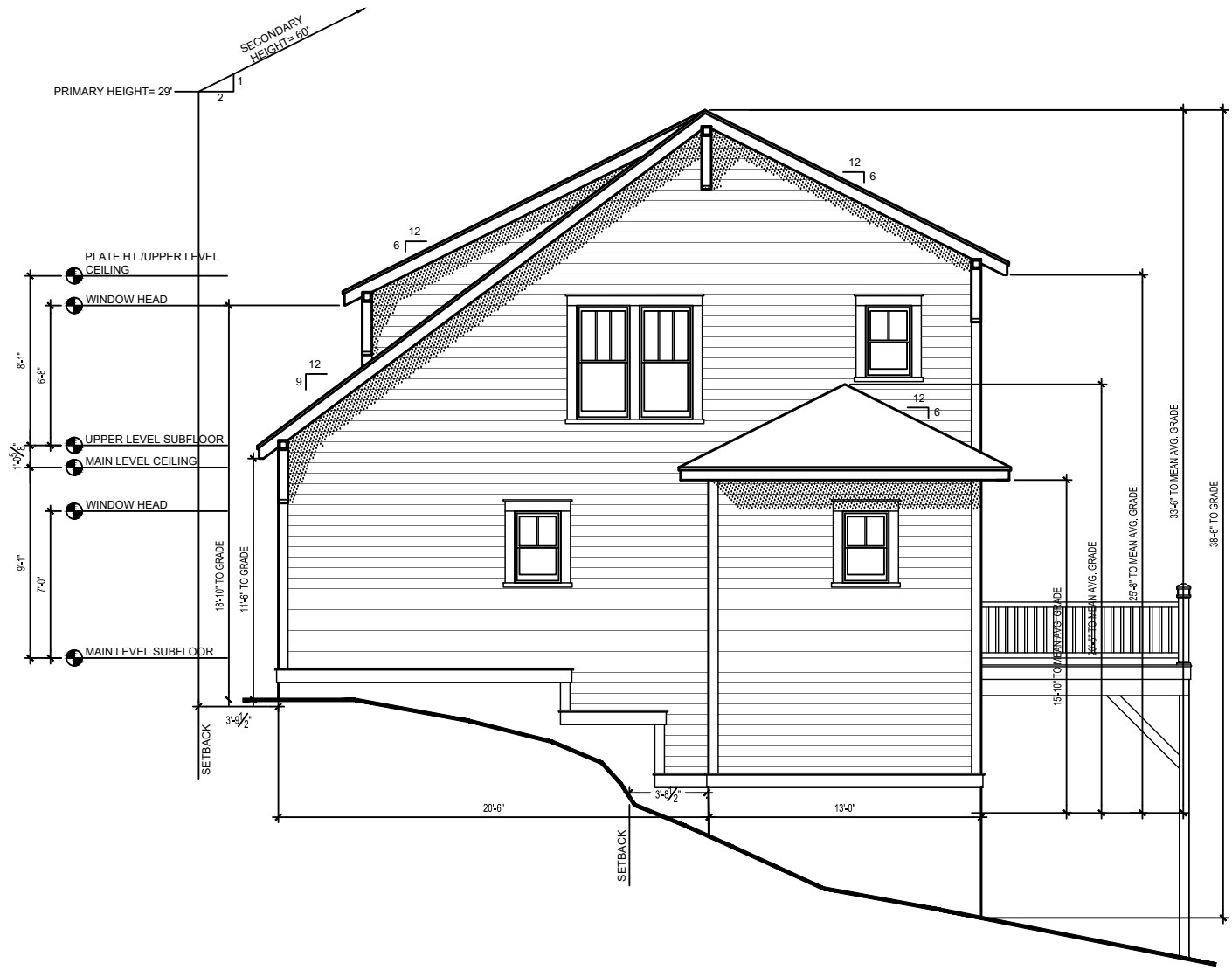


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**FRONT (EAST) ELEVATION**  
 417 W PATTERSON PL (LOT #2)  
 CHAPEL HILL, NORTH CAROLINA 27516

DATE 6/3/2019  
 DRAWN M, ALBRECHT  
 FILE # 1842  
 SCALE 1/8" = 1'-0"

A201

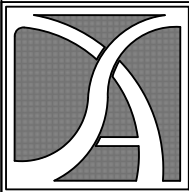


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**RIGHT (NORTH) ELEVATION**  
 417 W PATTERSON PL (LOT #2)  
 CHAPEL HILL, NORTH CAROLINA 27516

DATE	6/3/2019
DRAWN	M, ALBRECHT
FILE #	1842
SCALE	1/8" = 1'-0"

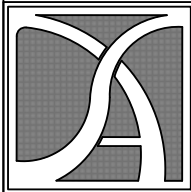
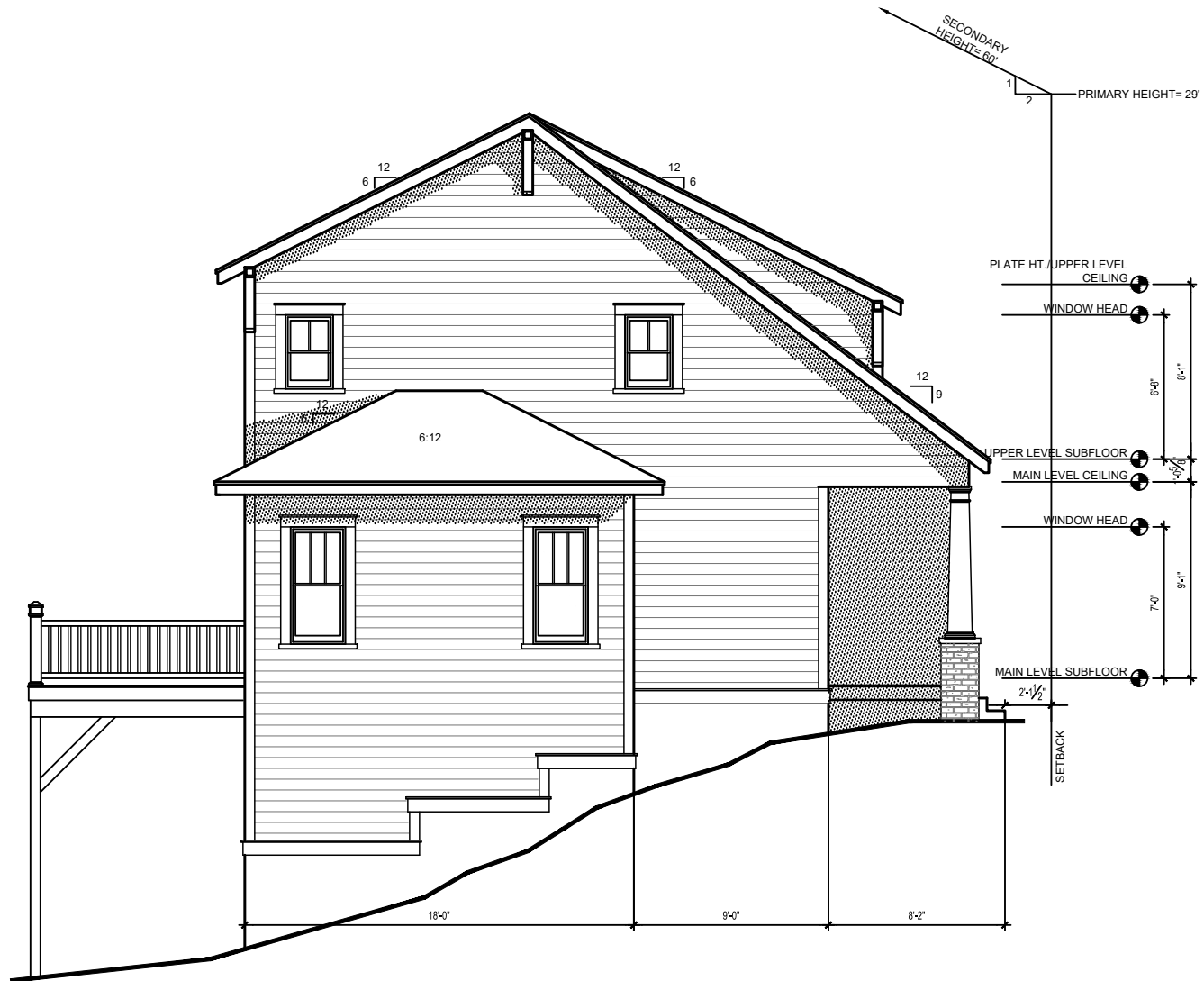
**A202**



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**REAR (WEST) ELEVATION**  
 417 W PATTERSON PL (LOT #2)  
 CHAPEL HILL, NORTH CAROLINA 27516

DATE	6/3/2019
DRAWN	M, ALBRECHT
FILE #	1842
SCALE	1/8" = 1'-0"
<b>A203</b>	



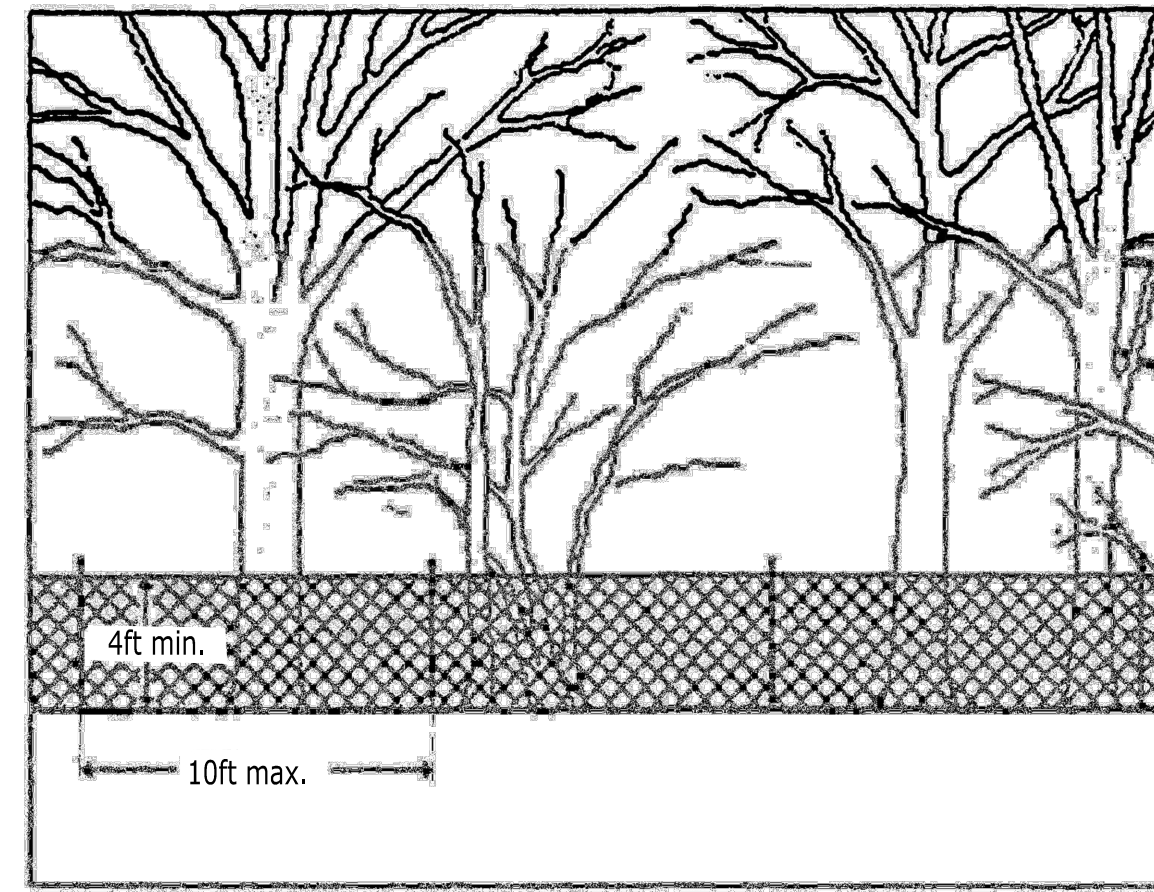
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**SIDE (SOUTH) ELEVATION**  
 417 W PATTERSON PL (LOT #2)  
 CHAPEL HILL, NORTH CAROLINA 27516

DATE	6/3/2019
DRAWN	M, ALBRECHT
FILE #	1842
SCALE	1/8" = 1'-0"

**A204**

**TREE PROTECTION FENCING -  
TYPICAL**



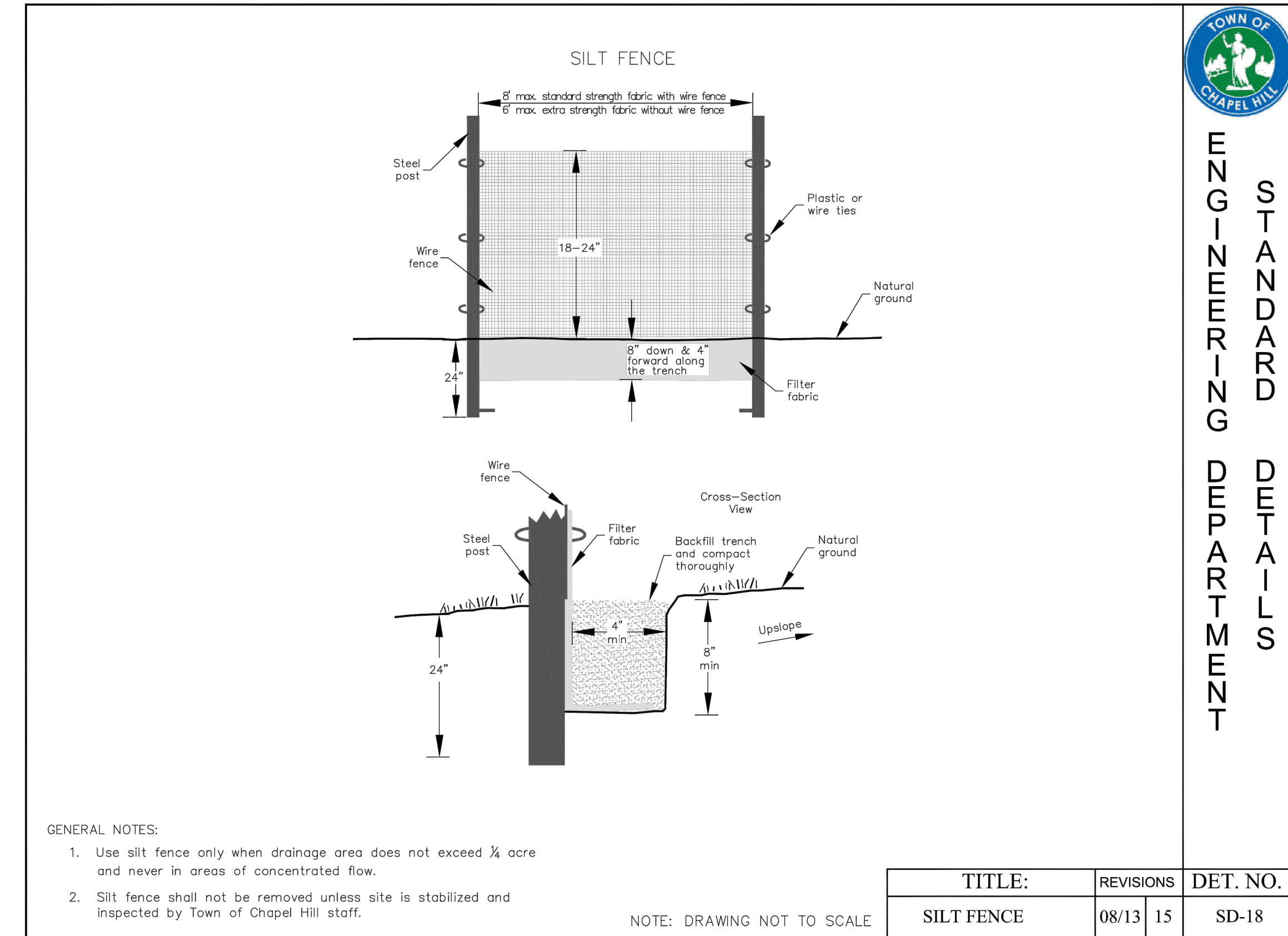
A pre-construction conference shall be held with the project manager and the Town's Landscape Architect before any site work begins.

Any tree roots exposed by construction shall be severed cleanly with a pruning tool.

The soil within the protected area around existing trees shall not be driven upon after fence removal for the purpose of installing landscaping.

3-C103 STANDARD TREE PROTECTION DETAIL

N.T.S.



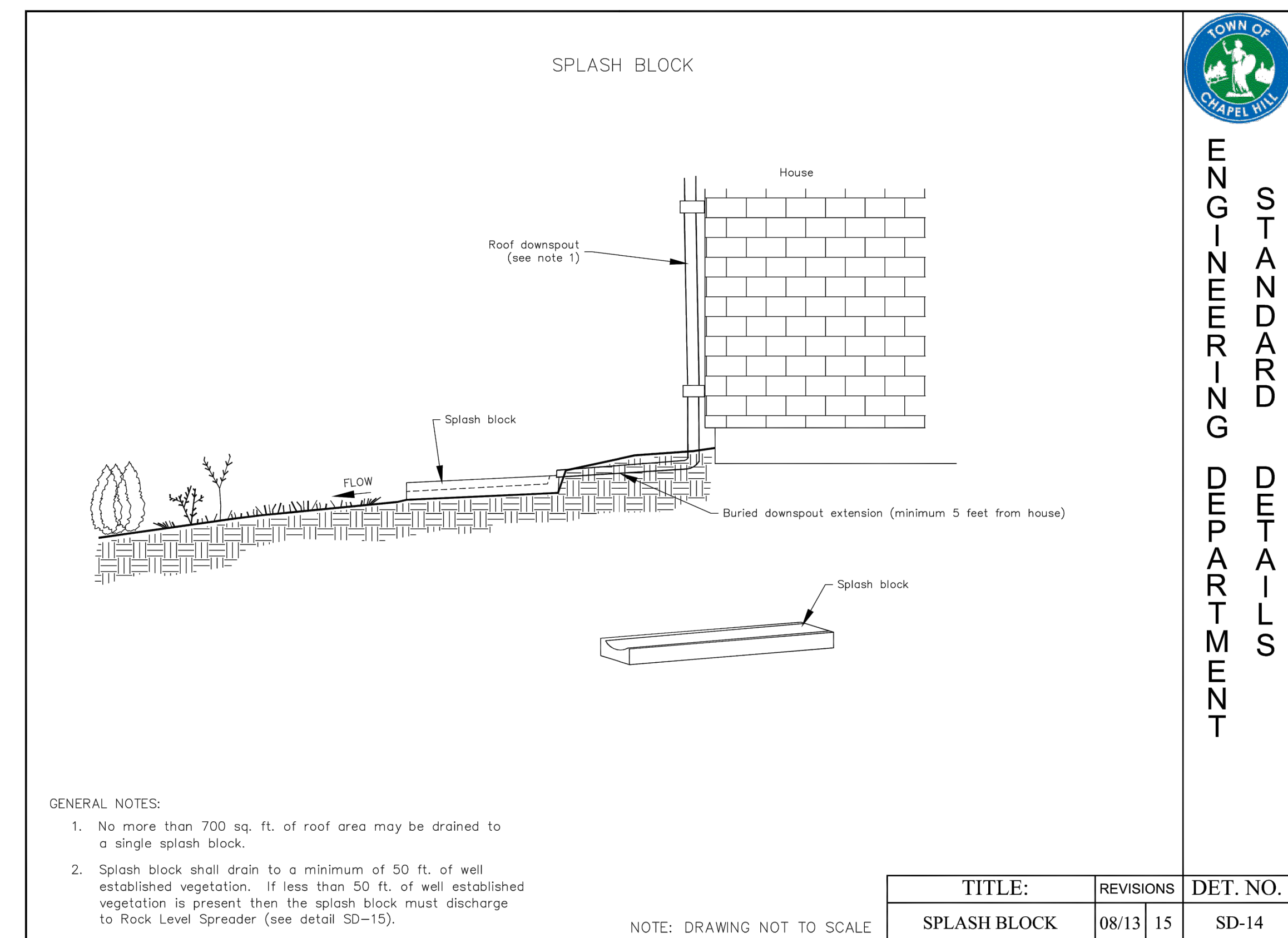
- GENERAL NOTES:
1. Use silt fence only when drainage area does not exceed 1/4 acre and never in areas of concentrated flow.
  2. Silt fence shall not be removed unless site is stabilized and inspected by Town of Chapel Hill staff.

NOTE: DRAWING NOT TO SCALE

TITLE:	REVISIONS	DET. NO.
SILT FENCE	08/13 15	SD-18

1-C103 STANDARD SILT FENCE DETAIL

N.T.S.



- GENERAL NOTES:
1. No more than 700 sq. ft. of roof area may be drained to a single splash block.
  2. Splash block shall drain to a minimum of 50 ft. of well established vegetation. If less than 50 ft. of well established vegetation is present then the splash block must discharge to Rock Level Spreader (see detail SD-15).

NOTE: DRAWING NOT TO SCALE

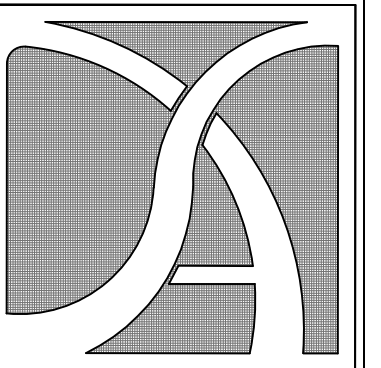
TITLE:	REVISIONS	DET. NO.
SPLASH BLOCK	08/13 15	SD-14

2-C103 STANDARD SPLASH BLOCK DETAIL

N.T.S.



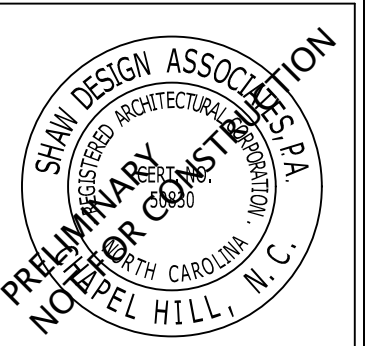
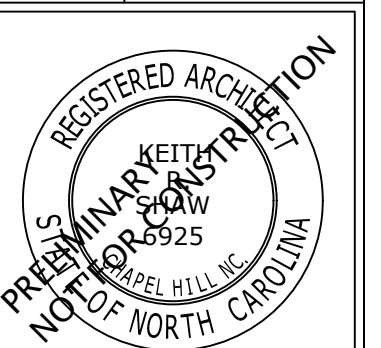
TOWN OF  
CHAPEL HILL  
ENGINEERING  
DEPARTMENT  
STANDARD  
DETAILS



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STANDARD DRAINAGE DETAILS  
KITCHEN - PATTERSON PLACE LOT 2  
417 PATTERSON PLACE  
CHAPEL HILL, NC 27514



REVISIONS

DATE	6/3/2019
DRAWN	-
FILE #	1842

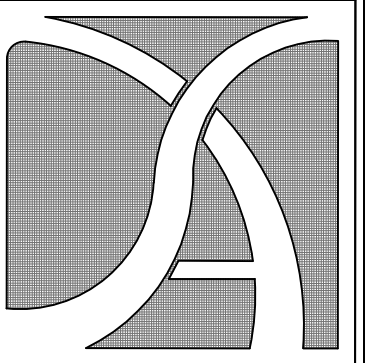
**C103**  
SHEET - OF -

**ZONING: R-3 REQUIREMENTS**

SETBACKS  
FRONT: 24'  
INTERIOR: 8'  
SOLAR: 11'

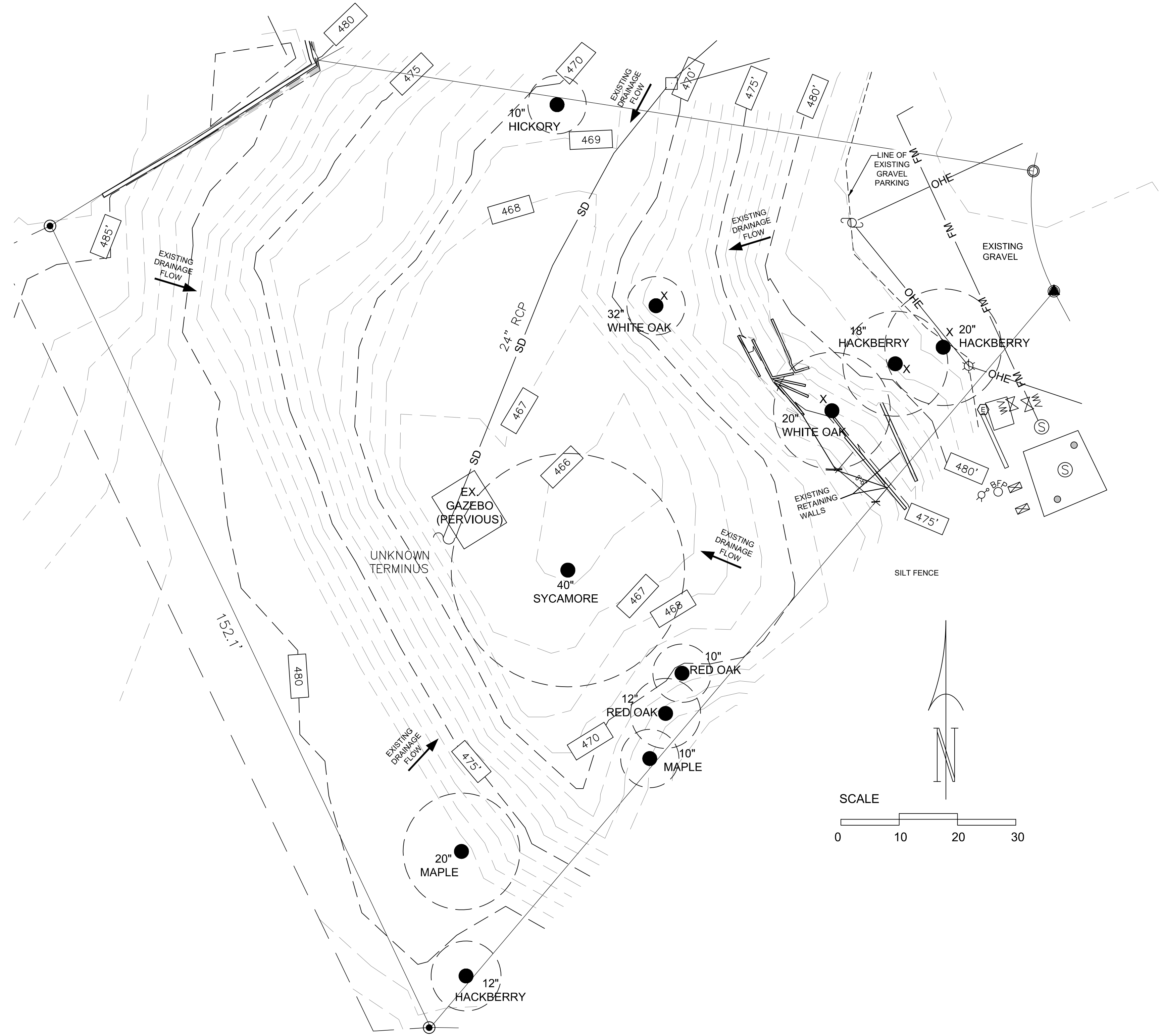
**PROPERTY INFORMATION:**

PIN: 9788-25-2240  
ADDRESS: 417 W PATTERSON PL.  
OWNER: JAMES KITCHEN  
  
.35 ACRES (15,350SQ. FT.)  
ZONING: R-3  
RCD: NO

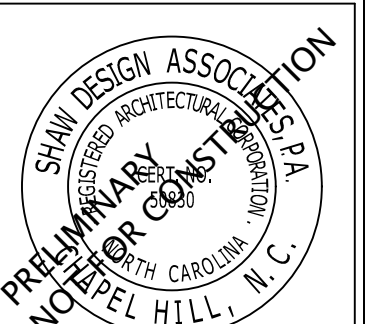


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**EXISTING SITE PLAN**  
**KITCHEN - PATTERSON PLACE LOT 2**  
417 PATTERSON PLACE  
CHAPEL HILL, NC 27514



REVISIONS	
DATE	6/3/2019
DRAWN	-
FILE #	1842

1-C101 EXISTING SITE PLAN  
SCALE: AS SHWON

**C101**  
SHEET - OF -

**PROPERTY INFORMATION:**

PIN: 9788-25-2240  
 ADDRESS: W PATTERSON PL. LOT # 2  
 OWNER: JAMES KITCHEN  
 .35 ACRES (15,350SQ. FT.)  
 ZONING: R-3  
 RCD: NO

**PROPOSED AREA OF DISTURBANCE:**

\*APPROX. 3,350 SF  
 \*EVERY EFFORT TO MINIMIZE AREA OF DISTURBANCE WILL BE MADE

**PROPOSED IMPERVIOUS AREA:**

+ 926 SF EXISTING GRAVEL PARKING  
 + 1,240 SF PRINCIPLE BUILDING FOOTPRINT  
 + 124 SF FRONT PORCH FOOTPRINT  
 + 2,290 SF TOTAL IMPERVIOUS AREA

**ISA / NLA RATIO:**

\* EXISTING ISA: 926 SF (GRAVEL PARKING)  
 \* PROPOSED ISA: (926SF + 1,364SF) = 2,290SF  
 \* PROPOSED ISA / NLA RATIO: 14.9%

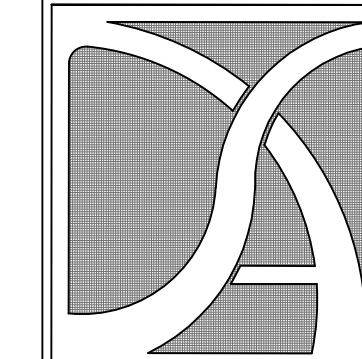
**CONSTRUCTION NOTES:**

\* DUMPSTER, STAGING AREA AND THEIR TRAVEL/ACCESS POINTS LOCATED ON EXISTING GRAVEL PARKING SURFACE.  
 \* CONSTRUCTION ENTRANCE LOCATED ON EXISTING SHARED GRAVEL DRIVE  
 \* ADJACENT LOTS ARE OWNED BY SAME APPLICANT (JAMES KITCHEN). LOT 3 (NORTH) HAS ALSO BEEN SUBMITTED FOR APPROVALS. THEREFORE, LOCATION OF STAGING AND DUMPSTER CAN BE SHARED BETWEEN THE TWO PROJECTS.

**DRAINAGE INFORMATION:**

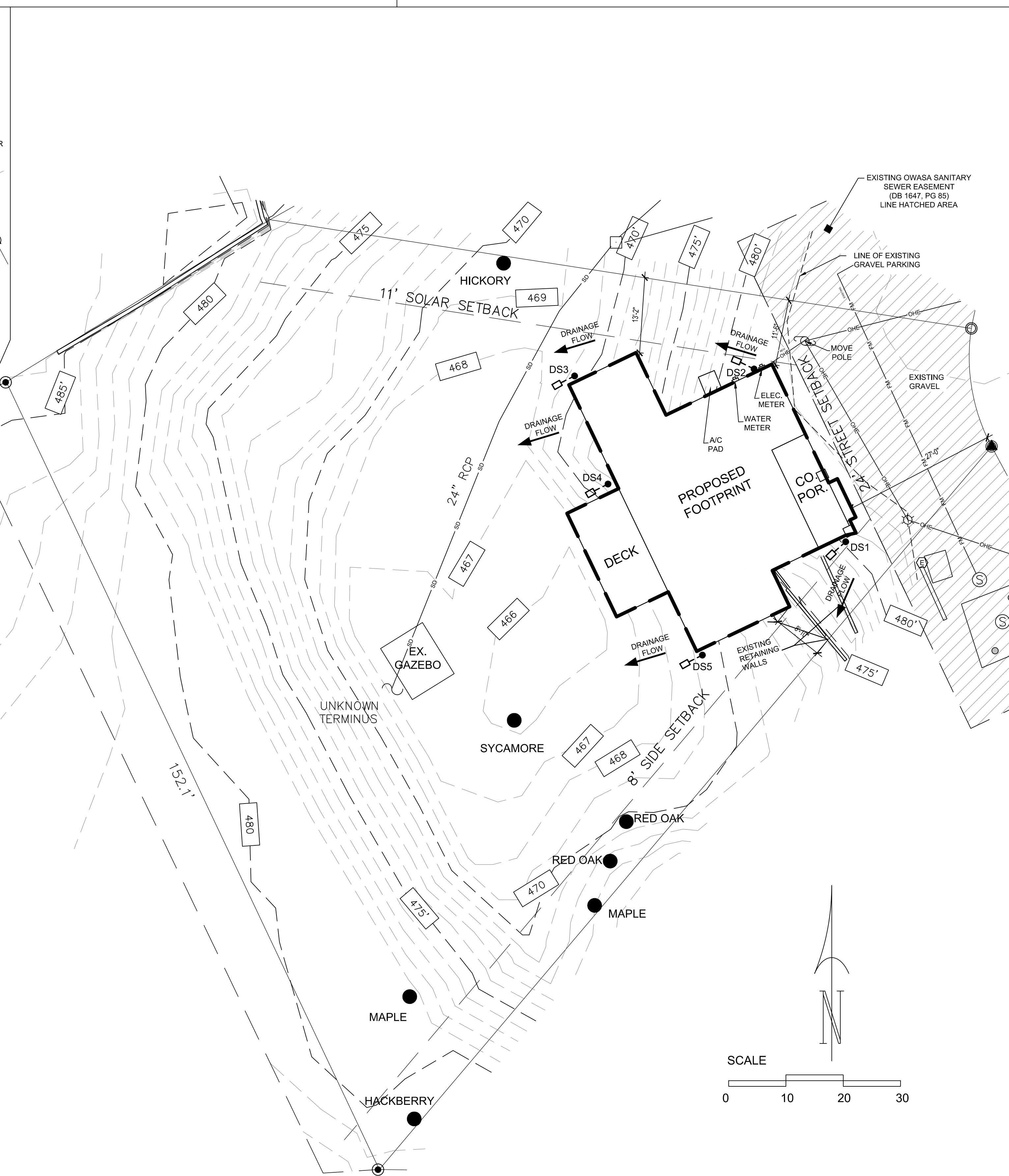
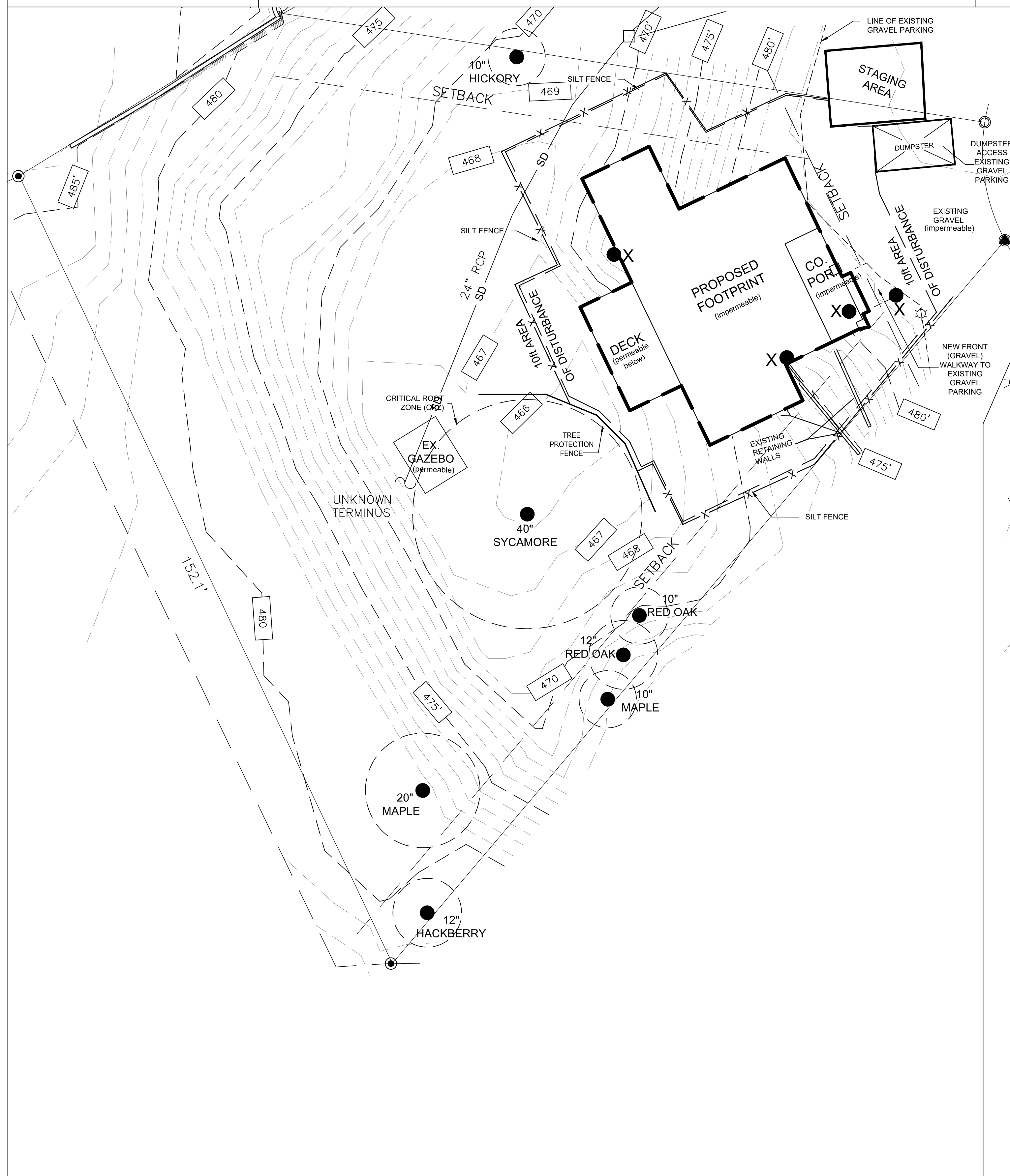
\* ROOF DOWNSPOUTS TIED IN TO SPLASH BLOCKS - SEE SHEET C103 FOR STANDARD DETAILS

Downspout Outlet #	Area of Roof (sq.ft.)
DS1	410
DS2	410
DS3	240
DS4	315
DS5	395

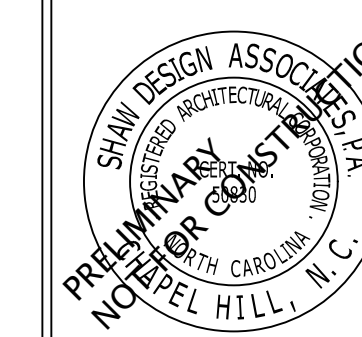


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**PROPOSED SITE PLANS**  
**KITCHEN - PATTERSON PLACE LOT 2**  
 417 PATTERSON PLACE  
 CHAPEL HILL, NC 27514



**REVISIONS**

DATE	DESCRIPTION
6/3/2019	

DATE: 6/3/2019  
 DRAWN: M. ALBRECHT  
 FILE #: 1842

2-C102  
 SCALE: AS SHOWN

**PROPOSED SITE PLAN**  
 TREE PROTECTION, STAGING, AND DISTURBANCE PLAN

1-C102  
 SCALE: AS SHOWN

**PROPOSED SITE PLAN**  
 DRAINAGE and UTILITY PLAN

**C102**  
 SHEET OF







410 W Patterson - 1 story  
Lot: .19 ac  
Floor Area: 1,440 sf - Floor Ratio: .17



406 W Patterson - 1.75 story  
Lot: .17 ac  
Floor Area: 2,514 sf- Floor Ratio: .34



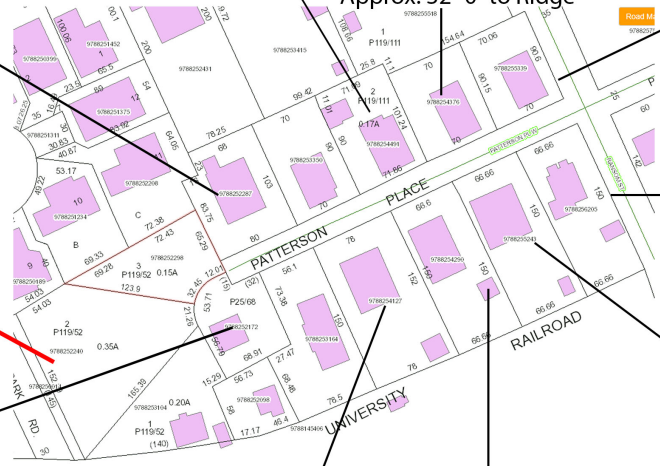
402 W Patterson - 1.75 story with 1/2 basement  
Lot: .15 ac  
Floor Area: 1,777 sf. - Floor Ratio: .27  
Approx. 32'-0" to Ridge



210 Ransom St - 1 story with 1/4 basement  
Lot: .15 ac  
Floor Area: 1,088 sf - Floor Ratio: .166



PROPOSED 417 W Patterson - 1.75 story  
Lot: .35 ac - Floor Area: 2,043 - Ratio: .134  
Porch Eave - 11'-6" Dormer Eave - 18'-10"



401 W Patterson - 1.75 story  
Lot: .23 ac - Floor Area: 2,065 sf. - Floor Ratio: .206  
Porch Eave - 10'-8" Dormer Eave - 21'-6" Ridge - 27'-10"



413 W Patterson - 2 story  
Lot: .14 ac - Floor Area: 1,344 sf - Ratio: .22  
Roof Eave - 16'-10" Ridge - 23'-8"



409 W Patterson - 1.5 story  
Lot: .27 ac - Floor Area: 1,830 sf - Floor Ratio: .16  
Porch Eave - 14'-0" Dormer Eave - 18'-0"



407 W Patterson - 1.75 story with 1/2 basement  
Lot: .23 ac  
Floor Area: 1,971 sf - Floor Ratio: .196



403 W Patterson - 1.5 story  
Lot: .23ac  
Floor Area: 1,960 sf - Floor Ratio: .195

100 SHERRILL GLEN LLC  
PIN# 9788252208  
DB 5276, PG 163

ALEX B. & JENNIFER L. BLATE  
PIN# 9788251234  
DB 5502, PG 240

NICHOLAS W. & AMY A. PENWARDEN  
PIN# 9788250189  
DB 6256, PG 507

MANTON PROPERTIES LLC  
PIN# 9788253164  
DB 4157, PG 215



NO REFERENCE FOUND FOR  
STORM EASEMENT CROSSING  
SUBJECT PROPERTY

GLEN HOMEOWNERS  
OCIATION INC.  
# 9788250014  
735, PG 33

EXISTING 20' STORM  
DRAINAGE EASEMENT  
(PB 48, PG 167)

417 (LOT 2)  
PROPOSED  
FOOTPRINT  
(PARKING C-E)

412 (LOT 3)  
PROPOSED  
FOOTPRINT  
(PARKING A & B)

28.6'  
EXISTING  
RESIDENCE  
699 SQ. FT.  
(PARKING F-I)

EXISTING  
RESIDENCE  
1158 SQ. FT.  
FFE : 486.5'  
BUILDING HT : 15.4'  
(PARKING J-K)  
40.5'

EXISTING  
RESIDENCE  
(PARKING L-M)

EXISTING  
RESIDENCE

EXISTING  
RESIDENCE

EXISTG  
GRAVEL

CONC.

EX-GRAVEL

GRAVEL

GRAVEL

RIPRAP

CONCRETE

COVERED  
PORCH

ASPHALT

CONCRETE

CURB

CURB

CURB

CURB

CURB

CURB

CURB

CURB

CURB

CURB

CURB

CURB

INV=477.1'

INV=476.4'

INV=478.0'

DI  
RIM: 472.3'  
INV IN: 467.9' (N)  
INV IN: 468.6' (NE)  
INV OUT: 467.4'

8.6' X 10.5'  
GAZEBO

UNKNOWN  
TERMINUS

UNKNOWN  
TERMINUS

20" MAPLE

10" RED OAK

12" RED OAK

10" MAPLE

16" MAPLE

18" PINE

30" RED OAK

20" RED OAK

12" MAPLE

12" MAPLE

24" PINE

12" RED OAK

12" GUY MAPLE

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